



## PROPOSED SITE IMPROVEMENTS

EXISTING LAND COVERAGE DATA (PER LEE COUNTY RECORD DRAWINGS DOS 2002-00283)			
	AREA (SF)	AREA (AC)	PERCENT OF TOTAL AREA
BUILDING	14,145 SF	0.32 AC	19.4%
PAVEMENT / WALKS	43,748 SF	1.00 AC	60.0%
GREEN AREA	15,047 SF	0.35 AC	20.6%
DETENTION AREA	N/A	N/A	N/A
TOTAL	72,940 SF	1.67 AC	100%

PLANT SCHEDULE				
CANOPY & UNDERSTORY TREES				
KEY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY.
⊗	SABAL PALMETTO / CABBAGE PALM	N/A (EXISTING TREE RELOCATED)	AS INDICATED	1 (RELOCATED)
⊙	QUERCUS VIRGINIANA / LIVE OAK	10' HT X 4' SPD, 2" CAL, 30 GALLON	AS INDICATED	2

PROPOSED LAND COVERAGE DATA			
	AREA (SF)	AREA (AC)	PERCENT OF TOTAL AREA
BUILDING	14,145 SF	0.32 AC	19.4%
PAVEMENT / WALKS	44,028 SF	1.01 AC	60.4%
GREEN AREA	14,767 SF	0.34 AC	20.2%
DETENTION AREA	N/A	N/A	N/A
TOTAL	72,940 SF	1.67 AC	100%

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**LEGEND**

- PROPERTY LINE
- ♿ ACCESSIBLE PARKING
- ⊙ SEE DETAIL NO. 1 ON SHEET C-5.0
- ⊗ PROPOSED INLET PROTECTION
- ⊙ EXISTING DRAINAGE INLET
- 00.00 EXISTING GRADE ELEVATION
- 00.00 TOP OF CURB
- FLOWLINE/PAVEMENT EDGE
- DIRECTION OF RUNOFF FLOW
- DIRECTION OF DOWN SLOPE
- EXISTING CONCRETE
- ▨ PROPOSED CONCRETE

**EX. TREE LEGEND**

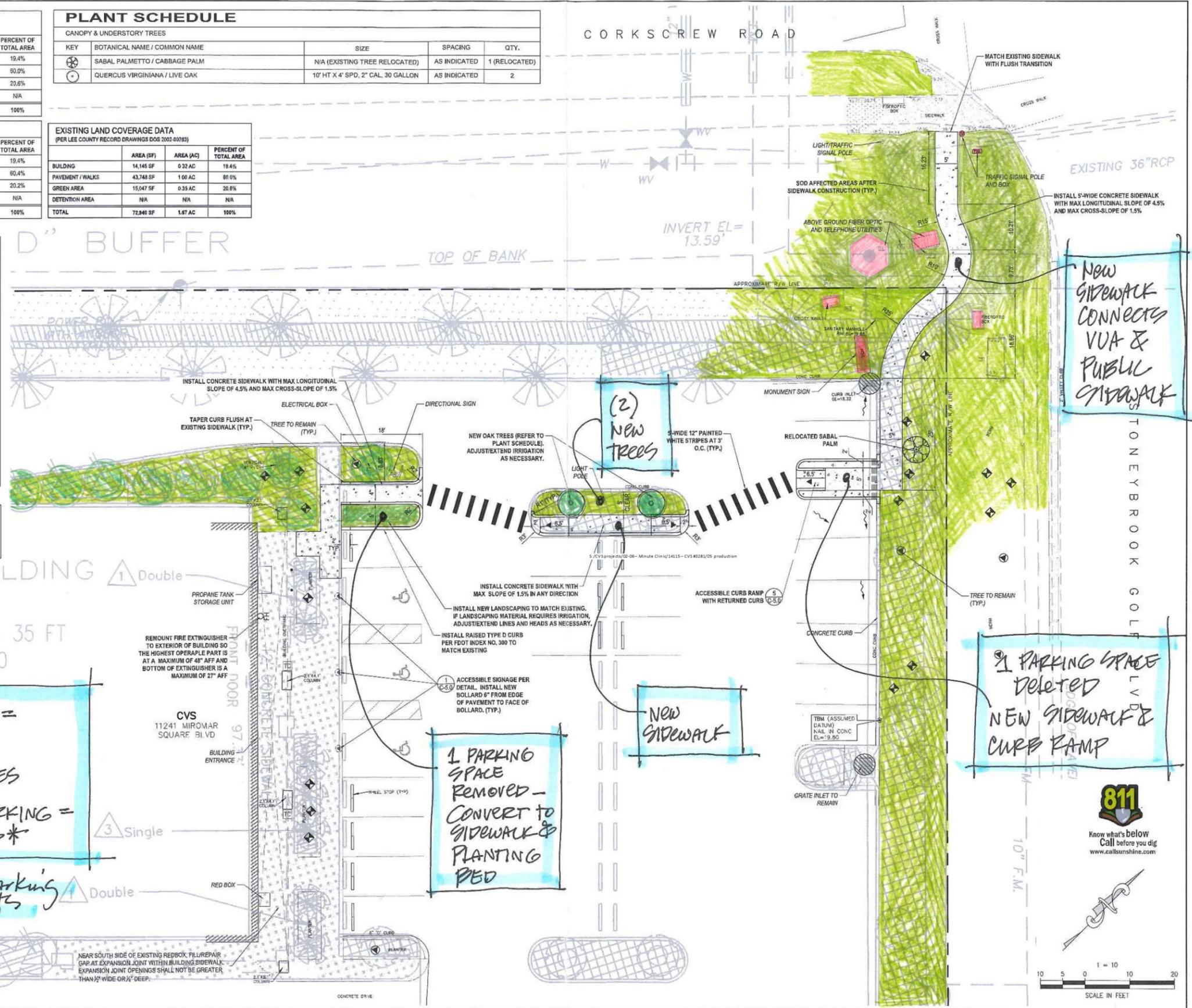
- ⊕ = PALM TREE
- ⊙ = OAK TREE

PROPOSED BUILDING

14,145 S.F.  
BLDG. HGT. = 35 FT  
F.F.E. = 21.00

EXIST'G PARKING = 69 SPACES  
REDUX 2 SPACES  
PROPOSED PARKING = 67 SPACES\*

\*compliant w/parking requirements



## PROPOSED SCOPE OF WORK

- EXISTING PARKING = 69 SPACES  
REDUCE 2 SPACES
- PROPOSED PARKING = 67 SPACES  
\* COMPLIANT W/ PARKING REQUIREMENTS
- 1 PARKING SPACE REMOVED -  
\*CONVERT TO SIDEWALK & PLANTING BED
- (2) NEW TREES & NEW SIDEWALK
- NEW SIDEWALK CONNECTS  
VUA & PUBLIC SIDEWALK
- 1 PARKING SPACE DELETED
- NEW SIDEWALK & CURB RAMP

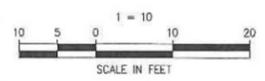


BALD CYPRESS TREE

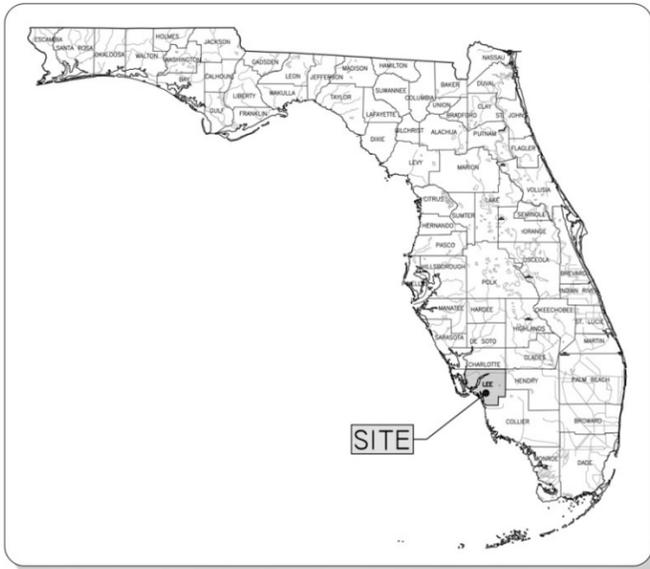


CVS STORE #3281 MINUTE CLINIC — ESTERO, FL

ROBERT REID WEDDING ARCHITECTS, INC. AIA



LOCATION MAP

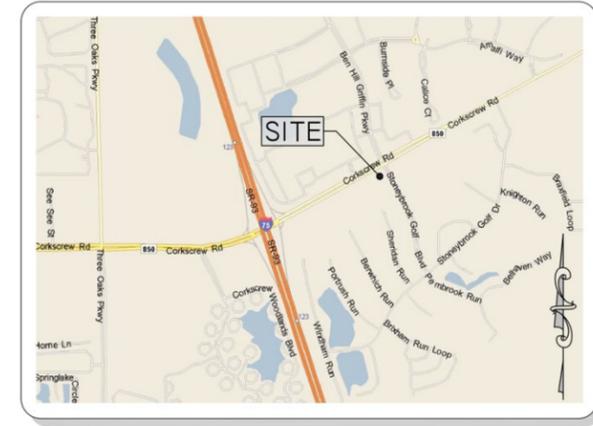


ADA REMEDIATION PLANS FOR:

**CVS/pharmacy**<sup>®</sup>

STORE NO. 3281  
 11241 MIROMAR SQUARE BLVD  
 S.W.C. OF CORKSCREW ROAD (C.R. 850)  
 AND STONEYBROOK GOLF BLVD,  
 ESTERO, LEE COUNTY, FLORIDA

VICINITY MAP



PROJECT DIRECTORY

**OWNERS**  
 CORKSCREW PROPERTIES, LLC  
 C/O CVS3281-01 OCCUPANCY EXP DEPT  
 1 CVS DRIVE  
 WOOSOCKET, RI 02895

**ARCHITECT**  
 ROBERT REID WEDDING  
 ARCHITECTS AND PLANNERS, AIA  
 4112 CYPRESS STREET  
 TAMPA, FL 33607  
 (813) 879-6996  
 CONTACT: ROBERT KANTROWITZ

**CIVIL ENGINEER**  
 FORESITE GROUP, INC.  
 10150 HIGHLAND MANOR DRIVE  
 SUITE 210  
 TAMPA, FL 33610  
 (813) 549-3250  
 CONTACT: BRAD KARNIS

**SURVEYOR**  
 POLARIS ASSOCIATES, INC.  
 2165 SUNNYDALE BLVD, SUITE 210  
 CLEARWATER, FL 33765  
 (727) 461-6113  
 CONTACT: DAN RIZZUTO

**LOCAL JURISDICTION:**  
 LEE COUNTY  
 DEPARTMENT OF COMMUNITY DEVELOPMENT  
 1500 MONROE STREET  
 FORT MYERS, FL 33901  
 (239) 533-8803  
 CONTACT: TOM SAWTELL OR BEN DICKSON

**RIGHT-OF-WAY JURISDICTION:**  
 LEE COUNTY DEPARTMENT OF  
 TRANSPORTATION (DOT)  
 1500 MONROE STREET  
 FORT MYERS, FL 33901  
 (239) 533-8718  
 CONTACT: DAN KIRKPATRICK  
 OR DAVID WAGLEY

PARCEL (STRAP) #25-46-25-E4-U2316.2412  
 FOLIO ID: 10475160  
 SECTION 25 & 36, TOWNSHIP 46 S, RANGE 25 E

SHEET INDEX

**CIVIL PLANS**

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C-3.0	DEMOLITION PLAN
C-4.0	SITE/PAVING AND GRADING PLAN
C-5.0	GENERAL DETAILS
1 OF 1	SPECIFIC PURPOSE TOPOGRAPHIC SURVEY
EXHIBIT	LANDSCAPE PLAN OVERLAY EXHIBIT

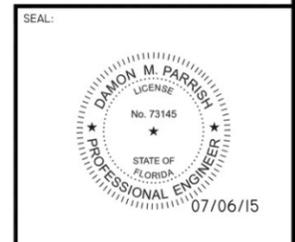
**RECORD DRAWINGS**

4 OF 14	MASTER SITE PLAN
L2	LANDSCAPE PLAN
L2	LANDSCAPE PLAN DETAILS

PREPARED BY:



**FL CA 26115**  
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 10150 Highland Manor Dr. o | 813.549.3250  
 Suite 210 f | 813.621.3580  
 Tampa, FL 33610 w | www.fg-inc.net



