



CITY MATTRESS



KUKK ARCHITECTURE & DESIGN, P.A.
1300 Third Street South • Suite 203E • NAPLES, FL 34102
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www.kukkarchitecture.com
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The Proposed Plans For
City Mattress
Coconut Point
Estero, FL

REVISIONS
PERMIT 00/00/00
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FILE NAME: CITY MATTRESS 2.3 PLAN DATE: 11/3/15 CLIENT: 1532

ARCHITECT

KUKK ARCHITECTURE & DESIGN, P.A.
1300 3RD STREET SOUTH • SUITE 203E • NAPLES, FL 34102
TEL (239) 263-9996

LANDSCAPE ARCHITECT

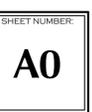
LAND ARCHITECTS, INC.
6208 WHISKEY CREEK DRIVE • FORT MYERS, FL 33907
TEL (239) 334-9144

CIVIL ENGINEER

HOLE MONTES, INC.
6200 WHISKEY CREEK DRIVE • FORT MYERS, FL 33919
TEL (239) 985-1200 FAX (239) 985-1259

DRAWING INDEX

- A0 COVER SHEET
- A1 PROJECT INFO
- A2 1ST FLOOR PLAN
- A3 ELEVATIONS
- A4 ELEVATIONS
- A5 SECTIONS / DETAILS





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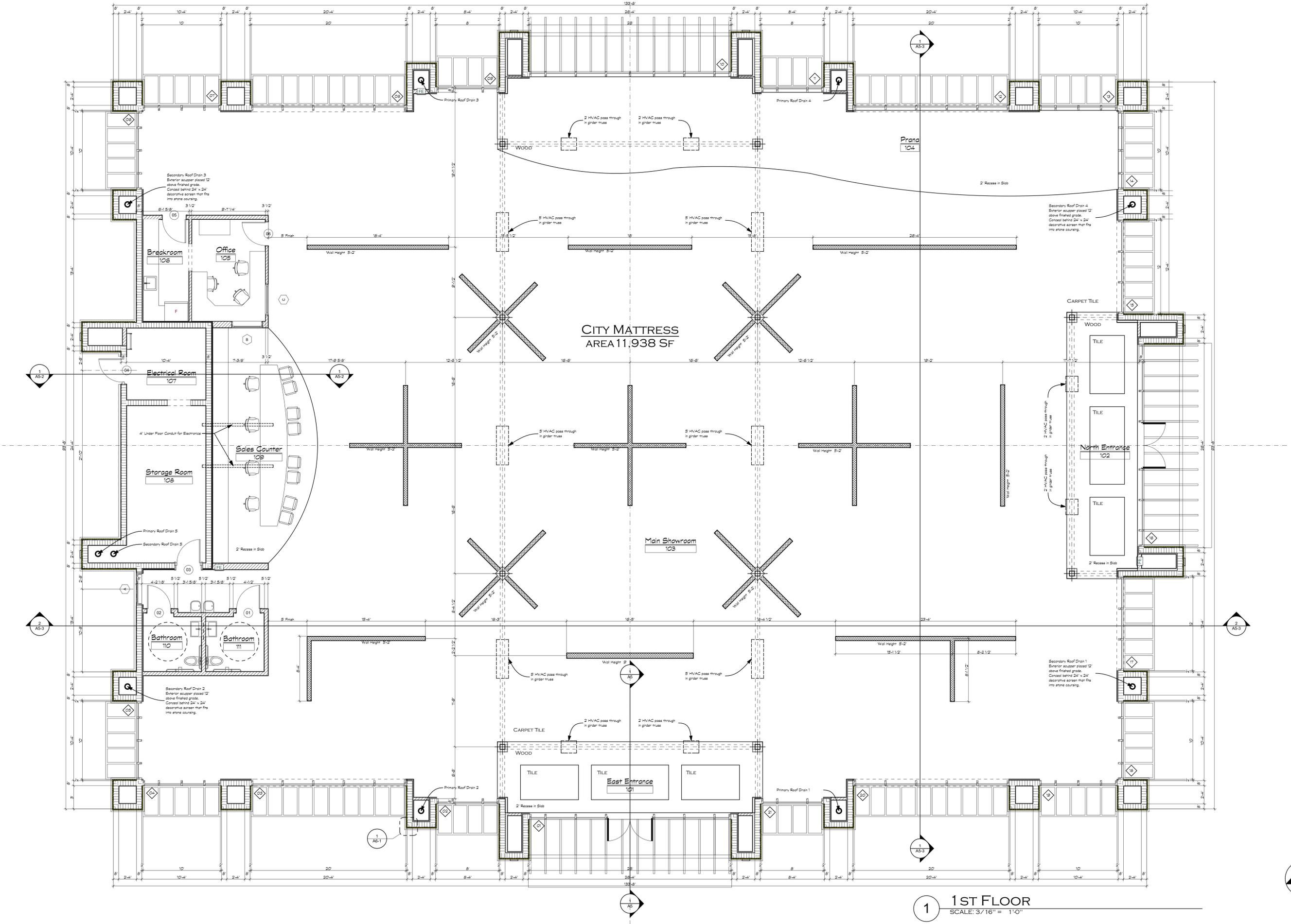
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SIGN & SEAL

SHEET NUMBER:
A2



1 1ST FLOOR
 SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"

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A3



1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"

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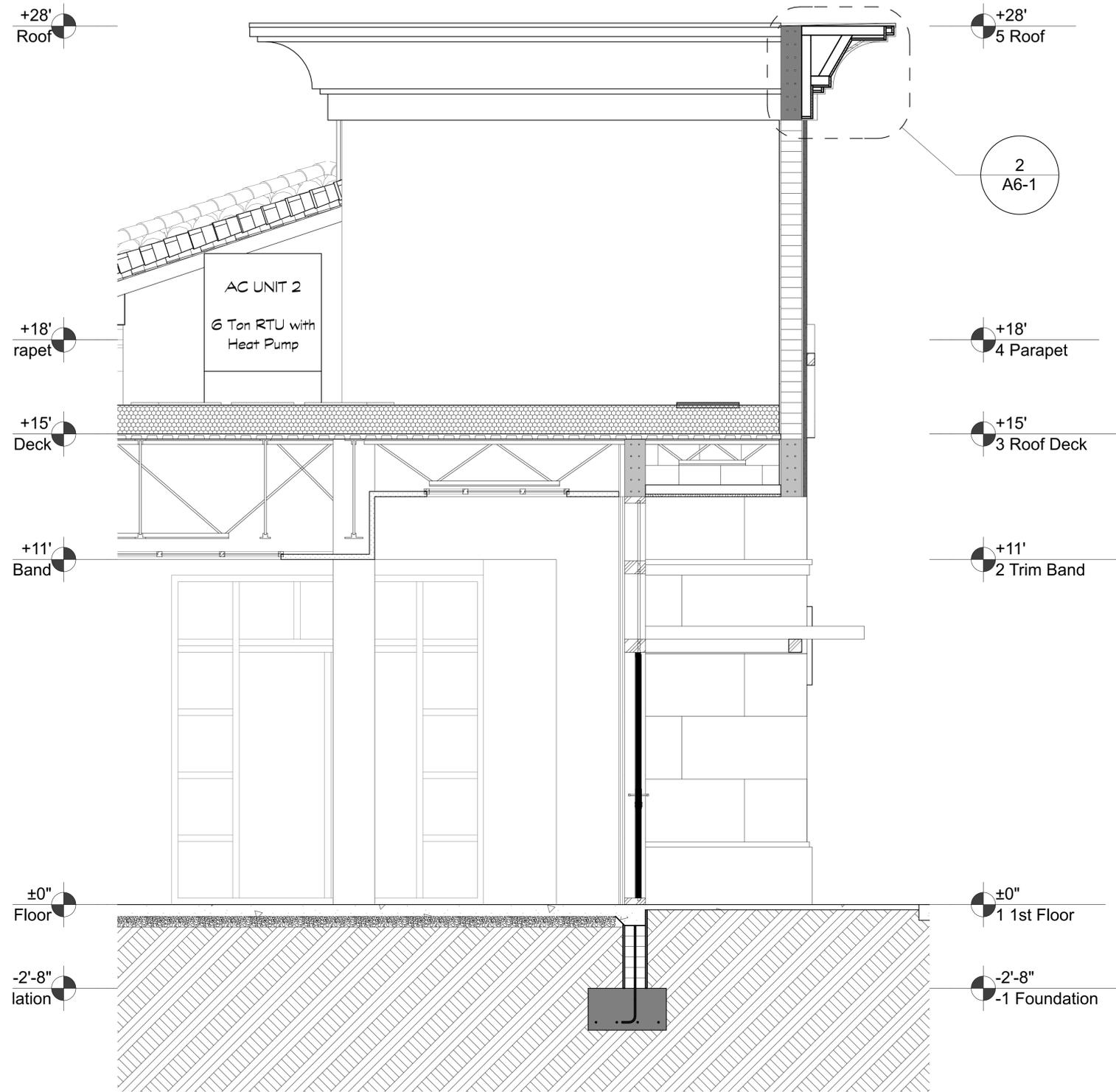
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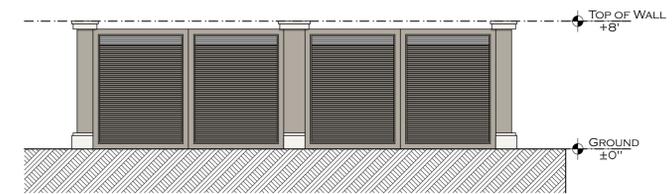
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CITY MATTRESS
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SIGN & SEAL