REVISIONS			TITLE:
NO.	DESCRIPTION:	DATE:	<b>COVER SHEET</b>
△	PER LEE COUNTY LDO REVIEW	05/28/15	SHEET NUMBER:
△	PER LEE COUNTY DOT REVIEW	06/02/15	<b>C-1.0</b>
△	PER VILLAGE OF ESTERO DRB REVIEW	06/24/15	PROJECT NUMBER:
			<b>340.007</b>



CVS STORE #3281 MINUTE CLINIC – ESTERO, FL  
 ROBERT REID WEDDING ARCHITECTS, INC. AIA

**GENERAL PROVISIONS**

1. THE GENERAL NOTES PRESENTED HEREIN ARE INTENDED TO SERVE AS A GUIDE TO THE CONTRACTOR AND ARE NOT INTENDED TO SUPERCEDE GOVERNING JURISDICTIONAL CRITERIA THAT MAY APPLY. FOR SPECIFIC ITEMS NOT IDENTIFIED ON THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL REQUEST INFORMATION FROM THE ENGINEER AND JURISDICTIONAL INSPECTOR PRIOR TO COMMENCEMENT OF WORK AND ORDERING OF APPLICABLE MATERIALS.
2. PRIOR TO CONSTRUCTION WORK, THE CONTRACTOR SHALL COORDINATE CLOSELY WITH THE DEVELOPER FOR TIMING OF CONSTRUCTION TASKS THAT MAY AFFECT ADJACENT PROPERTY USERS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION OF ALL WORK SHOWN OR IMPLIED ON THE CONSTRUCTION PLANS AND SHALL INCLUDE COST TO PERFORM AND INSTALL WORK ITEMS ON BID.
4. THE CONTRACTOR SHALL OBTAIN FROM THE DEVELOPER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS.
5. CONSTRUCTION ACTIVITIES THAT WILL RESULT IN THE DISTURBANCE OF ONE (1) OR MORE ACRES OF LAND ARE REQUIRED TO OBTAIN COVERAGE UNDER THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA) AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (COP) IF STORMWATER FROM THE ACTIVITY HAS THE POTENTIAL TO ENTER A SURFACE WATER OF THE STATE OR A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4). A COP NOTICE OF INTENT (NOI) FORM MUST BE FILED WITH THE AGENCY HAVING JURISDICTION OVER THE NPDES PROGRAM AT LEAST 2 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. COVERAGE WILL BE EFFECTIVE 48 HOURS AFTER THE POST-MARKED DATE OF THE COMPLETE NOI SUBMITTAL. THE OPERATOR OF THE PROJECT IS REQUIRED TO SIGN AND FILE THE NOI. THE OPERATOR IS THE ENTITY THAT OWNS OR OPERATES THE PROJECT AND HAS SUFFICIENT AUTHORITY TO ASSURE COMPLIANCE WITH THE PERMIT REQUIREMENTS. TYPICALLY, THE OPERATOR WILL BE THE OWNER, DEVELOPER, OR GENERAL CONTRACTOR. THE ARCHITECT/ENGINEER SHOULD NOT BE INDICATED AS THE OPERATOR AND SIGN THE NOI UNLESS THEY HAVE OPERATIONAL CONTROL OVER THE PROJECT. THE RESPONSIBLE AUTHORITY IS THE PERSON THAT HAS AUTHORITY TO SIGN THE NOI FOR THE OPERATOR. TO TERMINATE PERMIT COVERAGE, THE OPERATOR SHALL FILE A NOTICE OF TERMINATION (NOT) WITHIN 14 DAYS OF FINAL STABILIZATION OF THE SITE. THE CONTRACTOR SHALL KEEP ON SITE A COPY OF THE SWPPP, NOI, AND WATER MANAGEMENT DISTRICT PERMITS ISSUED, TOGETHER WITH THE INSPECTION REPORTS AND CURRENT PLANS, INCLUDING ANY MODIFICATIONS REQUIRED.
6. UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL USE THE GEOMETRY PROVIDED ON THE CONSTRUCTION PLANS. BENCHMARK INFORMATION AND FIELD CONDITION PERTAINING TO THE SHOP DRAWINGS AND SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
7. THIS SET OF PLANS MAY CONTAIN DRAWINGS PREPARED BY OTHER PROFESSIONALS, WHICH CONTAIN THE NAME, ADDRESS, AND LOGO OF THE PROFESSIONAL. FORESITE GROUP, INC. IS NOT RESPONSIBLE FOR DRAWINGS PREPARED BY OTHER PROFESSIONALS.
8. THE CONTRACTOR SHALL SUBMIT A COPY OF THE SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION. PRIOR TO SUBMISSION, THE CONTRACTOR SHALL THOROUGHLY CHECK SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES FOR COMPLETENESS AND FOR COMPLIANCE WITH THE CONSTRUCTION PLANS, THE CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS AND FIELD CONDITION PERTAINING TO THE SHOP DRAWINGS AND SHALL COORDINATE ANY RELATED WORK. AT THE TIME OF SUBMISSION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DEVIATIONS IN SUBMITTALS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR'S RESPONSIBILITY FOR ERRORS AND OMISSIONS IN SUBMITTALS IS NOT RELIEVED BY THE ENGINEER'S REVIEW OF SUBMITTALS.
9. THE CONTRACTOR SHALL PROTECT BENCHMARKS, PROPERTY CORNERS, AND OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. IF A MARKER NEEDS TO BE REMOVED, IT SHALL BE REFERENCED BY A LICENSED LAND SURVEYOR AND REPLACED, AS NECESSARY, BY SAME.
10. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL TESTING. MINIMUM TESTING SHALL INCLUDE, BUT NOT BE LIMITED TO: A) PIPING AND STRUCTURAL EXCAVATION, BEDDING, BACKFILL MATERIALS AND DENSITY TESTS; B) DETERMINATION OF COMPACTIVE EFFORT NEEDED FOR COMPLIANCE WITH THE DENSITY REQUIREMENTS; C) CONCRETE AND ASPHALT QUALITY CONTROL TESTING INCLUDING DESIGN MIX REVIEW, MATERIALS, FILL SLUMP AND AIR CONTENT, AND FIELD- AND LAB-CURED STRENGTH SAMPLING AND TESTING.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED TESTING OR APPROVALS FOR ANY WORK (OR ANY PART THEREOF) IF LAWS OR REGULATIONS OF ANY REGULATORY AGENCY SPECIFICALLY REQUIRE TESTING, INSPECTIONS OR APPROVAL. THE CONTRACTOR SHALL PAY ALL ASSOCIATED COSTS AND SHALL FURNISH THE DEVELOPER AND ENGINEER THE REQUIRED CERTIFICATES OF INSPECTION, TESTING OR APPROVAL.
12. ANY DESIGN OR TESTING LABORATORY UTILIZED BY THE CONTRACTOR SHALL BE AN INDEPENDENT LABORATORY ACCEPTABLE TO THE DEVELOPER AND THE ENGINEER, APPROVED IN WRITING, AND COMPLYING WITH THE LATEST EDITION OF THE "RECOMMENDED REQUIREMENTS FOR INDEPENDENT LABORATORY QUALIFICATION," PUBLISHED BY THE AMERICAN COUNCIL OF INDEPENDENT LABORATORIES.
13. ALL TEST RESULTS SHALL BE PROVIDED (PASSING AND FAILING) ON A REGULAR AND INTERMEDIATE BASIS TO THE DEVELOPER AND ENGINEER.
14. THE ENTIRE PROJECT SITE SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE WORK. CLEAN ALL INSTALLED PIPELINES, STRUCTURES, SIDEWALKS, PAVED AREAS, ACCUMULATED SILT IN PONDS, AND ALL ADJACENT AREAS AFFECTED BY WORK. EQUIPMENT TO CLEAN THESE SURFACES SHALL BE SUBJECT TO APPROVAL BY THE DEVELOPER.

**EROSION AND SEDIMENT CONTROL**

1. EROSION AND SEDIMENT CONTROL MEASURES AS DESCRIBED ON THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE PROVIDED AND INSTALLED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORK. MINIMUM SEDIMENT CONTROL MEASURES SHALL INCLUDE: A) EROSION CONTROL BARRIERS PER FDOT INDEX NO. 102 AND 103. MINIMUM EROSION CONTROL CONSISTS OF SEEDING AND MULCHING, SODDING, WETTING SURFACES, PLACEMENT OF COARSE AGGREGATE, AND TEMPORARY PAVING.
2. MAINTAIN TEMPORARY EROSION CONTROL SYSTEMS AS DIRECTED BY OWNER, OR GOVERNING AUTHORITIES TO CONTROL EROSION AND SILTATION DURING CONSTRUCTION. THE CONTRACTOR HAS AUTHORITY TO LIMIT SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY CLEARING AND GRUBBING, EXCAVATION, TRENCHING, BORROW AND EMBANKMENT OPERATIONS. OWNER ALSO HAS AUTHORITY TO DIRECT CONTRACTOR TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
3. CONTRACTOR SHALL RESPOND TO EROSION AND SEDIMENT CONTROL MAINTENANCE REQUIREMENTS AS SITE CONDITIONS WARRANT AND IMPLEMENT ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT CONTROL MEASURES WITHIN FORTY-EIGHT (48) HOURS OR SOONER IF REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR WILL BE REQUIRED TO INCORPORATE PERMANENT EROSION CONTROL FEATURES INTO PROJECT AT EARLIEST PRACTICAL TIME TO MINIMIZE NEED FOR TEMPORARY CONTROLS.
5. THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS REPRESENT A MINIMUM REQUIREMENT. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING AND DETERMINING FOR DETERMINING FOR DETERMINING FOR DETERMINING IN ORDER TO PREVENT THE TRANSFER OF SEDIMENT FROM THE PROJECT AREA AND PREVENT THE EROSION OF SURFACES DURING CONSTRUCTION, AS NEEDED TO PROTECT ADJACENT PROPERTIES AND WATER BODIES.
6. GRASS ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS OF INITIAL DISTURBANCE. TYPE OF GRASS SHALL BE AS FOLLOWS: TEMPORARY GRASSING TO BE SODDING AT ALL DRAINAGE STRUCTURES, RETENTION AREAS, SWALES AND DITCHES, AND WHERE SLOPE ARE STEEPER THAN 5:1. TEMPORARY GRASSING CAN BE SEED AND MULCH AT ALL OTHER LOCATIONS UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR SPECIFICATIONS.
7. CONTRACTOR SHALL INSPECT EVERY TWO (2) WEEKS DURING CONSTRUCTION, REMOVE ANY SEDIMENT BUILD-UP, AND REPAIR AND REINSTALL ANY DAMAGED OR MISSING SEDIMENT CONTROL MEASURES. INSTALL ADDITIONAL MEASURES IF INSPECTION REVEALS ADDITIONAL SEDIMENTATION CONTROL IS NECESSARY.
8. AREAS TO BE PAVED SHALL BE PAVED WITH A BITUMINOUS PRIME COAT AND SANDED TO MINIMIZE EROSION, WHERE PAVING IS SCHEDULED TO OCCUR MORE THAN FORTY-EIGHT (48) HOURS AFTER INSTALLATION OF BASE COURSE. AREAS TO BE PAVED WITH CONCRETE SHALL BE EITHER PROTECTED WITH A LAYER OF FOOT COARSE AGGREGATE MATERIAL OR SHALL BE PAVED WITHIN FORTY-EIGHT (48) HOURS OF INSTALLATION OF THE SUBGRADE. INSTALL FINAL SURFACE COURSES WITHIN FORTY-EIGHT (48) HOURS AFTER REMOVAL OF EXISTING PAVEMENT.

**MAINTENANCE OF TRAFFIC**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN PRIOR TO CONSTRUCTION. THE M.O.T. PLAN SHALL SHOW ALL PROPOSED TRAFFIC SIGNS, PAVEMENT MARKINGS, BARRICADES, AND OTHER DEVICES AND SHALL DETAIL ALL PROPOSED CONSTRUCTION SEQUENCING. THE M.O.T. PLAN SHALL BE APPROVED BY THE ENGINEER, OWNER, AND ROADWAY JURISDICTIONAL AGENCY PRIOR TO CONSTRUCTION. ALL PROPOSED ROADWAY AND DRIVEWAY LANE CLOSURES AND TIMING SHALL BE CLOSELY COORDINATED WITH THE ROADWAY JURISDICTIONAL AGENCY PRIOR TO CONSTRUCTION.
2. ALL CONSTRUCTION SIGNING AND MARKINGS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION IN ACCORDANCE WITH FDOT INDEX NO. 600 AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). THE PLACEMENT OF THE SIGNING AND MARKINGS SHALL BE APPROVED IN THE FIELD BY THE ENGINEER PRIOR TO CONSTRUCTION.
3. INSPECT TRAFFIC CONTROL DEVICES ON A DAILY BASIS TO ENSURE PLACEMENT OF BARRICADES AND FUNCTION OF LIGHTS IS MAINTAINED THROUGHOUT CONSTRUCTION.
4. CONTRACTOR SHALL CONTACT PROPERTY OWNERS TO BE AFFECTED BY CONSTRUCTION AND SHALL COORDINATE TEMPORARY DRIVEWAY CLOSURES AND SEQUENCING. MAINTAIN ACCESS FOR ALL PROPERTY OWNERS DURING CONSTRUCTION.
5. WET UNSTABILIZED AREAS AS NECESSARY TO CONTROL DUST.
6. ADJUST TRAFFIC CONTROL DEVICES AS REQUIRED UNDER EMERGENCY CONDITIONS.
7. THE CONTRACTOR SHALL COORDINATE ACTIVITIES WITH OTHER CONTRACTORS WHO MAY BE WORKING IN THE IMMEDIATE VICINITY.
8. IF WORK OCCURS WITHIN FIFTEEN (15) FEET OF ACTIVE ROAD TRAVEL LANES BUT NO CLOSER THAN TWO (2) FEET FROM THE EDGE OF PAVEMENT, SIGNAGE AND WARNING DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH FDOT INDEX NO. 600 AND 602.
9. TYPE I OR TYPE II BARRICADES AT 20-FEET CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD WHEREVER DROP-OFFS OR OTHER HAZARDS EXIST, AND TO BLOCK ENTRANCE INTO COMPLETED OR PARTIALLY-COMPLETED PAVEMENTS UNTIL SUCH PAVEMENTS ARE OPEN TO PUBLIC USE.

**DEWATERING**

1. UNLESS OTHERWISE DIRECTED BY THE DEVELOPER OR ENGINEER, THE CONTRACTOR SHALL CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THE PROPERTY, RIGHT-OF-WAY (R.O.W.), AND EASEMENTS AS INDICATED ON THE DRAWINGS. AT NO TIME SHALL THE CONTRACTOR DISTURB SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. ANY REPAIR OR RECONSTRUCTION OF DAMAGED AREAS IN SURROUNDING PROPERTIES SHALL BE REPAIRED BY THE CONTRACTOR ON AN IMMEDIATE BASIS. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. STAKE OUT THE CONSTRUCTION AREA, ESTABLISH LINES AND LEVELS, TEMPORARY BENCH MARKS, BATTER BOARDS, CENTERLINES, BASELINES, AND REFERENCE POINTS FOR THE WORK, AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK. INTERCONNECTION WITH EXISTING FEATURES. REPORT ANY INCONSISTENCIES IN THE PROPOSED GRADES, LINES AND LEVELS, DIMENSIONS AND LOCATIONS TO THE ENGINEER BEFORE COMMENCING WORK.

3. PROTECT ALL TREES AND SHRUBS LOCATED OUTSIDE THE R.O.W., EASEMENTS, AND OWNER-SECURED PROPERTY, PARTICULARLY THOSE TREES AND SHRUBS LOCATED ADJACENT TO WORK AREAS.
4. WITHIN THE R.O.W., EASEMENTS, AND OWNER-SECURED PROPERTY, TREES AND SHRUBS SHALL REMAIN IN ACCORDANCE WITH THE FOLLOWING SCHEDULE: NEW ROADWAY CONSTRUCTION - TREES AND SHRUBS TO REMAIN WHERE LOCATED MORE THAN FIFTEEN (15) FEET FROM THE BACK OF CURB, OR OUTSIDE THE LIMITS OF EXCAVATION OR FILL AREAS, WHICHEVER IS FURTHER. UTILITY PIPELINE CONSTRUCTION - TREES AND SHRUBS TO REMAIN OUTSIDE A 15-FEET WIDE PATH, CENTERED ON THE PIPELINE.
5. TREES TO REMAIN IN THE CONSTRUCTION AREA SHALL BE BOXED, FENCED OR OTHERWISE PROTECTED IN ACCORDANCE WITH DETAILS ON THE DRAWINGS. DO NOT PERMIT HEAVY EQUIPMENT OR STOCKPILES WITHIN BRANCH SPREAD AREA.
6. EXERCISE EXTREME CARE DURING THE CLEARING AND GRUBBING OPERATIONS. DO NOT DAMAGE EXISTING STRUCTURES, PIPES OR UTILITIES.
7. CLEARING SHALL CONSIST OF REMOVING TREES AND BRUSH AND DISPOSAL OF OTHER MATERIALS THAT ENCROACH UPON OR OTHERWISE OBSTRUCT THE WORK.
8. GRUBBING SHALL CONSIST OF REMOVING AND DISPOSING OF STUMPS, ROOTS LARGER THAN TWO (2) INCHES IN DIAMETER, AND MATTED ROOTS. REMOVE TO A DEPTH OF NOT LESS THAN EIGHTEEN (18) INCHES BELOW THE ORIGINAL SURFACE LEVEL OF THE GROUND.
9. ALL COMBUSTIBLE DEBRIS AND REFUSE FROM SITE PREPARATION OPERATIONS SHALL BE PROPERLY REMOVED TO LEGAL OFF-SITE DISPOSAL AREAS.
10. DAMAGED AREAS SHALL BE REPLACED TO A CONDITION EQUAL TO OR BETTER THAN THE CONDITION PRIOR TO DISTURBANCE.

**EARTHWORK**

1. GRADING SHOWN ON THESE PLANS ARE PROVIDED TO THE CONTRACTOR FOR GENERAL GRADING INTENT OF THE PROJECT. THE CONTRACTOR SHALL GRADE THE ENTIRE SITE TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS THROUGHOUT THE SITE. SMOOTH TRANSITIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITELY AND TO PROVIDE A SMOOTH TRANSITION OF DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. THE STANDARD CROWN MAY BE CHANGED TO DRAIN POSITELY IN THE AREA OF INTERSECTIONS. THE CONTRACTOR SHALL ACCOMPLISH THE ABOVE AND CONSULT THE ENGINEER SO THAT THE ENGINEER MAY MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INSTRUCTIONS TO ACCOMPLISH THE INTENT OF THE PLANS.
2. A SMOOTH TRANSITION OF DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. THE STANDARD CROWN MAY BE CHANGED TO DRAIN POSITELY IN THE AREA OF INTERSECTIONS. THE CONTRACTOR SHALL ACCOMPLISH THE ABOVE AND CONSULT THE ENGINEER SO THAT THE ENGINEER MAY MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INSTRUCTIONS TO ACCOMPLISH THE INTENT OF THE PLANS.
3. UNIFORMLY SMOOTH GRADE THE SITE. DEPRESSIONS FROM SETTLEMENT SHALL BE FILLED AND COMPACTED. TOPS OF EMBANKMENTS AND BREAKS IN GRADE SHALL BE ROUNDED. FINISHED SURFACES SHALL BE REASONABLY SMOOTH, COMPACTED, FREE FROM IRREGULAR SURFACE CHANGES, AND COMPARABLE TO THE SMOOTHNESS OBTAINED BY BLADE GRADER OPERATIONS.
4. SLOPE GRADES TO DRAIN AWAY FROM STRUCTURES AT A MINIMUM OF ¼-INCH PER FOOT FOR TEN (10) FEET. FINISHED SURFACES ADJACENT TO PAVED AREAS AND WITHIN TEN (10) FEET OF STRUCTURES SHALL BE WITHIN ONE (1) INCH OF THE PROPOSED GRADE. ALL OTHER AREAS SHALL BE WITHIN THREE (3) INCHES OF THE PROPOSED GRADE.
5. NEWLY-GRADED AREAS SHALL BE PROTECTED FROM TRAFFIC AND EROSION. ALL SETTLEMENT OR WASHING AWAY THAT MAY OCCUR PRIOR TO SEEDING OR ACCEPTANCE SHALL BE REPAIRED AND GRADES AND SLOPES RE-ESTABLISHED TO THE REQUIRED ELEVATIONS AND SLOPES.
6. THE CONTRACTOR SHALL NOTE THAT FILL AND COMPACTION REQUIREMENTS FOR EACH AREA OF THE SITE MAY DIFFER PER THE IMPROVEMENTS PROPOSED UPON THE RESPECTIVE SURFACE. PROPER FILL AND COMPACTION SHALL BE UTILIZED PER THE PLANS AND GEOTECHNICAL ANALYSIS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD FOR CLARIFICATION IF NECESSARY.
7. THE CONTRACTOR SHALL ENSURE THAT AREAS DESIGNATED FOR COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ARE CONSTRUCTED PER CURRENT GUIDELINES.

**EXCAVATION, TRENCHING, AND FILL**

1. THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (FS 553.60-553.64). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST REQUIRED TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT AND THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL CONSULT THE GEOTECHNICAL REPORT FOR SOIL PREPARATION AND GENERAL EARTHWORK REQUIREMENTS.
3. ROUGH EXCAVATE AND GRADE ANY PROPOSED STORMWATER PONDS AT THE BEGINNING OF SITE GRADING ACTIVITIES. DIRECT SITE RUNOFF TO THE PONDS TO MINIMIZE RUNOFF TO OFF-SITE AREAS.
4. FIELD DENSITY TESTING FREQUENCIES: A) ONE (1) TEST FOR EACH 10,000 SQUARE FEET OR FRACTION THEREOF PER LIFT OF GENERAL BACKFILLING, WITH A MINIMUM OF TWO (2) TESTS FOR EACH LAYER; B) ONE (1) TEST FOR EACH 100 SQUARE FEET OR FRACTION THEREOF OF BACKFILL AROUND AND UNDER STRUCTURES; C) ONE (1) TEST FOR EACH 300 LINEAL FEET OR FRACTION THEREOF PER LIFT OF GENERAL BACKFILLING IN THE PIPELINE TRENCH; D) ONE (1) TEST PER LIFT PER EACH CHANGE IN TYPE OF FILL; E) ONE (1) TEST PER 1000 SQUARE FEET OF PAVEMENT SUBGRADE, WITH A MINIMUM OF TWO (2) TESTS.
5. PREVIOUSLY-EXCAVATED MATERIALS CONFORMING TO THE FOLLOWING REQUIREMENTS SHALL BE UTILIZED WHEREVER POSSIBLE, UNLESS OTHERWISE DIRECTED BY GEOTECHNICAL REPORT:
  - A. ACCEPTABLE MATERIALS: AASHTO M145 CLASSIFICATION A-1, A-3, A-2-4, A-2-6; ASTM D2487 CLASSIFICATION GW, GP, GM, SW, SM, SP; UNLESS OTHERWISE DISAPPROVED WITHIN THE SOIL AND SUBSURFACE INVESTIGATION REPORTS. MORE THAN 12% OF ACCEPTABLE MATERIALS SHALL PASS THE NUMBER 200 SIEVE.
  - B. UNACCEPTABLE MATERIALS: AASHTO M145 CLASSIFICATION A-2-5, A-2-7, A-4, A-5, A-6, A-7, A-8; ASTM D2487 CLASSIFICATION GC, SC, ML, MH, CL, CH, OL, OH, PT; UNLESS OTHERWISE APPROVED WITHIN THE SOIL AND SUBSURFACE INVESTIGATION REPORTS.
6. PROVIDE BARRICADE WARNING LIGHTS AND OTHER PROTECTIVE DEVICES AT ALL EXCAVATIONS.
7. FURNISH, INSTALL, AND MAINTAIN, WITHOUT ADDITIONAL COMPENSATION, SHEETING, BRACING, AND SHORING SUPPORT REQUIRED TO KEEP EXCAVATIONS WITHIN THE PROPERTY OR EASEMENTS PROVIDED, TO SUPPORT THE SIDES OF THE EXCAVATION, AND TO PREVENT ANY MOVEMENT WHICH MAY DAMAGE ADJACENT PAVEMENTS OR STRUCTURES, DELAY THE WORK, OR ENDANGER LIFE AND HEALTH. Voids OUTSIDE THE SUPPORTS SHALL BE IMMEDIATELY FILLED AND COMPACTED.
8. ALL EXCAVATIONS SHALL BE MADE BY OPEN CUT UNLESS OTHERWISE INDICATED. SLOPE SIDES OF TRENCHES SHALL BE IN ACCORDANCE WITH OSHA REQUIREMENTS AND THE RECOMMENDATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT.
9. EXCAVATE TRENCHES TO DEPTH INDICATED OR REQUIRED FOR FLOW LINES AND INVERT ELEVATIONS. OVER EXCAVATE TRENCHES A MINIMUM OF TWO (2) FEET WHERE EXCAVATIONS OCCUR WITHIN UNSUITABLE SOILS, AND REPLACE OVER-EXCAVATED MATERIAL WITH SUITABLE SOILS.
10. EXCEPT AS OTHERWISE INDICATED ON PLANS OR SPECIFICATIONS, EXCAVATE FOR PRESSURE PIPING SO TOP OF PIPING IS A MINIMUM OF THREE (3) FEET BELOW FINISHED GRADE.
11. TRENCH BOTTOMS AND THE BOTTOMS OF ALL STRUCTURES SHALL BE KEPT DRY, COMPACTED, AND STABLE TO A DEPTH TWO (2) FEET BELOW THE BOTTOM OF THE TRENCH OR STRUCTURE.
12. ALL BEDDING, FILL, AND BACKFILL MATERIAL SHALL BE SUITABLE SOILS OR FLOWABLE FILL. WHERE TRENCH OR EXCAVATION IS WITHIN THE INFLUENCE AREA OF ROADWAYS, STRUCTURES, FOUNDATIONS, OR SLABS, PLACE BACKFILL IN LAYERS OF 8-INCH LOOSE DEPTH IN ALL OTHER AREAS; PLACE FILL AND BACKFILL IN LAYERS OF 12-INCH LOOSE DEPTH.
13. MINIMUM DENSITY REQUIREMENT (ASTM D1557 OR AASHTO T180): FILL UNDER AND WITHIN THE INFLUENCE AREA OF ROADWAYS, STRUCTURES, SLABS, FOUNDATIONS = 98 PERCENT; POND AND ROAD EMBANKMENT FILL = 95 PERCENT; ALL OTHER AREAS = 90 PERCENT.