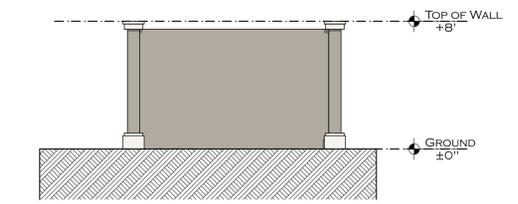
SHEET NUMBER
A4



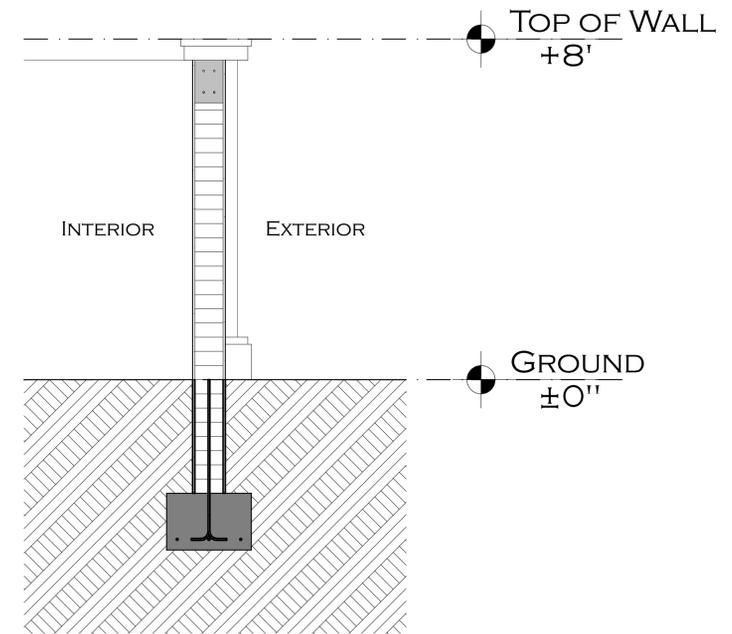
1 Entry Tower Section
SCALE: 1/2" = 1'-0"



2 DUMPSTER FRONT ELEVATION
SCALE: 3/16" = 1'-0"



3 DUMPSTER SIDE ELEVATION
SCALE: 3/16" = 1'-0"



4 Dumpster Section
SCALE: 1/2" = 1'-0"

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NOTES:

- ELEVATIONS SHOWN REFER TO N.G.V.D. (1929).
- PROVIDE 18" MINIMUM CLEARANCE BETWEEN ALL WATER MAINS AND CULVERT PIPE CROSSINGS BY LOWERING THE WATER MAIN, IF REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE GRADING IN AREAS NOT PROVIDED WITH ELEVATION CONTROL TO PREVENT STANDING WATER.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAINTAINING SERVICE OF ALL EXISTING UTILITIES PRIOR TO AND DURING CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE ALL AREAS DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SODDING AND MAINTAINING PROPOSED DETENTION AREAS, BERMS, LAKES AND DITCH BANKS DURING CONSTRUCTION TO PREVENT EROSION FOR A SUFFICIENT PERIOD OF TIME TO ALLOW FOR A GOOD STAND OF GRASS. CONTRACTOR SHALL PLACE HAY BALES AT FIELD DETERMINED LOCATIONS AND SHALL INSTALL SILT FENCES AND FILTER BARRIERS WHERE NECESSARY TO PREVENT EROSION AND SEDIMENTATION IN PROPOSED LAKES AND ENVIRONMENTALLY SENSITIVE AREAS.
- CONTRACTOR SHALL STOCKPILE ALL EXCESS EXCAVATED MATERIAL IN DESIGNATED, ON-SITE AREAS AS DETERMINED BY THE PROJECT DEVELOPER.
- FOR DETAILS OF GRADING, PAVING, AND DRAINAGE, SEE SHEET 1365-11 AND 1365-12.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH FDOT 2002 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND ITS SUPPLEMENTS. ALL CONSTRUCTION MUST ALSO MEET THE APPROVAL OF L.C.D.O.T. AND LEE COUNTY INSPECTORS.
- TESTING
THE PROPOSED STABILIZED SUBGRADE SHALL HAVE A L.B.R. OF 40 AND SHALL BE COMPACTED TO 98% MINIMUM DENSITY AS DETERMINED BY AASHTO T-180. THE PROPOSED LIMEROCK BASE SHALL HAVE A L.B.R. OF 100 AND SHALL BE PLACED IN TWO (2) LIFTS WITH EACH LIFT COMPACTED TO 98% MINIMUM DENSITY AS DETERMINED BY AASHTO T-180.
ONE (1) FIELD DENSITY TEST SHALL BE REQUIRED EVERY 300 LF. OR PART THEREOF OF THE FINISHED SUBGRADE MATERIAL AND OF EACH LIFT OF LIMEROCK BASE MATERIAL.
TWO (2) CERTIFIED COPIES OF THE L.B.R., PROCTOR AND COMPACTION TEST RESULTS SHALL BE SUBMITTED TO LEE COUNTY ENGINEERING DEPT. AND A COPY TO THE PROJECT ENGINEER.
- TRAFFIC STRIPING AND OTHER MARKINGS SHALL BE OF A THERMO-PLASTIC COMPOUND MEETING THE REQUIREMENTS OF F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 711, UNLESS SPECIFIED BY THE ENGINEER. PLACEMENT OF SAME SHALL CONFORM WITH F.D.O.T. TRAFFIC OPERATION STANDARDS INDEX #17346.

- TRAFFIC STRIPING AND OTHER MARKINGS SHALL BE OF A THERMO-PLASTIC COMPOUND MEETING THE REQUIREMENTS OF F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 711, UNLESS SPECIFIED BY THE ENGINEER. PLACEMENT OF SAME SHALL CONFORM WITH F.D.O.T. TRAFFIC OPERATION STANDARDS INDEX #17346.
- THE CONTRACTOR SHALL COMPLY WITH THE "STATE OF FLORIDA STANDARD INDEX 600 FOR STREET AND HIGHWAY CONSTRUCTION MAINTENANCE, AND UTILITY OPERATIONS", AND WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- NOTIFICATION TO LEE COUNTY D.O.T. AND ENGINEERING DEPARTMENT IS REQUIRED 72 HOURS PRIOR TO CONSTRUCTION COMMENCEMENT PERFORMANCE OF DENSITY TESTING AND ASPHALTIC APPLICATION.
- CONTRACTOR TO GUARANTEE ALL WORK WITHIN RIGHT-OF-WAY TO OWNER AND LEE COUNTY FOR A PERIOD OF ONE (1) YEAR.
- BASED ON THE APPROPRIATE F.I.R.M. PANEL AND THE S.S.D.A. SOIL CONSERVATION SERVICE SOIL SURVEY OF LEE COUNTY, FLORIDA, IT IS ANTICIPATED THAT THIS SITE MAY BE USED SAFELY FOR BUILDING PURPOSES, WITHOUT UNDUE DANGER FROM FLOOD OR ADVERSE SOIL OR FOUNDATION CONDITIONS, SUBJECT TO PROPERLY ENGINEERED AND CONSTRUCTED CORRECTIVE MEASURES, INCLUDING BUT NOT LIMITED TO SITE FILL, DRAINAGE, WATER MANAGEMENT AND SEWAGE DISPOSAL FACILITIES.
- ALL PERIMETER BERMS AND ANY NECESSARY PERIMETER GRADING ARE TO BE CONSTRUCTED FIRST IN ORDER TO RETAIN ALL SURFACE WATER RUNOFF ON SITE WITH THE ONLY DISCHARGE ALLOWED TO BE THROUGH THE APPROVED WEIRS.
- CONTRACTOR MUST COMPLY WITH THE FLORIDA TRENCH SAFETY ACT OF 1990 (Latest Revision).
- 1/2" DRY PRE-TREATMENT HAS BEEN PROVIDED FOR EACH COMMERCIAL OUT PARCEL WITHIN THE MASTER STORMWATER MANAGEMENT SYSTEM.
- THERE ARE NO IMPACTS TO WETLANDS OR OTHER SENSITIVE LANDS ON-SITE.
- THERE ARE NO IMPACTS ON FLOODPLAINS OR RIVERINE AREAS ON-SITE.
- MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM INCLUDING LAKES AND LAKE CONNECTING PIPES SHALL BE THE RESPONSIBILITY OF THE COCONUT POINT AREA 2 PROPERTY OWNERS ASSOCIATION.
- CONTINUOUS MAINTENANCE OF ON-SITE, PARKING DRAINAGE STRUCTURES, OPEN SPACE AND BUFFERS ARE THE RESPONSIBILITY OF THE OWNER/DEVELOPER.