**DEWATERING**

1. DESIGN AND PROVIDE DEWATERING SYSTEM USING ACCEPTED AND PROFESSIONAL METHODS CONSISTENT WITH CURRENT INDUSTRY PRACTICE. PROVIDE DEWATERING SYSTEM OF SUFFICIENT SIZE AND CAPACITY TO CONTROL GROUNDWATER IN A MANNER THAT PRESERVES STRENGTH OF FOUNDATION SOILS, DOES NOT CAUSE INSTABILITY OR RAVELING OF EXCAVATION SLOPES, AND DOES NOT RESULT IN DAMAGE TO EXISTING STRUCTURES. LOWER WATER LEVEL IN ADVANCE OF EXCAVATION BY UTILIZING WELLS, WELLPOINTS, OR SIMILAR POSITIVE CONTROL METHODS. MAINTAIN THE GROUNDWATER LEVEL TO A MINIMUM OF TWO (2) FEET BELOW EXCAVATIONS. PROVIDE PIEZOMETERS IF DIRECTED BY THE ENGINEER TO DOCUMENT THAT THE GROUNDWATER LEVEL IS BEING MAINTAINED.
2. BY ACCEPTABLE MEANS, CONTRACTOR SHALL CONTROL ALL WATER REGARDLESS OF SOURCE AND IS RESPONSIBLE FOR DISPOSAL OF THE WATER. NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY SUPPLEMENTAL MEASURES TO CONTROL SEEPAGE, GROUNDWATER, OR ARTESIAN HEAD.
3. OPEN PUMPING WITH SUMPS AND DITCHES SHALL BE ALLOWED, PROVIDED IT DOES NOT RESULT IN BOILS, LOSS OF FINES, SOFTENING OF THE GROUND, OR INSTABILITY OF SLOPES. SUMPS SHALL BE LOCATED OUTSIDE OF LOAD BEARING AREAS SO THE BEARING SURFACES WILL NOT BE DISTURBED. WATER CONTAINING SILT IN SUSPENSION SHALL NOT BE PUMPED INTO SEWER LINES OR ADJACENT WATER BODIES. DURING NORMAL PUMPING AND UPON DEVELOPMENT OF WELL(S), LEVELS OF FINE SAND OR SILT IN THE DISCHARGE WATER SHALL NOT EXCEED FIVE (5) PPM.
4. IF DEWATERING EQUIPMENT EXCEEDS ANY OF THE FOLLOWING: (1) 6-INCH PUMP VOLUTE, (2) 100,000 GPD TOTAL FOR 24-HOUR DEWATERING, AND (3) 1,000,000 GPD PUMP CAPACITY, THEN THE CONTRACTOR SHALL BE REQUIRED TO PERMIT THE DEWATERING SYSTEM WITH THE ENVIRONMENTAL DISTRICT.
5. CONTINUOUSLY MAINTAIN EXCAVATIONS IN A DRY CONDITION WITH POSITIVE DEWATERING METHODS DURING PREPARATION OF SUBGRADE, INSTALLATION OF PIPE, AND CONSTRUCTION OF STRUCTURES UNTIL THE CRITICAL PERIOD OF CONSTRUCTION AND/OR BACKFILL IS COMPLETED TO PREVENT DAMAGE OF SUBGRADE SUPPORT, PIPING, STRUCTURE, SIDE SLOPES, OR ADJACENT FACILITIES FROM FLOTATION OR OTHER HYDROSTATIC PRESSURE IMBALANCE.
6. WHEN CONSTRUCTION IS COMPLETE, PROPERLY REMOVE ALL DEWATERING EQUIPMENT FROM THE SITE, INCLUDING WELLS AND RELATED TEMPORARY ELECTRICAL SERVICE.

**PAVING, SIDEWALKS, AND CURBING**

1. MATERIALS AND CONSTRUCTION METHODS FOR THE ROADWAY AND PAVING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
2. ROADWAY PAVING, BASE, AND SUBGRADE THICKNESSES, MATERIAL STABILITY, AND DENSITY REQUIREMENTS SHALL BE IN ACCORDANCE WITH DETAILS ON THESE DRAWINGS AND THE GEOTECHNICAL REPORT.
3. SIDEWALKS ARE TO BE CONSTRUCTED IN THE AREAS AS SHOWN ON THE CONSTRUCTION PLANS. THE SIDEWALK SHALL BE CONSTRUCTED OF MINIMUM 4 INCHES OF CONCRETE WITH A 28-DAY COMPRESSION STRENGTH OF 2500 PSI. JOINTS SHALL BE EITHER TOoled OR SAW CUT AT A MAXIMUM DISTANCE OF 5 FEET. ACCESSIBLE RAMPS SHALL BE PROVIDED AT ALL INTERSECTIONS AND SHALL BE IN ACCORDANCE WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, LATEST EDITION.
4. CURBING SHALL BE CONSTRUCTED WHERE NOTED ON THE CONSTRUCTION PLANS. CONCRETE FOR CURBS SHALL BE FDOT CLASS "F" CONCRETE WITH A MINIMUM 28-DAY COMPRESSION STRENGTH OF 2500 PSI. ALL CURBS SHALL HAVE SAW CUT CONSTRUCTION JOINTS AND SHALL BE CONSTRUCTED AT INTERVALS NOT TO EXCEED 10 FEET ON CENTER. CONSTRUCTION OF CURBS SHALL BE IN CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) SECTION 520 AND DETAILS PROVIDED ON THE CONSTRUCTION PLANS.
5. FIELD COMPACTION DENSITY, STABILITY, AND THICKNESS TESTING FREQUENCIES OF SUBGRADE, BASE, AND ASPHALT SHALL BE TESTED ONCE EVERY 300 LINEAR FEET OF PAVING PER 24-FEET WIDE STRIP, STAGGERED LEFT, CENTER AND RIGHT OF CENTERLINE. WHERE LESS THAN 300 LINEAR FEET OF SUBGRADE, BASE, AND ASPHALT IS PLACED IN ONE (1) DAY, PROVIDE MINIMUM OF ONE (1) TEST FOR EACH DAY'S CONSTRUCTION AT A LOCATION DESIGNATED BY THE ENGINEER. ASPHALT EXTRACTION GRADATION SHALL BE TESTED FROM GRAB SAMPLES COLLECTED ONCE EVERY 1800 SQUARE YARDS OF ASPHALT DELIVERED TO THE SITE (OR A MINIMUM OF ONCE PER DAY).
6. PAVING TIMING REQUIREMENTS ARE AS FOLLOWS:
  - A. INSTALL SUBGRADE AND BASE COURSE MATERIALS WITHIN 48 HOURS OF THE REMOVAL/OPEN CUTTING OF EXISTING PAVEMENT CONSISTING OF STREETS, DRIVEWAYS, OR SIDEWALK. INSTALL FINAL SURFACE COURSES WITHIN 14 DAYS AFTER REMOVAL OF EXISTING PAVEMENT.
  - B. AREAS TO RECEIVE ASPHALT SHALL RECEIVE EROSION CONTROL MEASURES NO LATER THAN 48 HOURS AFTER ACCEPTANCE OF BASE COURSE. TEMPORARY EROSION CONTROL CONSISTS OF PLACEMENT OF A BITUMINOUS PRIME COAT AND SANDING THE SURFACE. PERMANENT EROSION CONTROL CONSISTS OF PLACEMENT OF THE STRUCTURAL COURSE.
  - C. AREAS TO RECEIVE CONCRETE PAVING SHALL BE EITHER PROTECTED WITH A LAYER OF FOOT COARSE AGGREGATE MATERIAL OR SHALL BE PAVED WITHIN 48 HOURS OF ACCEPTANCE OF THE SUBGRADE.

**SIGNS AND PAVEMENT MARKINGS**

1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE LATEST IMPLEMENTED EDITION OF FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS (INDEX NO. 9535, 11860, 11862, 11865, 17302, 17346 AND 17349 APPL.). GENERALLY, ALL MARKINGS SHALL CONFORM TO THE FOLLOWING: 6-INCH EDGE LINES, 6-INCH LANE LINES, 6-INCH SINGLE CENTERLINES, AND 6-INCH DOUBLE LINE PATTERNS, UNLESS OTHERWISE NOTED ON THE PLANS.
2. ALL ROADWAY PAVEMENT MARKINGS IN RIGHT-OF-WAY SHALL BE PAINTED OR THERMOPLASTIC WITH RAISED PAVEMENT MARKERS (TYPE 911 - 4" X 4"), AS INDICATED ON PLANS. RAISED PAVEMENT MARKERS ARE TO BE INSTALLED IN ACCORDANCE WITH PLANS AND FDOT INDEX NO. 17352.
3. ON-SITE PAVEMENT MARKING SHALL BE PAINTED. PAINT SHALL MEET THE REQUIREMENTS OF FDOT SPECIFICATION SECTION 971, NON-REFLECTIVE WHITE TRAFFIC PAINT.
4. ALL ROADWAY TRAFFIC SIGNS SHALL BE MANUFACTURED USING HIGH INTENSITY RETROREFLECTIVE MATERIALS. THE BACK OF ALL FINISHED PANELS SHALL BE STENCILED WITH THE DATE OF FABRICATION, THE FABRICATOR'S INITIALS, AND THE NAME OF THE SHEETING IN 3-INCH LETTERS.
5. INTERNAL SITE TRAFFIC SIGNS ARE NOT REQUIRED TO BE RETROREFLECTIVE.
6. THE CONTRACTOR SHALL VERIFY THE REQUIRED LENGTH OF THE SIGN COLUMN SUPPORTS IN THE FIELD PRIOR TO FABRICATION.
7. PRIOR TO FINAL PAVEMENT MARKING INSTALLATION, A CURE TIME OF THE ASPHALT PER THE MANUFACTURER'S SPECIFICATIONS IS REQUIRED.

**ACCESSIBILITY**

1. SITE IMPROVEMENTS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND THE FLORIDA ACCESSIBILITY CODE. THE CONTRACTOR SHALL FURNISH THE OWNER AND ENGINEER WITH PROOF THAT ALL APPLICABLE FEATURES AND AREAS OF THE SITE ARE IN COMPLIANCE WITH THE AFOREMENTIONED CRITERIA.

**AS-BUILT DRAWINGS**

1. AS-BUILT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER AT LEAST THREE (3) WEEKS PRIOR TO FINAL INSPECTION. ALL AS-BUILT DATA SHALL BE PROVIDED BY A STATE-LICENSED SURVEYOR, SIGNED, SEALED AND DATED BY THE RESPONSIBLE PARTY.
2. AT THE COMPLETION OF THE WORK, DELIVER THE DRAWINGS DOCUMENTING AS-BUILT INFORMATION, MEASURED BY A LICENSED SURVEYOR, TO THE ENGINEER, IN GOOD CONDITION AND FREE FROM ANY EXTRANEOUS NOTATION. THE AS-BUILT INFORMATION IS TO INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
  - A. HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS FOR ALL UTILITY AND STORM STRUCTURES INCLUDING BUT NOT LIMITED TO MANHOLES, INLETS AND CLEANOUTS, INCLUDING STRUCTURE TOP AND INVERT ELEVATIONS.
  - B. DISTANCE ALONG PIPELINES BETWEEN STRUCTURES.
  - C. STORMWATER CONVEYANCE SYSTEMS INCLUDING DIMENSIONS, ELEVATIONS, CONTOURS, AND CROSS SECTIONS.
  - D. HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS OF ALL UTILITY VALVES, FITTINGS, CONNECTION POINTS, ETC.
  - E. VERTICAL ELEVATIONS OF ALL PIPELINES AT CROSSINGS OF POTABLE WATER MAINS (WHETHER THE WATER MAIN IS EXISTING OR NEW) IN ORDER TO DOCUMENT THAT THE MINIMUM REQUIRED VERTICAL SEPARATION HAS BEEN MET.
  - F. UTILITY PIPELINE TIED HORIZONTALLY TO EDGE OF PAVEMENT AND RIGHT-OF-WAY LINES, LOCATED EVERY 200-FT PLUS ALL CHANGES IN HORIZONTAL OFFSET.
  - G. PAVEMENT WIDTH AND ELEVATIONS AT THE CENTERLINE AND EDGE OF PAVEMENT EVERY 200 FEET PLUS AT ALL CHANGES IN LONGITUDINAL SLOPE, CROSS SLOPE, INLET LOCATIONS, AND AT ALL DRIVEWAY AND STREET INTERSECTIONS. FOR PARKING LOTS, RECORD CENTERLINE AND EDGE OF PAVEMENT ELEVATIONS ALONG ALL DRIVE AISLES AND ISLANDS.
  - H. ALL PARKING AREAS AND SIDEWALK RAMPS DESIGNATED FOR ADA ACCESS SHALL CONTAIN HORIZONTAL AND VERTICAL MEASUREMENTS IN ORDER TO VERIFY REQUIRED WIDTHS AND SLOPES HAVE BEEN MET.
  - I. HORIZONTAL AND VERTICAL DATA FOR ANY CONSTRUCTION THAT DEVIATES FROM THE APPROVED ENGINEERING DRAWINGS.
  - J. WHERE THE PLANS CONTAIN SPECIFIC HORIZONTAL LOCATION DATA, SUCH AS STATION AND OFFSET, THE AS-BUILT DRAWINGS ARE TO REFLECT THE ACTUAL HORIZONTAL LOCATION.
  - K. WHERE THE PLANS CONTAIN SPECIFIC VERTICAL ELEVATION DATA, THE AS-BUILT DRAWINGS ARE TO REFLECT THE ACTUAL MEASURED VERTICAL ELEVATION.
  - L. BENCHMARKS

**CONSTRUCTION ABANDONMENT PROCEDURE**

1. IF CONSTRUCTION OF IMPROVEMENTS IS TERMINATED PRIOR TO COMPLETION PER THE APPROVED CONSTRUCTION DOCUMENTS, THE OWNER SHALL REMOVE ANY CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL AND DISPOSE OF SUCH MATERIALS AT A LEGALLY-APPROVED OFF-SITE LOCATION. DISTURBED LAND SHALL BE ROUGH GRADED, SEEDED AND MULCHED.

**FORTUITOUS FINDS**

1. IF EVIDENCE OF THE EXISTENCE OF HISTORIC RESOURCES IS DISCOVERED OR OBSERVED AT THE SITE, ALL WORK SHALL CEASE IN THE AREA OF EFFECT, AND THE DEVELOPER, OWNER, CONTRACTOR, OR AGENT THEREOF SHALL NOTIFY THE APPROPRIATE AGENCY IMMEDIATELY. EXAMPLES OF SUCH EVIDENCE INCLUDE WHOLE OR FRAGMENTARY STONE TOOLS, SHELL TOOLS, ABORIGINAL OR HISTORIC POTTERY, HISTORIC GLASS, HISTORIC BOTTLES, BONE TOOLS, HISTORIC BUILDING FOUNDATIONS, SHED FOUNDINGS, SHELL MIDDEN, OR SAND MOUNDS. THE AGENCY'S TIMELY ASSESSMENT OF THE SIGNIFICANCE OF THE FINDS, NOTIFICATION TO MITIGATE ANY ADVERSE EFFECTS SHALL BE ISSUED SO AS TO MINIMIZE DELAYS TO DEVELOPMENT ACTIVITIES.
2. IF ANY HUMAN SKELETAL REMAINS OR ASSOCIATED BURIAL ARTIFACTS ARE DISCOVERED AT THE SITE, ALL WORK IN THE AREA MUST CEASE, AND THE PERMITTEE MUST IMMEDIATELY NOTIFY THE NEAREST LAW ENFORCEMENT OFFICE AND THE APPROPRIATE PERMITTING AGENCY. ACCORDING TO CHAPTER 872, FLORIDA STATUTES, IT IS UNLAWFUL TO DISTURB, VANDALIZE, OR DAMAGE A HUMAN BURIAL.

**GENERAL COMMENT:**

\* IF CONFLICTS EXIST BETWEEN THESE NOTES AND NOTES ON PLAN SHEETS, DEFER TO NOTES ON PLAN SHEETS.

\* THESE NOTES AND SPECIFICATIONS ONLY APPLY IN THE EVENT THERE ARE NO JURISDICTIONAL SPECIFICATIONS.



**EXISTING BUILDING**

**STORE NUMBER: 3281**

11241 MIROMAR SQUARE BLVD  
 ESTERO, LEE COUNTY, FL 33928  
**PROJECT TYPE: ADA MODIFICATION**  
**DEAL TYPE: SELF DEVELOPMENT**

**CS PROJECT NUMBER:**

**ENGINEER:**

**FORESITE**  
 group  
 FL CA 26115  
 Foresite Group, Inc.  
 10150 Highland Manor Dr. Suite 210  
 Tampa, FL 33610  
 o 813.549.3250  
 f 813.621.3580  
 w | www.fg-inc.net

**CONSULTANT:**

**CLIENT:**



**Robert Reid Wedding**  
 Architects & Planners, AIA, Inc.  
 612 Bell Street, Tallahassee, Florida 32307-6142  
 Florida License #: Architectural/Interior Design AA-C001123 - Engineering 0000005

**SEAL:**



**REVISIONS:**

1	PER LEE COUNTY LDO REVIEW	05/28/15
2	PER LEE COUNTY DOT REVIEW	06/02/15
3	PER VILLAGE OF ESTERO DRB	06/24/15

DRAWING BY: JEC

DATE: 28 APRIL 2015

JOB NUMBER: 340.007

TITLE:

**GENERAL NOTES**

SHEET NUMBER:

**C-2.0**

COMMENTS:

# CVS STORE #3281 MINUTE CLINIC - ESTERO, FL

ROBERT REID WEDDING ARCHITECTS, INC. AIA

**NOTES**

- REFER TO GENERAL NOTES SHEET OF SITE DEVELOPMENT PLANS SET FOR ADDITIONAL DEMOLITION INFORMATION.
- REFER TO PHASE 1 ENVIRONMENTAL SITE ASSESSMENT BY ENVIRONMENTAL CONSULTANT FOR CONSIDERATION OF DEMOLITION AND REMOVAL TECHNIQUES OF SITE FEATURES (IF APPLICABLE).
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE APPROPRIATE DEMOLITION AND CONSTRUCTION-RELATED PERMITS FROM THE GOVERNING AGENCY PRIOR TO DEMOLITION AND CONSTRUCTION OF THE SITE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY WORK INCLUDING DEMOLITION.
- CONTRACTOR SHALL COORDINATE WITH CITY/COUNTY AS REQUIRED DURING ALL DEMOLITION AND NEW CONSTRUCTION ACTIVITIES.
- REMOVE SHRUBS AND TREES AS NOTED. GRUB OUT ROOTS AND STUMPS AND LEGALLY DISPOSE OF DEBRIS.
- TREES PROPOSED TO BE PRESERVED SHALL BE PROTECTED AS NOTED AND AS REQUIRED BY THE JURISDICTIONAL AGENCY. CONTRACTOR SHALL CONTACT THE JURISDICTIONAL FORESTER/LANDSCAPING INSPECTOR FOR AN INSPECTION OF TREE PROTECTION MEASURES PRIOR TO COMMENCEMENT OF CONSTRUCTION, IF REQUIRED. TREE BARRICADE AT DRIP LINE OF TREE SHALL BE PROTECTED UNTIL CONSTRUCTION ACTIVITY IN VICINITY REQUIRES REMOVAL.
- ALL NEW WORK SHOWN IN THESE SHEETS SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL BUILDING AND UTILITY INSTALLATION CODES.
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES EXCEPT IN CASES WHERE, WITHIN THE LOCAL JURISDICTION, THE CITY/COUNTY STANDARD SPECIFICATIONS ARE MORE STRINGENT.
- THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR LOCATIONS SHOWN, AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF CONSTRUCTION AND TO NOTIFY THE OWNER IN CASE OF DISCREPANCIES THAT AFFECT THE CONSTRUCTION PROJECT.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR IS RESPONSIBLE FOR NOTIFICATION OF AND LIAISON WITH UTILITY COMPANIES IN THE PROCESS OF LOCATION AND RELOCATION OF AND TIE-IN TO EXISTING UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING CITY/COUNTY AND ALL EXISTING UTILITY PROVIDERS BEFORE REMOVING ANY UTILITIES FROM THEIR EXISTING LOCATION ON THE SITE. THE CONTRACTOR SHALL PERFORM ALL UTILITY DEMOLITION OR RELOCATION ACTIVITIES IN ACCORDANCE WITH THE EXISTING UTILITIES SPECIFICATIONS, MATERIALS, AND REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO ANY ADJACENT STRUCTURES OR PROPERTY, OR ANY EXISTING STRUCTURES WITHIN LIMITS OF CONSTRUCTION THAT ARE DESIGNATED ON THE PLANS TO REMAIN, AND SHALL REPAIR OR REPLACE SUCH DAMAGED PROPERTY TO THE PROPERTY OWNER'S SATISFACTION AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THESE PLANS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN CONSENT OF THE ENGINEER.
- THE CONTRACTOR SHALL SEQUENCE THE WORK AND PROVIDE TEMPORARY MEASURES AS NECESSARY TO MAINTAIN ACCESS TO THE SITE THROUGH ALL ENTRANCES AT ALL TIMES DURING CONSTRUCTION. TEMPORARY PROVISIONS MAY INCLUDE, BUT ARE NOT LIMITED TO: BARRICADES, FLASHING LIGHTS, FLAGMAN, TEMPORARY PAVEMENT, AND DIRECTIONAL SIGNAGE AS NECESSARY TO ACCOMPLISH THE WORK.
- CONTRACTOR SHALL CONSIDER COORDINATION ASPECTS OF CRANES AND CONSTRUCTION EQUIPMENT OPERATIONS DURING DEMOLITION ACTIVITY.
- CONTRACTOR EQUIPMENT SHALL NOT BE PARKED IN COUNTY, CITY OR STATE RIGHT-OF-WAY, AND MUST BE STORED WITHIN SITE.
- APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY CITY/ COUNTY OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND AREA DISTURBANCE.
- ALL BUFFERS AND PRESERVE AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
- THE CONTRACTOR SHALL LEGALLY DISPOSE OF ALL ITEMS DESIGNATED FOR REMOVAL IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS. SUCH MATERIAL, WHETHER HAZARDOUS OR NON-HAZARDOUS, LAND-CLEARING, CONSTRUCTION OR DEMOLITION DEBRIS SHALL BE PROPERLY HANDLED AND TRANSPORTED TO AN APPROPRIATE OFF-SITE FACILITY.
- ALL TREE ROOTS EXISTING WITHIN APPROVED IMPROVEMENT AREAS AND ORIGINATING FROM A PROTECTED TREE, SHALL BE SEVERED CLEAN AT THE LIMITS OF THE PRESERVED AREA WHERE INDICATED ON THE SITE DEVELOPMENT CONSTRUCTION PLANS.