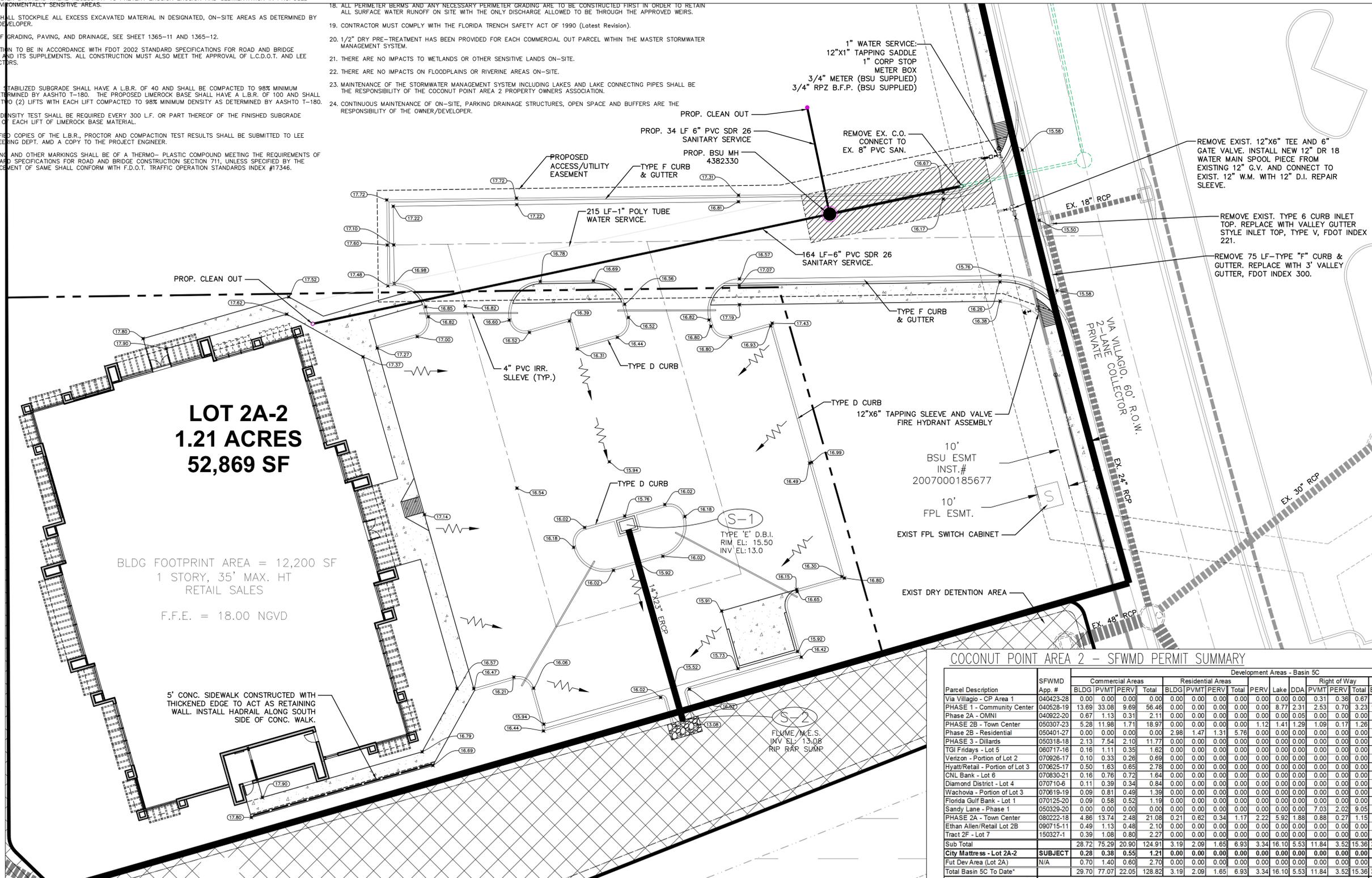
STORMWATER MANAGEMENT SUMMARY (PERMIT # 36-00288-S)

BASIN	MWL	5 YEAR EVENT		25 YEAR EVENT		100 YEAR EVENT		MIN. ROADS (NGVD)	MIN. BERM (NGVD)	MIN. FF (NGVD)
		STAGE NGVD	DISCHARGE CFS	STAGE NGVD	DISCHARGE CFS	STAGE NGVD	BASIN DISCHARGE CFS			
5C	12.5	14.65	5.82	16.12	15.94	16.80	-	15.00	16.50	17.50

PRE-TREATMENT, WATER QUALITY AND ATTENUATION PROVIDED FOR IN PHASE 2B S.W.M.S. (APP. 050307-23)

LEGEND:

- SITE DRAINAGE FLOW DIRECTION
- DRAINAGE STRUCTURE & R.C.P. CULVERT
- 4" PVC IRRIGATION SLEEVE (TYP.)



COCONUT POINT AREA 2 - SFWMD PERMIT SUMMARY

Parcel Description	SFWMD App. #	Commercial Areas				Residential Areas				Right of Way				SUMMARY - TOTALS						
		BLDG	PVMT	PERV	Total	BLDG	PVMT	PERV	Total	PERV	Lake	DDA	PVMT	PERV	Total	BLDG	PVMT	LAKES	PERV	Total
Via Villagio - CP Area 1	040423-28	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.31	0.36	0.67	0.00	0.31	0.00	0.36	0.67
PHASE 1 - Community Center	040528-19	13.69	33.08	9.69	56.46	0.00	0.00	0.00	0.00	0.00	0.00	0.00	8.77	2.31	2.53	0.70	3.23	13.69	35.61	8.77
PHASE 2A - OMNI	040825-20	0.67	1.13	0.31	2.11	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.05	0.00	0.00	0.00	0.67	1.13	0.36
PHASE 2B - Town Center	050307-23	5.00	11.98	1.71	18.69	0.00	0.00	0.00	0.00	1.12	1.41	1.29	1.09	0.17	1.26	5.28	13.07	1.41	4.29	24.05
Phase 2B - Residential	050401-27	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.98	1.47	0.00	1.31	5.76
PHASE 3 - Dillard's	050318-18	2.13	7.54	2.10	11.77	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	2.13	7.54	0.00	2.10	11.77
TGI Fridays - Lot 5	060717-16	0.16	1.11	0.35	1.62	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.16	1.11	0.00	0.35	1.62
Verizon - Portion of Lot 2	070926-17	0.10	0.33	0.26	0.69	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.10	0.33	0.00	0.26	0.69
Hyatt/Retail - Portion of Lot 3	070625-17	0.50	1.63	0.65	2.78	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.50	1.63	0.00	0.65	2.78
CNL Bank - Lot 6	070830-21	0.16	0.76	0.72	1.64	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.16	0.76	0.00	0.72	1.64
Diamond District - Lot 4	070710-6	0.11	0.39	0.34	0.84	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.11	0.39	0.00	0.34	0.84
Wachovia - Portion of Lot 3	070619-19	0.09	0.81	0.49	1.39	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.09	0.81	0.00	0.49	1.39
Florida Gulf Bank - Lot 1	070125-20	0.09	0.58	0.52	1.19	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.09	0.58	0.00	0.52	1.19
Sandy Lane - Phase 1	050329-20	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	7.03	2.02	9.05	0.00	7.03	9.05
PHASE 2A - Town Center	080222-18	4.86	13.74	2.48	21.08	0.21	0.62	0.34	1.17	2.22	5.92	1.88	0.88	0.27	1.15	5.07	15.24	5.92	7.19	33.42
Ethan Allen/Retail Lot 2B	090715-11	0.49	1.13	0.48	2.10	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.49	1.13	0.00	0.48	2.10
Tract 2F - Lot 7	150327-1	0.39	1.08	0.80	2.27	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.39	1.08	0.00	0.80	2.27
Sub Total		28.72	75.29	20.90	124.91	3.19	2.09	1.65	6.93	3.34	16.10	5.53	11.84	3.52	15.36	31.91	89.22	16.10	34.94	171.50
City Mattress - Lot 2A-2	SUBJECT	0.28	0.38	0.55	1.21	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.28	0.38	0.00	0.55	1.21
Fut Dev Area (Lot 2A)	N/A	0.70	1.40	0.60	2.70	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.70	1.40	0.00	0.60	2.70
Total Basin 5C To Date*		29.70	77.07	22.05	128.82	3.19	2.09	1.65	6.93	3.34	16.10	5.53	11.84	3.52	15.36	32.89	91.00	16.10	36.09	176.08
Original Conceptual Approval																36.10	64.78	16.10	57.42	174.40

LETTER	REVISIONS	DATE
	ISSUED FOR SIMON DRG REVIEW/APPROVAL	8-28-15

City Mattress
@ Coconut Point
 Via Villagio
 Estero, Florida 33928

DESIGNED BY T.W.M.	DATE 12/14
DRAWN BY T.W.M.	DATE 12/14
CHECKED BY T.W.M.	DATE 12/14
VERTICAL SCALE N/A	HORIZONTAL SCALE 1"=15'