**EXISTING LAND COVERAGE DATA**  
(PER LEE COUNTY RECORD DRAWINGS DOS 2002-00283)

	AREA (SF)	AREA (AC)	PERCENT OF TOTAL AREA
BUILDING	14,145 SF	0.32 AC	19.4%
PAVEMENT / WALKS	43,748 SF	1.00 AC	60.0%
GREEN AREA	15,047 SF	0.35 AC	20.6%
DETENTION AREA	N/A	N/A	N/A
<b>TOTAL</b>	<b>72,940 SF</b>	<b>1.67 AC</b>	<b>100%</b>

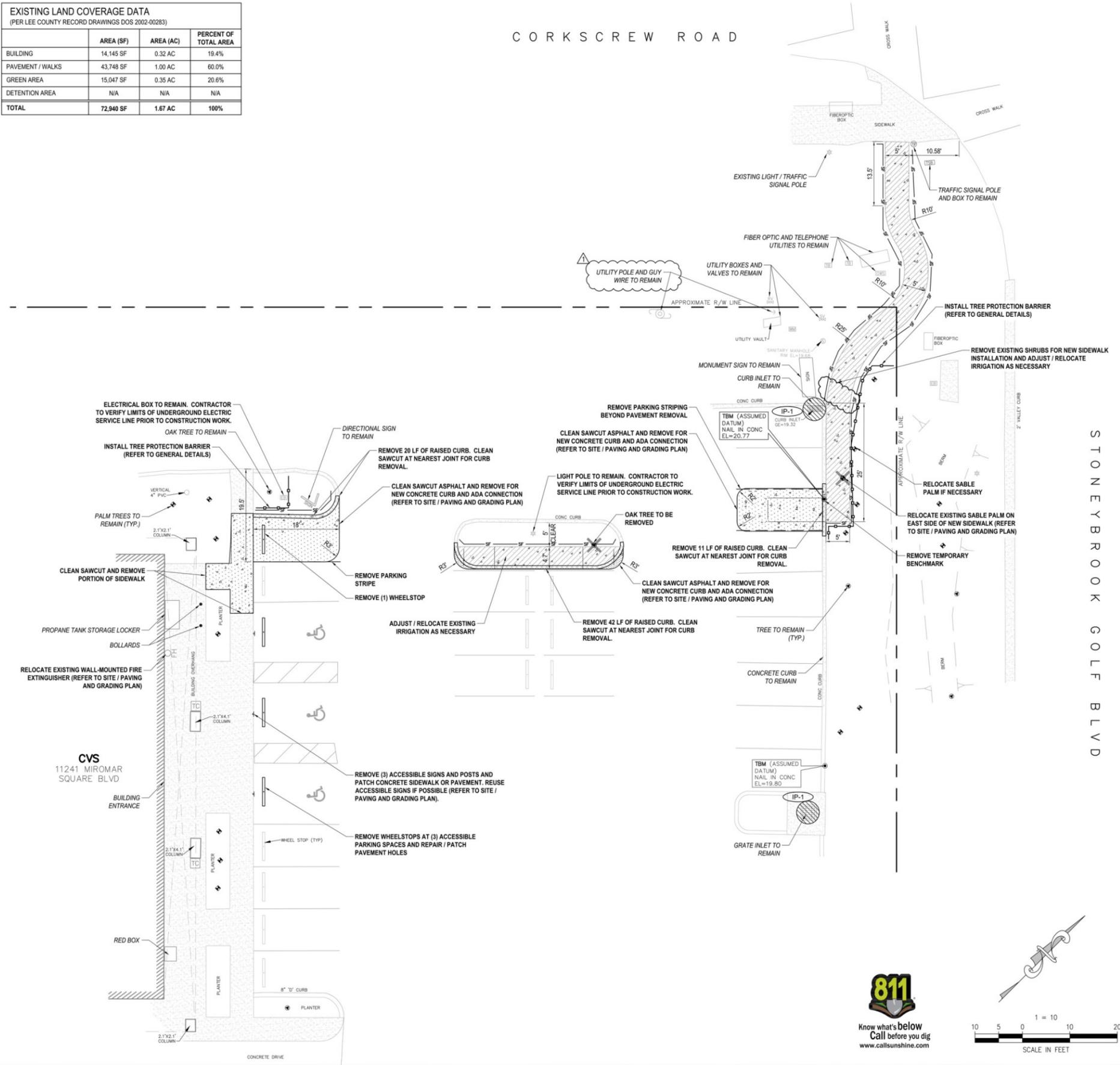
**TREE LEGEND**

- ◆ = PALM TREE
- = OAK TREE

**LEGEND**

- EXISTING CONCRETE TO REMAIN
- LANDSCAPE MATERIAL TO BE REMOVED
- ASPHALT / CONCRETE TO BE REMOVED. LIMEROCK BASE MATERIAL TO BE REMOVED AT PARKING STALLS
- CONCRETE CURB TO BE REMOVED
- ITEMS TO BE REMOVED
- TREE PROTECTION BARRIER (REFER TO GENERAL DETAILS)
- TEMPORARY SILT FENCE (REFER TO DETAIL 4 ON SHEET 5.0)
- PROPOSED INLET PROTECTION
- TYPE OF INLET PROTECTION (REFER TO GENERAL DETAILS)
- EXISTING TRASH CAN

**CORKSCREW ROAD**

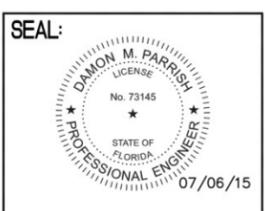


**EXISTING BUILDING**  
**STORE NUMBER:** 3281  
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 ESTERO, LEE COUNTY, FL 33928  
**PROJECT TYPE:** ADA MODIFICATION  
**DEAL TYPE:** SELF DEVELOPMENT  
**CS PROJECT NUMBER:**

**ENGINEER:**  
**FORESITE group**  
 FL CA 26115  
 Foresite Group, Inc.  
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 Phone: 813.549.3250  
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**CONSULTANT:**

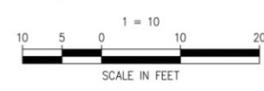
**CLIENT:**  
  
**Robert Reid Wedding**  
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4112 Capone Street - Tampa, Florida 33607 - 813.379.9999  
 612 South Military Trail - Deerfield Beach, Florida 33442 - 954.492.0980  
 Florida License #s: Architectural/Interior Design: AA-0001123 - Engineering: 00002005



**REVISIONS:**  
 ▲ PER LEE COUNTY LDD REVIEW 05/28/15  
 ▲ PER LEE COUNTY DOT REVIEW 06/02/15  
 ▲ PER VILLAGE OF ESTERO DRB 06/24/15

**DRAWING BY:**  
**DATE:** 28 APRIL 2015  
**JOB NUMBER:** 340.007  
**TITLE:**

**DEMOLITION PLAN**  
**SHEET NUMBER:** C-3.0  
**COMMENTS:**



**CVS STORE #3281 MINUTE CLINIC — ESTERO, FL**

ROBERT REID WEDDING ARCHITECTS, INC. AIA

**NOTES**

- REFER TO TOPOGRAPHIC SURVEY FOR ADDITIONAL INFORMATION AND EXISTING SYMBOL LEGEND.
- IN GENERAL, ITEMS SHOWN AS BOLD LINEWORK REPRESENT PROPOSED FEATURES TO BE CONSTRUCTED AS PART OF THIS PROJECT, UNLESS NOTED OTHERWISE. SIMILARLY, SHADED LINEWORK REPRESENTS EXISTING FEATURES OR ITEMS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- UNLESS NOTED OTHERWISE, ON-SITE PROPOSED DIMENSIONS USED TO SHOW THE GEOMETRIC LAYOUT OF THE PROPOSED PARKING LOT ARE SHOWN AT THE FACE OF CURB. PROPOSED DIMENSIONS GIVEN TO SHOW THE LOCATION OF THE PROPOSED BUILDING ARE GIVEN AT THE OUTSIDE FACE OF THE BUILDING CORNERS. ON-SITE CURB RADII ARE GIVEN AT THE FACE OF CURB. DIMENSIONS FOR ITEMS WITHIN THE RIGHT-OF-WAY ARE GIVEN AT THE EDGE OF PAVEMENT.
- PAINTED PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE LATEST MUTCD MANUAL AND FDOT DESIGN STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR CORRECT HORIZONTAL AND VERTICAL ALIGNMENT OF ALL TIES BETWEEN PROPOSED AND EXISTING IMPROVEMENTS.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL FROM THE SITE IN THE EVENT THE CONSTRUCTION SITE IS ABANDONED PRIOR TO PROJECT COMPLETION.
- CONTRACTOR SHALL REFER TO THE LATEST FDOT DESIGN STANDARDS OR OTHER APPLICABLE MANUALS FOR CONSTRUCTION DETAILS REFERENCED WITHIN THE PLANS.
- ALL CONSTRUCTION WITHIN THE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST EDITIONS OF THE "FDOT DESIGN STANDARDS INDICES", THE "FDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION", AND THE "FDOT UTILITY ACCOMMODATIONS MANUAL".
- DAMAGED SIDEWALK RESULTING FROM CONSTRUCTION ACTIVITY ALONG THE PROPERTY FRONTAGE SHALL BE REMOVED AND REPLACED. SIDEWALKS THAT ARE REMOVED MUST BE RESTORED WITHIN THREE (3) DAYS. SAFE PEDESTRIAN TRAFFIC MUST BE MAINTAINED AT ALL TIMES.
- SAFE VEHICULAR AND PEDESTRIAN TRAFFIC SHALL BE MAINTAINED AT ALL TIMES.

**EXISTING LAND COVERAGE DATA**  
(PER LEE COUNTY RECORD DRAWINGS DOS 2002-00283)

	AREA (SF)	AREA (AC)	PERCENT OF TOTAL AREA
BUILDING	14,145 SF	0.32 AC	19.4%
PAVEMENT / WALKS	43,748 SF	1.00 AC	60.0%
GREEN AREA	15,047 SF	0.35 AC	20.6%
DETENTION AREA	N/A	N/A	N/A
<b>TOTAL</b>	<b>72,940 SF</b>	<b>1.67 AC</b>	<b>100%</b>

**PROPOSED LAND COVERAGE DATA**

	AREA (SF)	AREA (AC)	PERCENT OF TOTAL AREA
BUILDING	14,145 SF	0.32 AC	19.4%
PAVEMENT / WALKS	44,028 SF	1.01 AC	60.4%
GREEN AREA	14,767 SF	0.34 AC	20.2%
DETENTION AREA	N/A	N/A	N/A
<b>TOTAL</b>	<b>72,940 SF</b>	<b>1.67 AC</b>	<b>100%</b>

**LEGEND**

- PROPERTY LINE
- ACCESSIBLE PARKING
- SEE DETAIL No. 1 ON SHEET C-5.0
- PROPOSED INLET PROTECTION
- EXISTING DRAINAGE INLET
- EXISTING GRADE ELEVATION
- TOP OF CURB FLOWLINE/PAVEMENT EDGE
- DIRECTION OF RUNOFF FLOW
- DIRECTION OF DOWN SLOPE
- EXISTING CONCRETE
- PROPOSED CONCRETE