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 Authorization No.1772

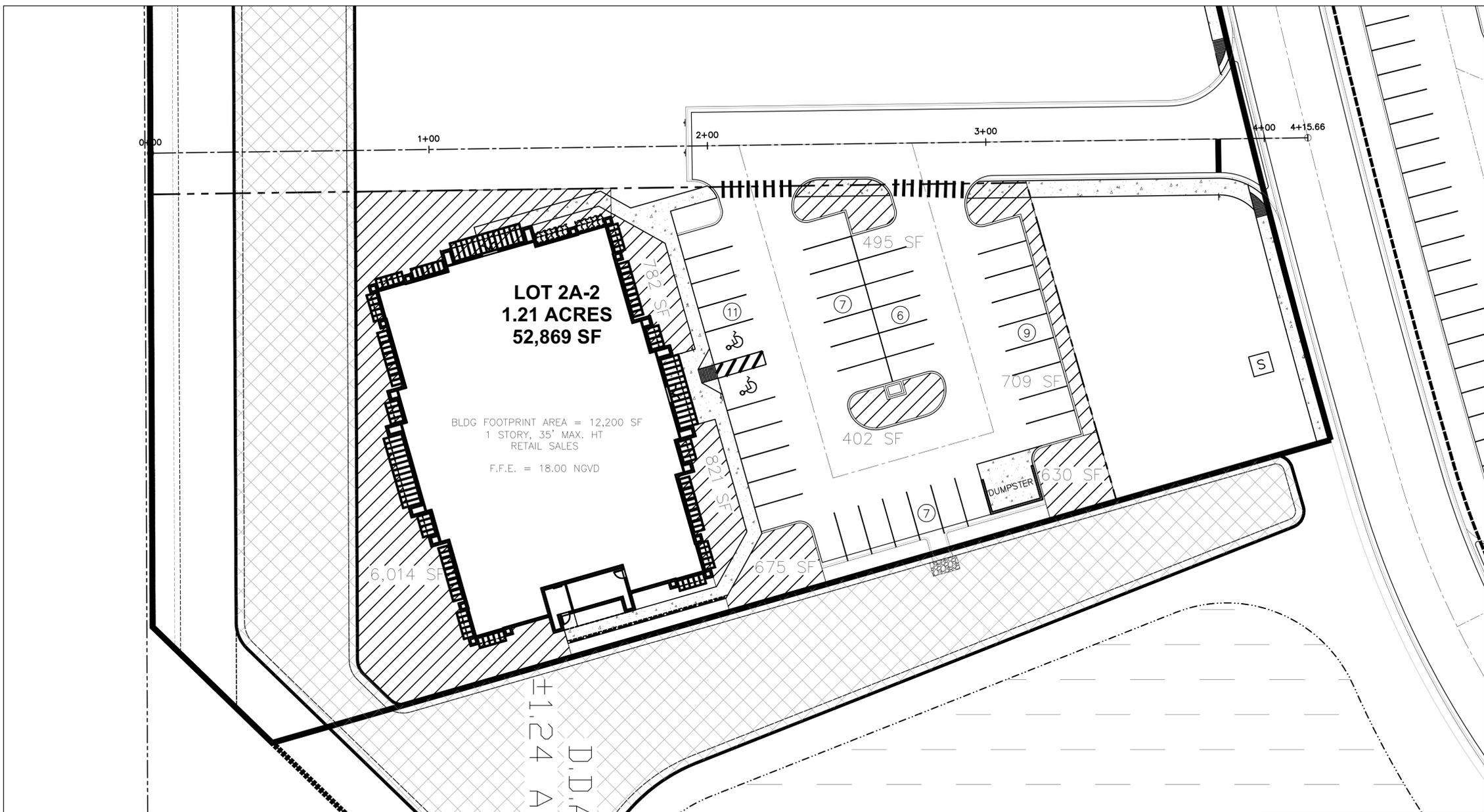
GRADING, DRAINAGE & UTILITY PLAN

THESE DRAWINGS ARE NOT APPROVED UNLESS SIGNED AND SEALED BELOW :	CAD FILE NAME: 15050Dgdup	DRAWING NO.:
THOMAS W. McLEAN, P.E. FLORIDA PROFESSIONAL ENGINEER REGISTRATION #48990 DATE	PROJECT NO.:	SHEET NO.:
	2014.071	6 of 14

OPEN SPACE REQUIREMENTS:
 PURSUANT TO ADD2005-00080, OUTPARCEL DEVELOPMENT MUST HAVE 10% MINIMUM OPEN SPACE:
 TOTAL PROJECT AREA: 1.21 ACRES (52,869 SF)
 OPEN SPACE REQUIREMENT = 10% = 0.10 X 52,869 SF = 5,287 SF
 PROVIDED OPEN SPACE = 0.24 ACRES (10,528 SF)

**COCONUT POINT - DEVELOPMENT AREA #2
 OPEN SPACE TRACKING TABLE**

Phase	DO #	ORIGINAL ZONING RESOLUTION REQD OPEN SPACE						DEVELOPMENT ORDER ACTUAL PROVIDED OPEN SPACE						
		COMMERCIAL PROP. DEV. AREA	REQD % O.S.	REQD O.S.	RESIDENTIAL PROP. DEV. AREA	REQD % O.S.	REQD O.S.	TOTAL REQD O.S.	TRACT PROVD O.S.	% TRACT O.S. PROVD	ROW O.S. PROVD. AC.	NON TRACT O.S. PROVD. AC.	TOTAL O.S. PROVD. AC.	PROJECTED O.S. PROVD. AC.
1	DOS2004-00135	51.88	19.52%	10.13			0.00	10.13	12.57	24.23%	0.65	13.22	13.22	
2A	DOS2004-00193	22.41	19.52%	4.37	1.17	23.60%	0.28	4.65	4.50	20.08%	0.08	2.82	7.4	
2A-OMNI	DOS2004-00254	2.16	19.52%	0.42			0.00	0.42	0.27	12.50%			0.27	
2B	DOS2005-00070	20.41	19.52%	3.98			0.00	3.98	2.98	14.60%	0	2.48	5.46	
2B-RES	DOS2005-00099			0.00	5.76	23.60%	1.36	1.36	1.36	23.61%			1.36	
3	DOS2005-00100	11.77	19.52%	2.30			0.00	2.30	2.1	17.84%			2.1	
TARGET	DOS2004-00135	6.91	19.52%	1.35			0.00	1.35	0.81	11.72%			0.81	
LOT 1 (FLA GULF BANK)	DOS2007-00037	1.19	19.52%	0.23			0.00	0.23	0.51	42.86%			0.51	
LOT 2B-1 (VERIZON)	DOS2007-00227	0.86	19.52%	0.17			0.00	0.17	0.21	24.42%			0.21	
LOT 2B-2 (ETHAN ALLEN)	DOS2007-00257	2.1	19.52%	0.41			0.00	0.41	0.36	17.14%			0.36	
LOT 2A-1		2.16	19.52%	0.42			0.00	0.42				0	0.22	
LOT 2A-2 CITY MATTRESS	SUBJECT APP	1.21	19.52%	0.24			0.00	0.24	0.24	19.83%			0.24	
LOT 3A (WACHOVIA)	DOS2007-00146	1.39	19.52%	0.27			0.00	0.27	0.49	35.25%			0.49	
LOT 3B (HYATT)	DOS2002-00202	2.77	19.52%	0.54			0.00	0.54	0.52	18.77%			0.52	
LOT 4 (DIAMOND DIST.)	DOS2007-00199	0.83	19.52%	0.16			0.00	0.16	0.32	38.55%			0.32	
OP 5 (TGI FRIDAYS)	DOS2007-00093	1.61	19.52%	0.31			0.00	0.31	0.2	12.42%			0.2	
OP 6 (CNL Bank)	DOS2007-00246	1.5	19.52%	0.29			0.00	0.29	0.58	38.67%			0.58	
OP 7 - Towne Place Suites	DOS2015-00023	2.27	19.52%	0.44			0.00	0.44	0.74	32.60%			0.74	
ROW RES		0.93	19.52%	0.18			0.00	0.18				0	0.09	
		134.36		26.23	6.93		1.64	27.86	28.76		0.73	5.3	34.79	35.01



LEGEND:
 PROPOSED OPEN SPACE

LETTER	REVISIONS	DATE



**City Mattress
 @ Coconut Point**
 Via Villagio
 Estero, Florida 33928

DESIGNED BY T.W.M.	DATE 10/15
DRAWN BY T.W.M.	DATE 10/15
CHECKED BY T.W.M.	DATE 10/15
VERTICAL SCALE N/A	HORIZONTAL SCALE 1"=15'

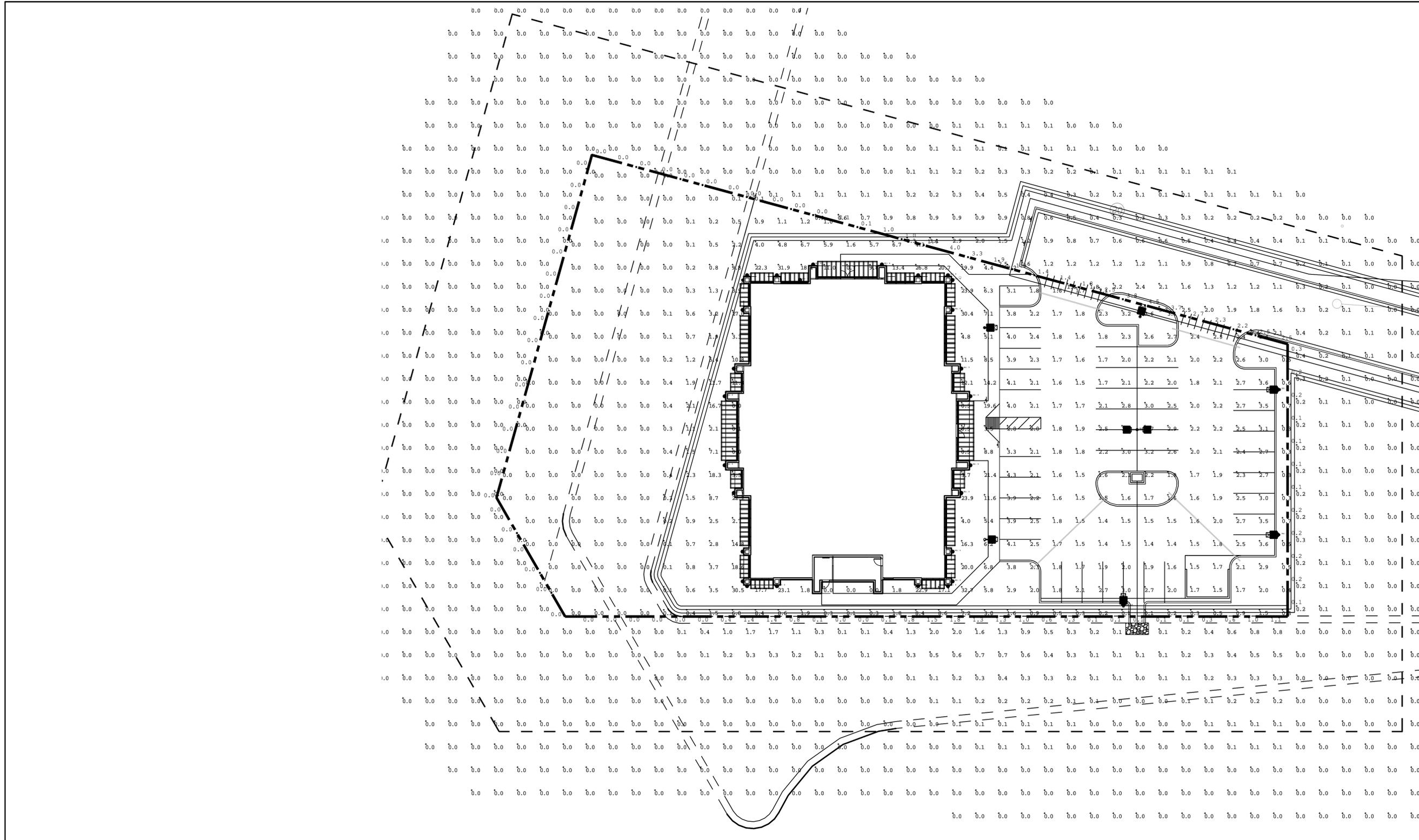


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 Phone : (239) 985-1200
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OPEN SPACE PLAN

THESE DRAWINGS ARE NOT
 APPROVED UNLESS SIGNED
 AND SEALED BELOW :
 THOMAS W. MCLEAN, P.E.
 FLORIDA PROFESSIONAL ENGINEER
 REGISTRATION #48890
 DATE _____

CAD FILE NAME: 15050DOSP	DRAWING NO.: 1391-07
PROJECT NO.: 2015.050	SHEET NO.: 7 OF 14



LUMINAIRE SCHEDULE

Luminaire Schedule						
SYMBOL	QTY	LABEL	ARRANGEMENT	TOTAL LAMP LUMENS	LLF	DESCRIPTION
■	6	1-T3	SINGLE	N.A.	0.950	DECO LIGHTING D816-LED-60-T3-SINGLE @ 25' MTG. HT.
■	1	2	BACK-BACK	N.A.	0.950	DECO LIGHTING D816-LED-60-T5-TWIN @ 25' MTG. HT.
⊕	26	WM8	SINGLE	4183	0.950	DECO LIGHTING VINCI-50W-WALL @ 8' MTG. HT.

Calculation Summary

FIXTURE LABEL	CALC TYPE	UNITS	AVG.	MAX.	MIN.	AVG/MIN	MAX/MIN
50'	Illuminance	Fc	0.13	3.3	0.0	N.A.	N.A.
CalcPts_1	Illuminance	Fc	3.07	32.7	0.0	N.A.	N.A.
PL	Illuminance	Fc	0.66	4.5	0.0	N.A.	N.A.
MAIN	Illuminance	Fc	2.46	3.7	1.7	1.45	2.18

LUMINAIRE NOTES:

- THE ABOVE STANDARDS AND CALCULATIONS ARE BASED ON THE AGV32 PHOTOMETRIC PROGRAM DESIGNED TO CALCULATE PHOTOMETRICS BASED ON THE DATA IMPORTED AND ILLUSTRATED ON THE PLAN:
- ALL FOOTCANDLE LEVELS ILLUSTRATED ARE INITIAL VALUES BASED ON MANUFACTURERS DATA CALCULATED USING NO LIGHT LOSS FACTORS (LLF).
 - THE STATISTICS NOTED HEREIN WERE CALCULATED WITHIN THE PROPERTY BOUNDARY PARAMETERS REQUIRED BY CODE, INCLUDING OFFSITE CALCULATIONS REQUIRED TO ASSURE MINIMAL OFFSITE SPILLAGE OF LIGHT.
 - LIGHTING MUST NOT EXCEED 0.5 FOOT CANDLES MEASURED TEN FEET (10') OFFSET ALL PROPERTY LINES.
 - LIGHTING MUST NOT EXCEED 0.0 FOOT CANDLES MEASURED FIFTY FEET (50') OFFSET ALL PROPERTY LINES.
 - THE HEIGHT OF THE STREET LAMP POLES ARE AS NOTED ON THE SCHEDULE.
 - * = POLES TO BE IN CONCRETE BASE PER LIGHTING MANUFACTURER
 - BUILDING MOUNTED FIXTURES THAT ARE PART OF ARCHITECTURAL COMPONENTS OR INTERIOR ORIENTED LIGHTING ARE NOT PART OF THE CALCULATIONS ILLUSTRATED ON THESE DRAWINGS.

GENERAL NOTES:

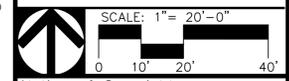
- IF SUBSTITUTIONS OF ANY LIGHTING FIXTURES ARE MADE FROM THOSE HEREIN SPECIFIED, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND COMPLETE MANUFACTURER SPECIFICATIONS OF THE REVISED PRODUCTS PROPOSED. THE CONTRACTOR SHALL ALSO SUBMIT SHOP DRAWINGS OF THE PROPOSED PRODUCTS TO ASSURE COMPLIANCE AS A CONDITION OF REQUIRED CERTIFICATION (AS NOTED HEREIN).
- ANY SUBSTITUTIONS TO THE PRODUCTS HEREIN SPECIFIED SHALL REQUIRE THAT THESE DRAWINGS BE MODIFIED, RECALCULATED, AND RESUBMITTED TO THE ACTING JURISDICTIONAL AGENCY AS A MINOR CHANGE OR AMENDMENT TO THE DEVELOPMENT ORDER OR PERMIT. THE CONTRACTOR ACKNOWLEDGES THAT THE MINIMUM CHARGE FOR THIS SERVICE SHALL NOT BE LESS THAN \$1,500.00 AND SHALL BE PAID TO THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTAL, ONLY IF THE CHANGES HAVE BEEN DIRECTED BY THE OWNER, WILL THE CHARGE BE MADE TO OTHERS UNLESS APPROVED THEREBY OTHERWISE.
- ALL FIXTURES SHALL BE CUT-OFF STYLE.

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 PREPARED FOR:
H.M. HOLE MONTES
 ENGINEERS-PLANNERS-SURVEYORS

Sheet Title: SITE LIGHTING
PHOTOMETRIC & LIGHTING PLAN
 (Sheet 1 of 1)

Land Architects, Inc.
 WILLIAM E. PRYSI, PLA, ASLA
 REGISTERED LANDSCAPE ARCHITECT
 FLORIDA LICENSE NO. 00001342



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Project No.:	15031-1	Date:	2015-08-25
Principal-in-Charge:	WEP	REVISIONS:	DATE: BY:
Design / Drawn By:	WEP/WEP		
Plot CTB File:	LAI-CTB_2012a		
File No.:	15031-E-City Mattress_v1d		
Master Attachments:	15031-MasterLighting_v1o		

Sheet No.:
LE-1
 SHEET OF

TYPE 'A' LUMINAIRE (MH: 25):

(SEE SCHEDULE FOR SPECIFICATIONS)

D816-LED
16" Area Light

Powered By: **NICHIA**

10 Year Warranty

lighting facts

DLC Qualified

UL Listed

UL Listed

Job Information "Digitize your light."