**EX. TREE LEGEND**

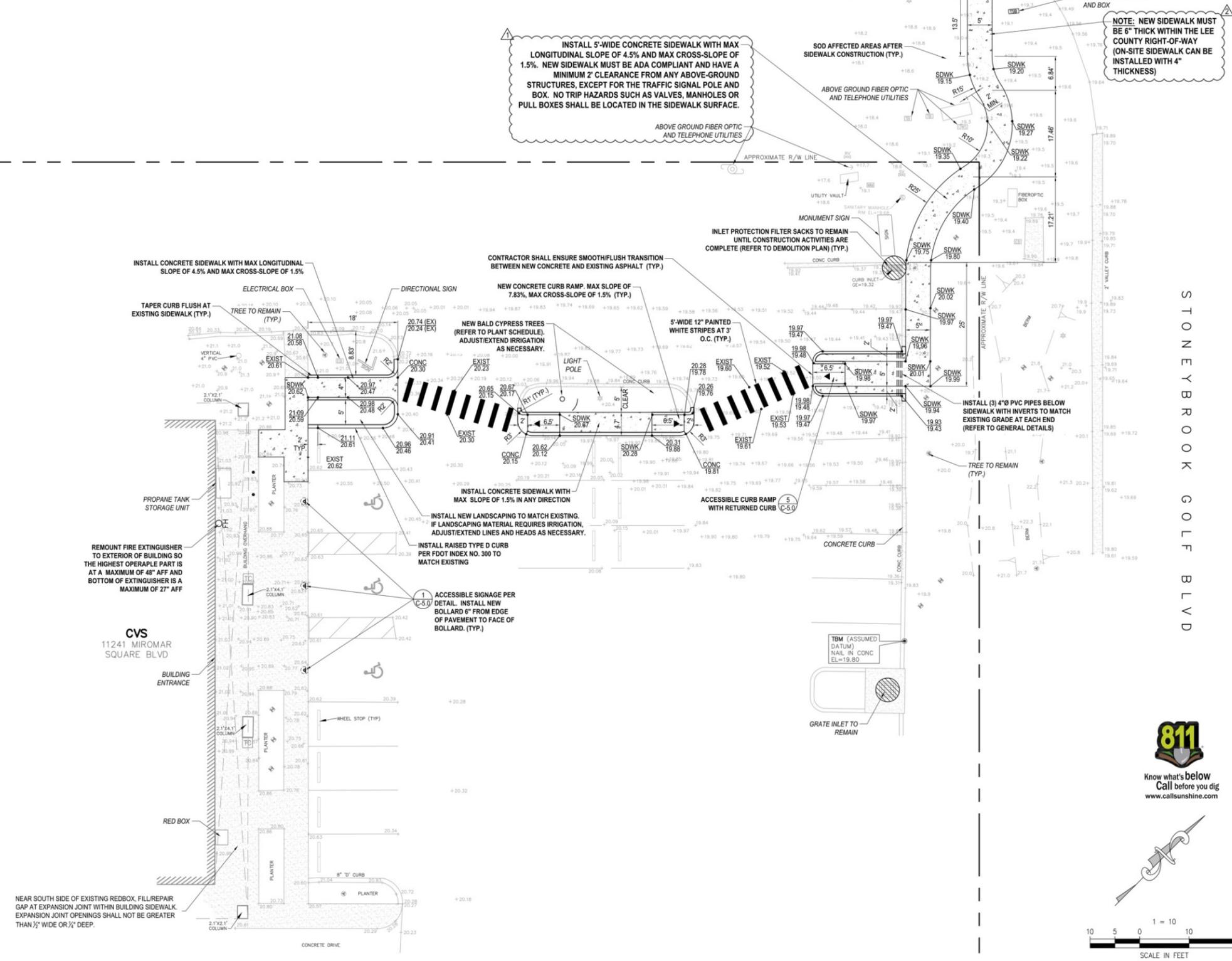
- PALM TREE
- OAK TREE

**PLANT SCHEDULE**

CANOPY & UNDERSTORY TREES				
KEY	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	QTY.
	SABAL PALMETTO / CABBAGE PALM	N/A (EXISTING TREE RELOCATED)	AS INDICATED	1 (RELOCATED)
	TAXODIUM DISTICHUM / BALD CYPRESS	10' HT X 4' SPD, 2" CAL, 30 GALLON	AS INDICATED	2

NOTE: CONTRACTOR SHALL PRESSURE WASH THE EXISTING ON-SITE SIDEWALKS AFTER EXTERIOR WORK IS COMPLETE.

CORKSCREW ROAD



**EXISTING BUILDING**  
STORE NUMBER: 3281  
11241 MIROMAR SQUARE BLVD  
ESTERO, LEE COUNTY, FL 33928  
PROJECT TYPE: ADA MODIFICATION  
DEAL TYPE: SELF DEVELOPMENT  
CS PROJECT NUMBER:

**ENGINEER:**  
**FORESITE group**  
FL CA 26115  
ForeSITE Group, Inc.  
10150 Highland Manor Dr. Suite 210  
Tampa, FL 33610  
o | 813.549.3250  
f | 813.621.3580  
w | www.fg-inc.net

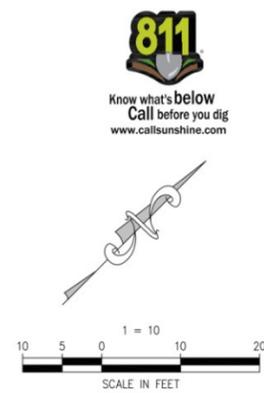
**CONSULTANT:**

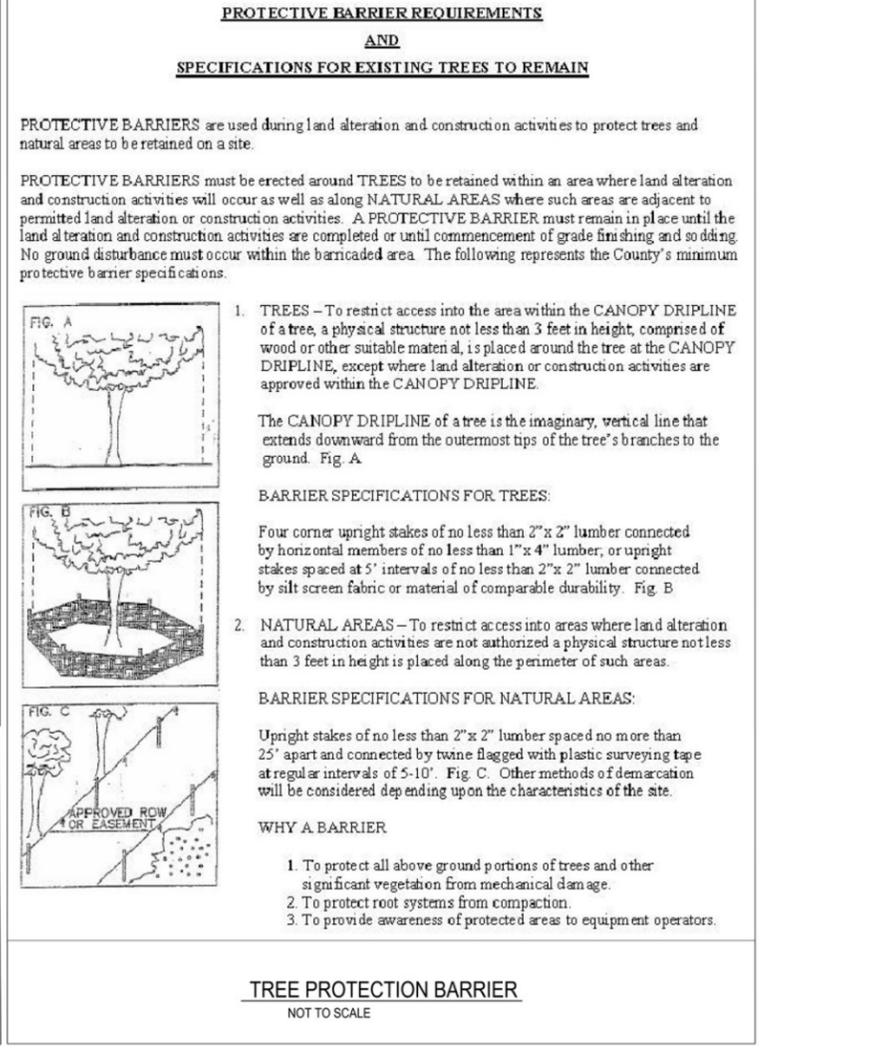
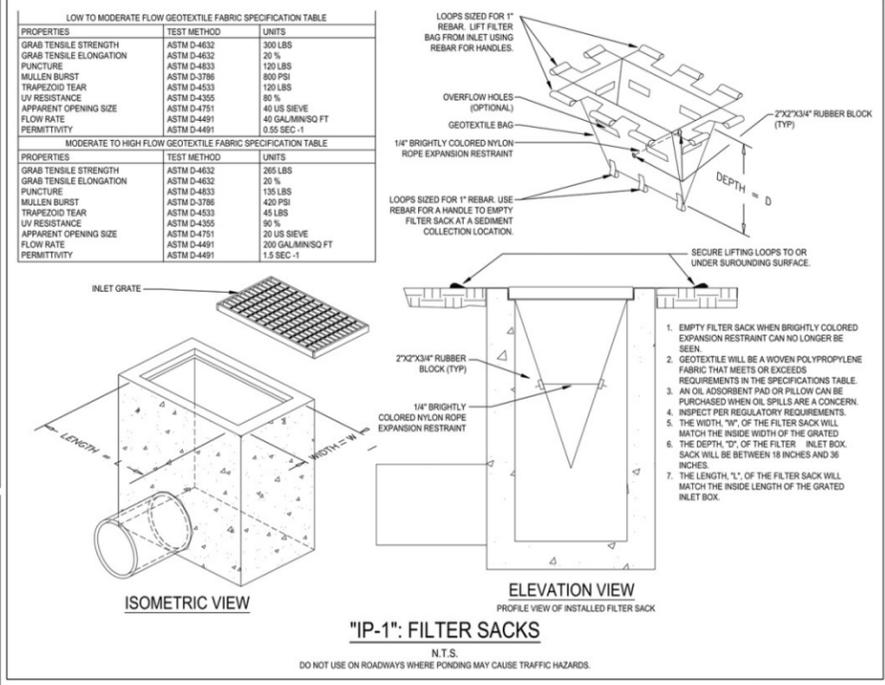
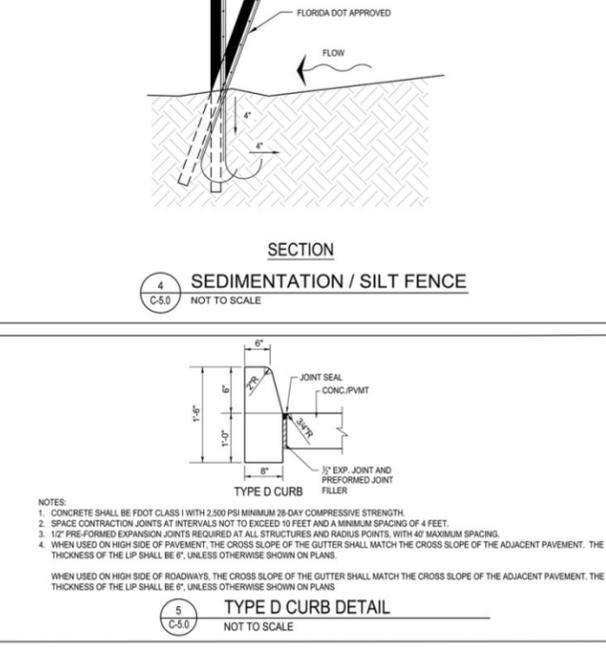
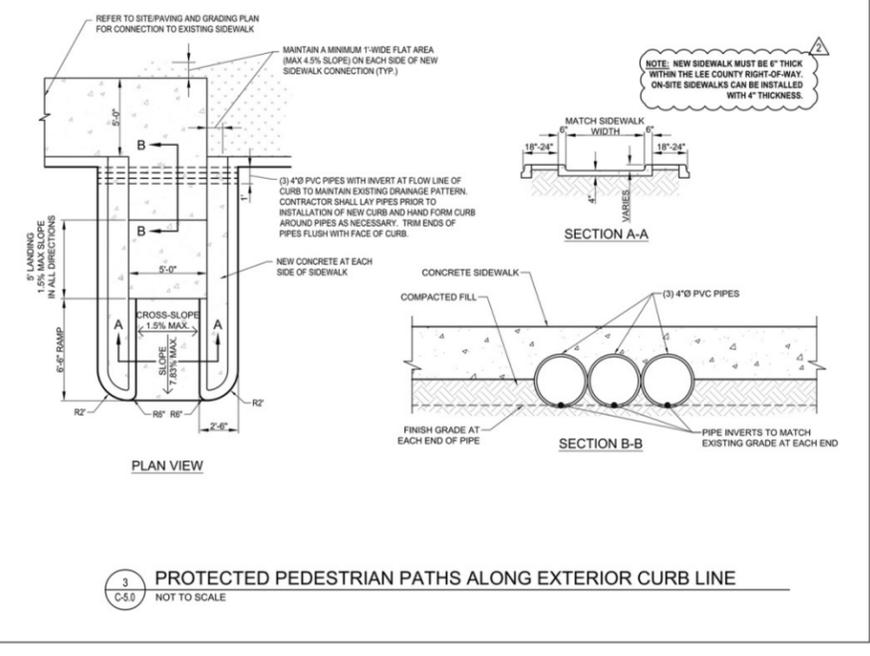
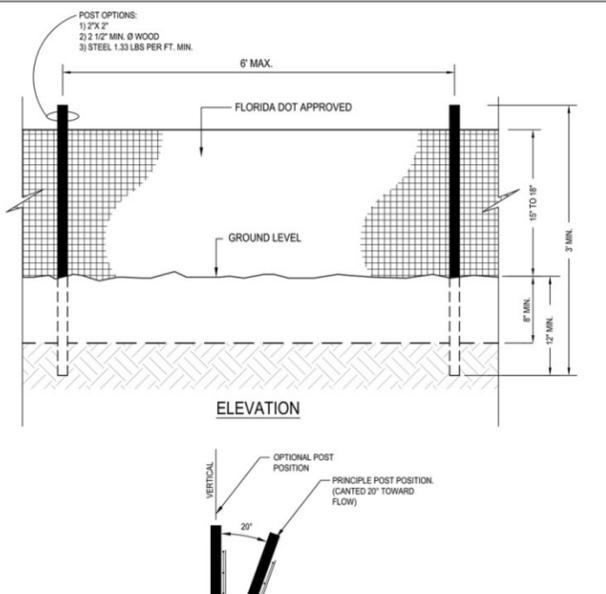
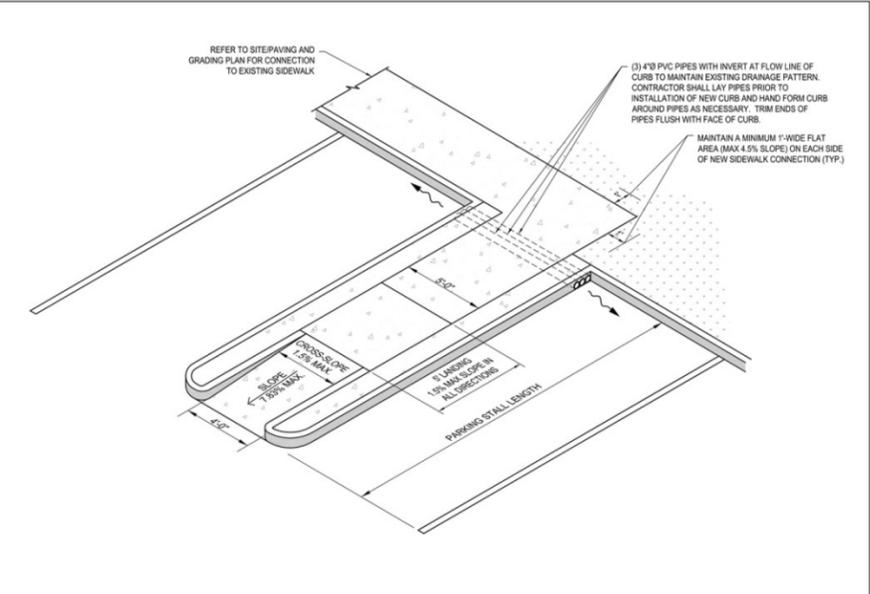
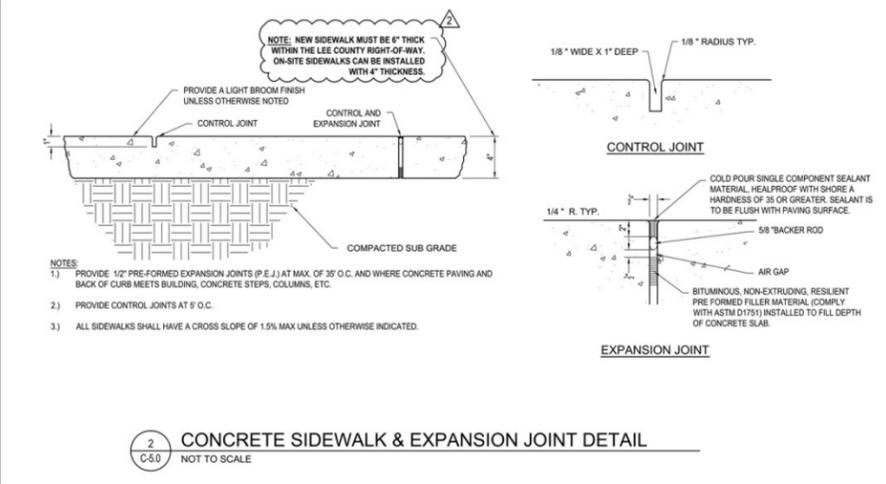
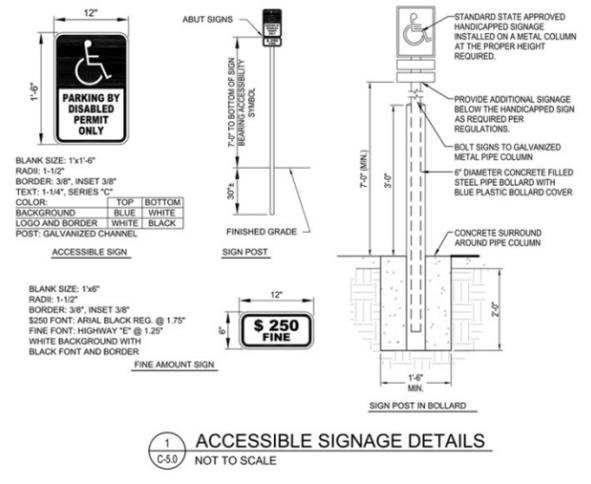
**CLIENT:**  
  