Type: _____

Catalog #: _____

Project: _____

Comments: _____

Prepared by: _____

Description

The D816-LED utilizes a soft-cornered aerodynamic design to provide excellent light distribution and an aesthetically appealing appearance. Ideal for storage areas, rail yards, loading docks, and building perimeters. One piece die cast aluminum housing has two captive stainless steel fasteners and can be removed from the die cast aluminum housing for easy maintenance. Attractive dark bronze, polyester powder coated finish for excellent impact, corrosion and UV resistance.

Features

- Extruded silicone rubber gasket for long life
- Labeled UL 1598 listed for wet locations
- Standard color is bronze, also available in black and white. Contact factory for custom finishes.
- Energy Star Rated
- Dark Sky Friendly when used with Type IIIUV, V reflectors (at 90° full cutoff position)
- Driver is fully accessible from below the ceiling or wall. Driver is wired for dimming or non-dimming
- Surge protection 20kA standard

Ordering Information:
Example: D816-LED-60-30-UNV-TS-YM-BZ-WDF

Dimensions

Quick Ship

Example: D816-LED-60-30-UNV-TS-YM-BZ-WDF

Series	Wattage/Lumen	Color Temp.	UV	Options	Mounting	Finish	Option
16" Area Light	20 2200/2900	30 3000K	UNV 120-277V	T5 Type 2	VM	Vinyl Mount	SC Silver/Ch
	30 3300/3600	35 3500K	487 347V	T5 Type 3	VM	Large Vinyl Mount	PC Protocast
	40 4400/4800	40 4000K	487 347V	T5 Type 4	VM	Medium Vinyl Mount	PC Protocast
	60 6600/7200	50 5000K	487 347V	T5 Type 5	VM	Large Vinyl Mount	PC Protocast
	80 8800/9600	50 5000K	487 347V	T5 Type 6	VM	Large Vinyl Mount	PC Protocast
	100 11000/12000	50 5000K	487 347V	T5 Type 7	VM	Large Vinyl Mount	PC Protocast
	120 13200/14400	50 5000K	487 347V	T5 Type 8	VM	Large Vinyl Mount	PC Protocast
	140 15400/16800	50 5000K	487 347V	T5 Type 9	VM	Large Vinyl Mount	PC Protocast
	160 17600/19200	50 5000K	487 347V	T5 Type 10	VM	Large Vinyl Mount	PC Protocast
	180 19800/21600	50 5000K	487 347V	T5 Type 11	VM	Large Vinyl Mount	PC Protocast

TYPE 'A' LUMINAIRE (MH: 25):

(SEE SCHEDULE FOR SPECIFICATIONS)

VINCI-LED
Wall/Area/Flood Lighting

Powered By: **NICHIA**

10 Year Warranty

lighting facts

DLC Qualified

UL Listed

Job Information "Digitize your light."

Type: _____

Catalog #: _____

Project: _____

Comments: _____

Prepared by: _____

Description

The Vinci-LED is an architectural style luminaire providing maximum light output using energy-efficient LEDs. With sturdy die-cast aluminum construction, this low-profile fixture includes a universal back box, stainless steel hardware and a sealed, gasketed optical compartment which makes Vinci-LED secure from outside contaminants. Designed for floodlight, pathway illumination, wall/surface applications, inverted mount for canopy lighting, post and bollard and site lighting. Common applications include school and institution, warehouse, apartment and condominium complexes, loading docks and more.

Features

- Construction
- Low-profile die-cast aluminum LED fixture with hinged, removable door and back box. Available in 20W and 30W. Three half-inch, NP threaded conduit entry points included in back box, which mounts to standard 1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket adapts to box and wall. Silicone gasket seals the door and back box. IP54 Listed. UL 1598 listed. Compliance to FDA/USDA requirements and/or NSF splash-zone certification.
- Optical
- Mirrored, anodized reflector located inside silicone-sealed optical chamber to provide maximum efficiency and high illumination. Impact-resistant tempered glass included in optical assembly, meeting IESNA requirements for full cutoff. Solid state LEDs thermally optimized with two lumen packages in cool 5000K or neutral warm 3500K LED color temp (CCT).
- Electrical
- 120-277V 50/60Hz. Heat sinking optimization due to LED driver mounted to fixture's die-cast housing. Thermal management system uses conduction and natural convection to transfer heat away from LED sources. Fixtures operate in -20° C to 40° C (-22° F to 104° F)
- Therm half-inch NPT threaded conduit entry points allow three-brow wiring and the back box is an authorized electrical wiring compartment. Vinci-LED luminaires maintain greater than 70% of initial light output after 100,000 hours of operation. Integral LED electronic driver includes surge protector.
- Finish
- Vinci-LED has a super durable DECO Guard carbon bronze powder coat finish which can withstand extreme climate conditions while still maintaining optimal color and gloss retention during the installed life of the fixture.

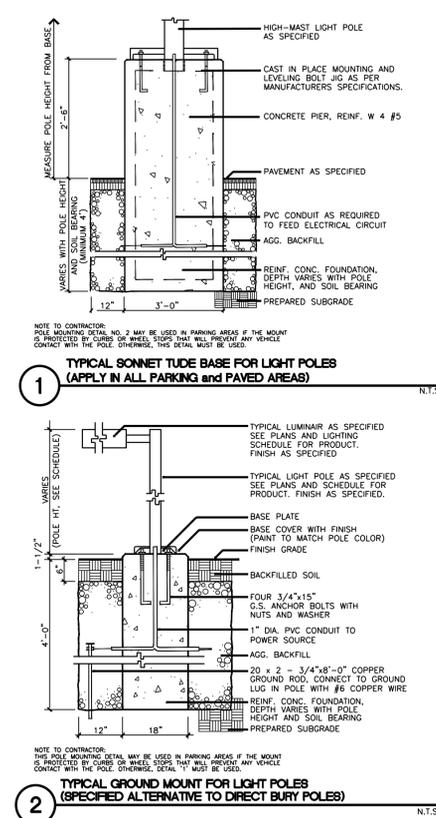
Ordering Information:
Example: (VINCI-LED-30-30-UNV-BZ-PC)

Quick Ship

Example: (VINCI-LED-30-30-UNV-BZ-PC)

Series	Wattage/Lumen	Color Temp.	UV	Voltage	Finish	Option
Wall/Flood	20 2200/2900	30 3000K	UNV 120-277V	SC	Protocast	PC Protocast
Wall/Flood	30 3300/3600	35 3500K	487 347V	SC	Protocast	PC Protocast
Wall/Flood	40 4400/4800	40 4000K	487 347V	SC	Protocast	PC Protocast
Wall/Flood	60 6600/7200	50 5000K	487 347V	SC	Protocast	PC Protocast
Wall/Flood	80 8800/9600	50 5000K	487 347V	SC	Protocast	PC Protocast
Wall/Flood	100 11000/12000	50 5000K	487 347V	SC	Protocast	PC Protocast
Wall/Flood	120 13200/14400	50 5000K	487 347V	SC	Protocast	PC Protocast
Wall/Flood	140 15400/16800	50 5000K	487 347V	SC	Protocast	PC Protocast
Wall/Flood	160 17600/19200	50 5000K	487 347V	SC	Protocast	PC Protocast
Wall/Flood	180 19800/21600	50 5000K	487 347V	SC	Protocast	PC Protocast

POLE INSTALLATION DETAILS



LIGHTING SPECIFICATIONS AND GUIDELINES

- GENERAL NOTES AND REQUIREMENTS**
- THE ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE STANDARD BUILDING CODES (INCLUDING THE NATIONAL ELECTRIC CODE (NEC)) AND LOCAL CODES AS MAY BE APPLICABLE. SIX SHOP DRAWINGS OF ALL MAJOR EQUIPMENT SHALL BE REQUIRED PRIOR TO ORDERING.
 - WORK SHALL INCLUDE ALL LABOR, MATERIALS, PERMITS AND COSTS FOR INSTALLATION OF A COMPLETE ELECTRICAL SYSTEM.
 - ALL EQUIPMENT, FIXTURES, ETC. SHALL BE STARTED, TESTED, ADJUSTED AND PLACED IN SATISFACTORY OPERATING CONDITION BY THIS CONTRACTOR WHO SHALL GUARANTEE ALL WORKMANSHIP, MATERIALS AND EQUIPMENT TO BE FREE OF DEFECTS FOR A PERIOD OF (1) ONE YEAR FROM DATE OF CERTIFICATE OF OCCUPANCY (C.O.); AND SHALL REPAIR SUCH DEFECTS WITHOUT COST TO THE OWNER. ALL EQUIPMENT SHALL BE COVERED FOR THE DURATION OF THE MANUFACTURER'S GUARANTEE OR WARRANTY, AND THIS CONTRACTOR SHALL FURNISH THE OWNER WITH ALL MANUFACTURER'S GUARANTEES AND WARRANTIES.
 - ALL WIRE SIZES SHOWN (UNLESS NOTED OTHERWISE) ARE FOR COPPER CONDUCTORS (POWER AND LIGHTING CIRCUITS TO BE #12 AWG MINIMUM).
 - NO "WAFER" OR "PICKEYBACK" BREAKERS PERMITTED.
 - WHERE CIRCUIT HOME RUNS ARE INDICATED ON PLANS WITH MORE THAN ONE CIRCUIT, THE DEVICES OR FIXTURES CONNECTED SHALL ALTERNATE CIRCUITS AS THE RUN PROGRESSES. CARRY ALL CIR - CIRCUIT WIRING TO LAST DEVICE OF RUN. CIRCUITS CAN BE COMBINED IN THE SAME CONDUIT UP TO A MAXIMUM OF THREE CIRCUITS.
 - CONDUCTOR INSULATION TYPE TO BE THHN OR THWN. ALL CONDUCTOR AMPACITIES ARE TO BE BASED UPON 75° C INSULATION - NO DOWN - SIZING PERMITTED OF CONDUCTOR SIZE BASED UPON USE OF 90° C RATED INSULATION.
 - THE ELECTRICAL CONTRACTOR SHALL STRICTLY ADHERE TO THE FOLLOWING ITEMS, WHEN DEALING WITH ELECTRICAL EQUIPMENT CLEARANCES:
 - NO PIPING OF ANY KIND, OR DUCTWORK, SHALL BE INSTALLED ABOVE AN ELECTRICAL SWITCHBOARD OR PANELBOARD. THIS AREA TO REMAIN CLEAR FROM EQUIPMENT TO BOTTOM OF STRUCTURAL SLAB OR FLOOR.
 - A CLEARANCE OF 36" MINIMUM SHALL BE MAINTAINED IN FRONT OF ELECTRICAL EQUIPMENT FOR THE ENTIRE WIDTH OF THE EQUIPMENT, PLUS 12" EACH SIDE, AND FROM FLOOR TO SLAB ABOVE.
- NOTICE TO THE CONTRACTOR:**
- ANY REVISIONS OF THESE DRAWINGS OR SPECIFICATIONS OR CERTIFICATION HERETO OR REVISIONS WHICH REQUIRE THE PREPARATION OF DRAWINGS THAT MAY BE REQUIRED FOR AND REASON INCLUDING CONTRACTOR OPTED REVISIONS SHALL BE COMPENSATED BY A FEE TO THE ENGINEER PAID BY THE REQUESTING CONTRACTOR. PAYMENT WILL BE A TIME OF DELIVERY.
 - CUTTING AND PATCHING OF CONCRETE AND/OR ASPHALT TO FOR THE ELECTRICAL SYSTEM WILL BE INCLUDED IN THE ELECTRICAL BID.
 - PVC CONDUIT MAY BE USED UNDER GROUND BY ADDING AN EQUIPMENT GROUNDING CONDUCTOR, SIZED PER NEC. ALL EXPOSED CONDUIT SHALL BE RIGID (INCLUDING OUTSIDE STUB UP'S) WITH ALL NON CORROSIVE METAL FITTINGS, EMT CONDUIT SHALL BE USED AT OTHER LOCATIONS INSIDE THE BUILDING. CONCEAL ALL CONDUIT AND WIRING WHERE POSSIBLE. ALL WIRING SHALL BE IN CONDUIT OR CHASE.
 - ALL SET BACKS OF POLES SHALL CONFORM TO D.O.T. REQUIREMENTS. VERIFY AND COORDINATE LOCATIONS TO COMPLY WITH ALL REQUIREMENTS OF BUILDING CODES, THE UTILITY & D.O.T..
 - ALL SWITCHGEAR SHALL BE FULLY RATED TO WITHSTAND THE AVAILABLE FAULT CURRENT. GET FAULT CURRENT FROM UTILITY AND SEND TO JEWELL ENGINEERING INC.
 - WIRE TO AND MAKE CONNECTION OF ALL EQUIPMENT NOTED AND ALL EQUIPMENT FURNISHED BY OTHERS FOR A COMPLETE AND SATISFACTORY OPERATION BY THE OWNER.
 - ELECTRICAL CONTRACTOR TO VISIT THE SITE PRIOR TO BID TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS, INCLUDE WORST CASE CONDITION IN BID. ADDITIONAL CHARGES FOR EXISTING CONDITIONS WILL NOT BE APPROVED.
 - VERIFY AND COORDINATE ALL ELECTRICAL WORK WITH ALL TRADES TO PROVIDE A TIMELY INSTALLATION. NO ADDITIONAL CHARGES DUE TO LACK OF COORDINATION WILL BE APPROVED.
 - ANY DEVIATION FROM THE DRAWINGS OR SPECIFICATIONS IS THE RESPONSIBILITY OF THOSE THAT MAKE THEM AND NOT THE RESPONSIBILITY OF THE ARCHITECT OR ENGINEER. THIS DRAWING IS FOR INFORMATION AND LOCATION PURPOSES ONLY. THE ELECTRICAL CONTRACTOR SHOULD VERIFY ALL LOCATIONS WITH THE MECHANICAL AND GENERAL CONTRACTORS, ANY CONFLICTS SHOULD BE REFERRED TO THE ARCHITECT OR ENGINEER.
 - THE ELECTRICAL CONTRACTOR IS TO INSTALL A TEMPORARY ELECTRIC (60 AMP SINGLE PHASE MINIMUM) AND LIGHTING SERVICE.
 - ALL CONDUITS WITHOUT WIRE SHALL HAVE PULLSTRINGS, SECURE AND LABEL AT EACH END THE LOCATION OF OPPOSITE END.
 - ALL EXTERIOR FIXTURES SHALL BE VERIFIED BY A F.L.P.E. TO WITHSTAND REQUIRED WIND LOADS (130 MPH MINIMUM) BY BUILDING CODE.
 - MARK AND IDENTIFY THE DISCONNECTING MEANS AND LOCATION FOR EACH PANEL OR EQUIPMENT. MARK MAIN OR UPSTREAM PROTECTIVE DEVICES PER N.E.C. SECTION 110-22 WITH FIELD INSTALLED LABEL ON LISTED ON SERIES RATED SYSTEMS DOWNSTREAM EQUIPMENT WILL BE MARKED BY THE MANUFACTURER PER N.E.C. 240-83(C).
 - RESTORE EVERYTHING DISTURBED INCLUDING STREETS, DRIVEWAYS, SIDEWALKS, LANDSCAPING ETC. REPLACE OR ELECTRICAL EQUIPMENT TO WHAT IS EXISTING. REPLACE "IN KIND" TO "AS IS" CONDITION.
 - FOR POLE HOLES AUGER JUST BIG ENOUGH FOR POLE AND COMPACTING TOOL. BACKFILL WITH NATURAL EARTH. COMPACT IN 12" LIFTS WITH COMPACTING TOOL.

CERTIFICATIONS REQUIRED:

- THE CONTRACTOR IS HEREBY NOTIFIED THAT A PHOTOMETRIC INSPECTION OF THE LIGHTING PLAN IS REQUIRED AS A PREREQUISITE TO RECEIPT OF A CERTIFICATE OF COMPLIANCE BY THE COUNTY. THE CONTRACTOR SHALL GIVE THE LANDSCAPE ARCHITECT NOT LESS THAN 72 HOURS NOTICE THAT THE SYSTEM IS READY FOR INSPECTION AND MUST PROVIDE FACILITATION OF HAVING THE LIGHTS ON DURING AN EVENING IN WHICH TO CONDUCT SAID INSPECTIONS.
- THE PHOTOMETRICS OF THE INSTALLATION MUST BE CONSISTENT WITH THESE APPROVED DEVELOPMENT ORDER DOCUMENTS IN EFFORT TO BE CERTIFIED AS COMPLIANT THERETO. ANY DEVIATION TO THESE DRAWINGS WITHOUT THE APPROPRIATE NOTIFICATIONS, SHOP DRAWINGS, ETC. AS DEFINED HEREIN MAY CAUSE DELAYS IN THE RECEIPT OF ANY REQUIRED CERTIFICATIONS OF COMPLIANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL ARRANGEMENTS TO HAVE THE SPECIFIED SYSTEM HEREIN INSPECTED FOR COMPLIANCE. THE LANDSCAPE ARCHITECT OF RECORD SHALL BE RESPONSIBLE FOR CONDUCTING SAID PHOTOMETRIC INSPECTIONS AND SHALL COORDINATE THE SAME WITH THE COUNTY.
- THIS DRAWING REPRESENT THE LAYOUT AND PRODUCTS TO BE UTILIZED FOR THIS APPLICATION. ALL ELECTRICAL APPLICATIONS SHALL BE EXECUTED BY AN ELECTRICAL ENGINEER OR LICENSED ELECTRICAL CONTRACTOR AND SHALL MEET ALL REQUIREMENTS OF LOCAL JURISDICTIONS AND ACCEPTED SAFETY STANDARDS.