Robert Reid Wedding Architects & Planners, AIA, Inc.  
4113 Cypress Street, Tampa, Florida 33607-4133  
612 South Military Trail, Clearfield Beach, Florida 33442-1544  
Florida License #: Architectural/Interior Design, AA-000112 - Engineering 00000005

**SEAL:**

**REVISIONS:**  
▲ PER LEE COUNTY LDO REVIEW 05/28/15  
▲ PER LEE COUNTY DOT REVIEW 06/02/15  
▲ PER VILLAGE OF ESTERO DRB 06/24/15

DRAWING BY: \_\_\_\_\_  
DATE: 28 APRIL 2015  
JOB NUMBER: 340.007  
TITLE: SITE / PAVING AND GRADING PLAN  
SHEET NUMBER: **C-4.0**  
COMMENTS:





**EXISTING BUILDING**  
STORE NUMBER: 3281

11241 MIROMAR SQUARE BLVD  
ESTERO, LEE COUNTY, FL 33928  
PROJECT TYPE: ADA MODIFICATION  
DEAL TYPE: SELF DEVELOPMENT  
CS PROJECT NUMBER:

**ENGINEER:**  
**FORESITE group**  
FL CA 26115  
Foresite Group, Inc.  
10150 Highland Manor Dr. Suite 210  
Tampa, FL 33610  
813.549.3250  
813.621.3580  
www.fg-inc.net

**CONSULTANT:**

**CLIENT:**  
**Robert Reid Wedding Architects & Planners, AIA, Inc.**  
4112 Cypress Street - Tampa, Florida 33607 - 813-878-6896  
612 South Military Trail - Clearwater Beach, Florida 34622 - 784-492-9999  
Florida License #s: Architectural/Interior Design: AA-C081123 - Engineering: 59900005

**SEAL:**  
DAMON M. PARRISH  
LICENSE  
No. 73145  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
07/06/15

**REVISIONS:**

PER LEE COUNTY LDO REVIEW	05/28/15
PER LEE COUNTY DOT REVIEW	06/02/15
PER VILLAGE OF ESTERO DRB	06/24/15

DRAWING BY: JEC  
DATE: 28 APRIL 2015  
JOB NUMBER: 340.007  
TITLE:

**GENERAL DETAILS**  
SHEET NUMBER: **C-5.0**  
COMMENTS:

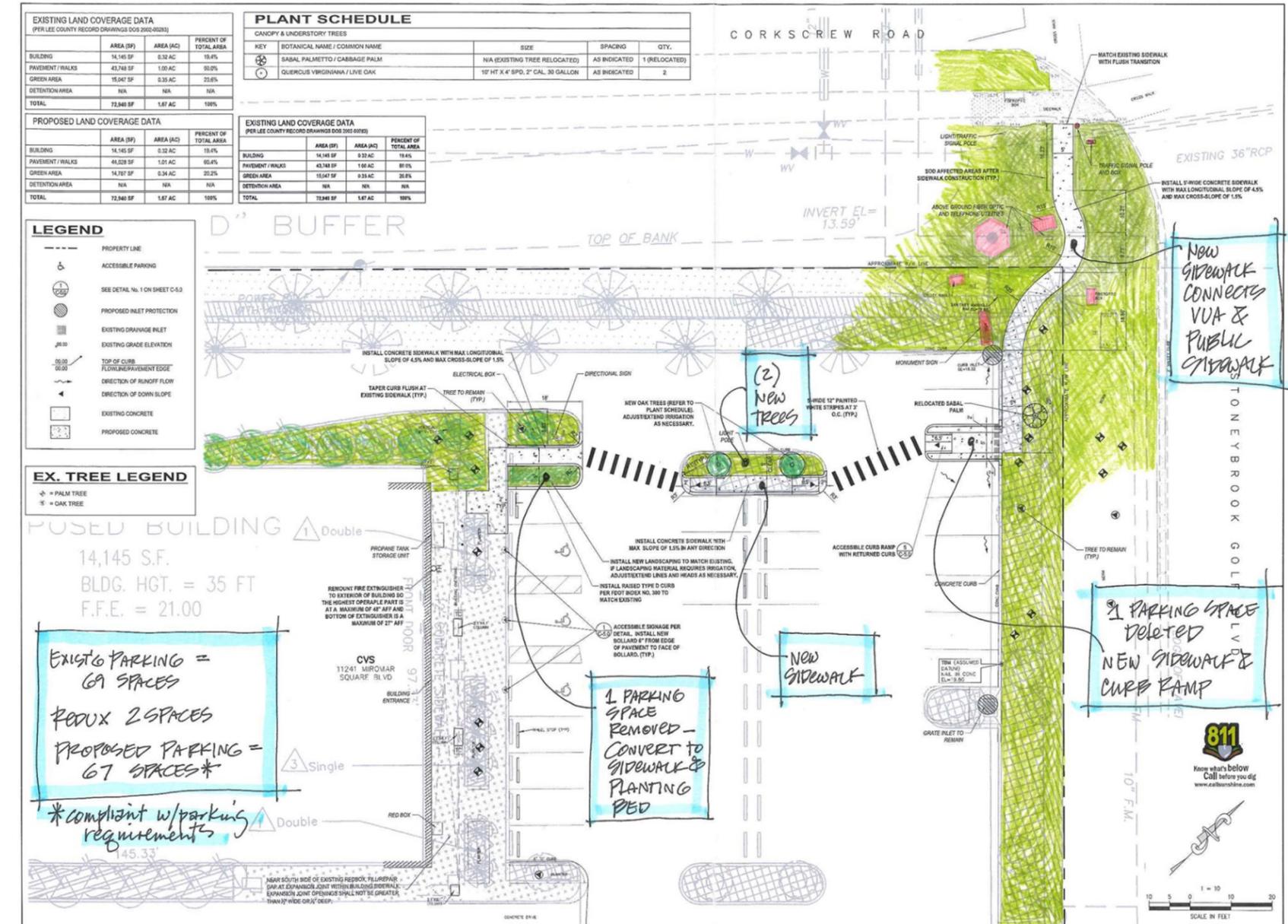


**CVS STORE #3281 MINUTE CLINIC** - ESTERO, FL  
ROBERT REID WEDDING ARCHITECTS, INC. AIA



# THE BALD CYPRESS TREE

Bald-cypress is a large tree, to more than 130 ft (40 m) tall, with a trunk diameter at breast height of up to 10 ft (3 m) or more. The young tree is pyramid shaped, but with age the top flattens and the crown may spread as much as 60 ft (18 m) or more. The lower trunk is often greatly enlarged and buttressed. The bark is reddish gray or brown with long fibrous ridges that peel off in strips. Unusual among coniferous needle bearing trees, bald-cypress is deciduous. The needles turn rusty brown, then almost red before dropping in late fall or early winter. Bald-cypresses, especially when growing in or near the water, produce tapered "knees" to 6 ft (2 m) high that stick up from the roots.



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 ROBERT REID WEDDING ARCHITECTS, INC. AIA



THANK YOU!