LIGHT POLE DIAGRAMS:

(SEE SCHEDULE FOR SPECIFIED POLE HEIGHTS)

OK OAKLAND

STERNBERG LIGHTING

Concrete Poles

11-593

SPECIFICATIONS

GENERAL

All decorative post shall be pre-stressed concrete construction. The octagonal post's smooth sided uniform shape gently tapers its entire length. Tenons are available in aluminum or steel. Clear coat Acrylic or Anti-Graffiti coating is available. The Model shall be Sternberg Lighting Number #OK _____.

CONSTRUCTION

The post shall meet design criteria of the latest revisions of ASTM C1089 and CSA A14-M. The post shall be made of quality HSF (high silica fume) cement. The post shall be centrifugally spun to produce the ultimate in density and durability. The post shall be pre-stressed using wire that conforms to ASTM A615 and CSA standard G270M. Helical reinforcing shall meet the requirements of ASTM A642 and CSA C30.3 and shall have a hot dipped galvanized coating per ASTM A641, Class 3. Minimum concrete strength shall be 8000 psi.

INSTALLATION

The post shall be direct embedded into the earth through an augered hole lined with gravel then back filled with native soil. Concrete poles can be manufactured for either a base or socket mount for applications where embedment is either undesirable or unfeasible. Post comes with a grounding 1/2" diameter continuous grounding rod cast into the concrete. An access door shall be provided for wiring. It shall be secured with tamper proof, stainless steel hardware.

Base Size: 7 1/2" - 12" Oct. Dia.
Base Width: Varies
Height: 10' - 30' Available
Shaft: Tapers 1/8" per ft.
Material: Pre-stressed Concrete
Finish: Etched or Polished
Installation: Direct Embedment
Anchor Bolt May Available

Model Numbers with Post Heights

OK Number & Finish	Above Grade	Embedment Depth	Overall Length
OK10E or P	10'	3'	13'
OK12E or P	12'	4'	16'
OK14E or P	14'	4'	18'
OK16E or P	16'	4'	20'
OK20E or P	20'	5'	25'
OK25E or P	25'	5'	30'

OK OAKLAND

STERNBERG LIGHTING

Concrete Poles

11-594

SPECIFICATIONS

BUILDING A PART NUMBER

Concrete Poles

MODEL / ABOVE GRADE HEIGHT	CONCRETE FINISH	POST CAP CENTER	OPTIONS	COLORS
OK 16'	E		FM	AJ

Part Number Selections

MODEL	ABOVE GRADE HEIGHT	CONCRETE FINISH	POST CENTER CAP (If Required)	OPTIONS AVAILABLE	COLORS
OK	HEIGHT	E Etched	• OFC	• AF • DSPA • DCO • DDB • FH • DBA • SBAR • DSPA • DHPA • PA478 • DBA	• AJ Aztec Jade • E Europa • TS Twilight Sky • DIR Dusky Rose • OJ Oriental Jade • CB Carpathian Bronze • SP Salt & Pepper • AR Autumn Red • DS Desert Sand • NS Night Sky • PG Peat Grey • AW Ash White
	10'	P Polished	• RFC	• DHPA • DHPA • PA478 • DBA • SBAR • DSPA • DHPA • PA478 • DBA • SBAR	
	14'				
	16'				
	18'				
	20'				
	25'				

OPTIONS AVAILABLE

Option	Description
AB	Anchor Base Plate Mounting of Post
SB	Socket Mounting of Post
AF	Acrylic Finish
GF	Anti-Graffiti Finish
DCO	Duplex Convenience Outlet Mounts in the pole
DCOG	Duplex Convenience Outlet (GFCI)
FH	Flag Pole Holder mounts on the pole
SBA	Single Banner Arm mounts on the pole
DBA	Double Banner Arms mount on same side of the pole
SBAR	Single Banner Arm and Ring
DSPA	Double Stepped Planter Arms mount on either side
DHPA	Double Hooked Planter Arms mount on either side
PA478	Decorative Planter Arms with planter rings
PCDB	Photo Control in receptacle box
TH	Threaded Hub

POST CENTER CAPS (If Required)

Option	Description
OFC	Octagonal Fitial Cap
RFC	Round Fitial Cap

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Florida Certificate of
Authorization No. 1772

PREPARED FOR:
HOLE MONTES
ENGINEERS-PLANNERS-SURVEYORS

Sheet Title: LIGHTING
LIGHTING DETAILS & NOTES

Land Architects, Inc.

WILLIAM E. PRYSI, P.L.A., ASLA
REGISTERED LANDSCAPE ARCHITECT
FLORIDA LICENSE NO. 00001342

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Project No.:	Date:
15031-1	2015-08-25

Principal-In-Charge:	REVISIONS:	DATE:	BY:
WEP			

Design / Drawn By: WEP/WEP

Plot CTB File: LA-CTB_2012.ctb

File No.: LA-CTB_2012.ctb

Master Attachments: None

Sheet No.: **LE-2**
SHEET OF

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SECTION 10-416a GENERAL

GENERAL TREE REQUIREMENT:
 GENERAL: LANDSCAPING FOR ALL NEW DEVELOPMENTS, EXCEPT COMMUNITY AND REGIONAL PARKS AS DEFINED IN THE LDC PLAN, MUST INCLUDE, AT A MINIMUM, THE FOLLOWING NUMBER OF TREES, IN ADDITION TO THE LANDSCAPING REQUIRED FOR PARKING AND VEHICLE USE AREAS AND BUFFERS:

GENERAL TREE REQUIREMENTS PER LAND USE:	1 TREE PER 3,500 SF
REQUIRED GENERAL TREE CALCULATION PER LAND USE:	52,755 SF / 3,500 SF = 15
TOTAL GENERAL TREES REQUIRED:	15 TREES
TOTAL GENERAL TREES PROVIDED:	15 (9 TREES & 6 PALMS)

SECTION 10-416b BUILDING PERIMETER PLANTINGS

BUILDING PERIMETER PLANTINGS REQUIREMENT:
 SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): YES
 ALL NEW DEVELOPMENT IN COMMERCIAL ZONING DISTRICTS AND COMMERCIAL COMPONENTS OF PLANNED DEVELOPMENT DISTRICTS AND DRIS MUST PROVIDE BUILDING PERIMETER PLANTINGS EQUAL TO TEN PERCENT (10%) OF THE PROPOSED BUILDING GROSS GROUND LEVEL FLOOR AREA. THESE PLANTING AREAS MUST BE LOCATED ADJUTING THREE SIDES OF THE BUILDING WITH EMPHASIS ON THE SIDES MOST VISIBLE TO THE PUBLIC, NOT INCLUDING THE LOADING AREA. THE PERIMETER PLANTING AREAS MUST CONSIST OF LANDSCAPE AREAS, RAISED PLANTERS OR PLANTER BOXES THAT ARE A MINIMUM OF FIVE FEET WIDE (5'). TURFGRASS IS DISCOURAGED AND IS LIMITED TO TEN PERCENT (10%) OF THE LANDSCAPE AREA.
 BUILDING: 12,200 SF
 REQUIRED BUILDING PERIMETER AREA CALCULATION: 12,200 SF x 10% = 1,220 SF
 TOTAL BUILDING PERIMETER LANDSCAPE AREA REQUIRED: 1,220 SF
 TOTAL BUILDING PERIMETER LANDSCAPE AREA PROVIDED: 1,220 SF

SECTION 10-416c (2) LANDSCAPING OF PARKING AND VEHICLE USE AREAS

ALL PARKING AREAS MUST BE INTERNALLY LANDSCAPED TO PROVIDE VISUAL RELIEF AND COOLING EFFECTS AND TO CHANNELIZE AND DEFINE LOCAL AREAS FOR PEDESTRIAN AND VEHICULAR CIRCULATION, AS FOLLOWS:
CANOPY TREE REQUIREMENT:
 SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): YES
 (a) TREES MUST BE PLANTED OR RETAINED IN LANDSCAPED AREAS IN PARKING AREAS, INCLUDING LANDSCAPED AREAS RESERVED FOR FUTURE PARKING SPACES, TO PROVIDE FOR CANOPY COVERAGE WHEN THE TREES MATURE. AT LEAST ONE (1) CANOPY TREE OR A CLUSTER OF THREE (3) SABAL PALMS MUST BE PLANTED OR RETAINED FOR EVERY 250 SQUARE FEET (250 SF) OF REQUIRED INTERNAL PLANTING AREA, AND NO PARKING SPACE MAY BE MORE THAN 200 FEET FROM A TREE PLANTED IN A PERMEABLE ISLAND, PENINSULA OR MEDIAN OF 18-FOOT MINIMUM WIDTH. CANOPY REQUIREMENTS MUST BE MET WITH EXISTING INDIGENOUS NATIVE TREES WHENEVER SUCH TREES ARE LOCATED WITHIN THE PARKING AREA.
 REQUIRED CANOPY TREE CALCULATIONS: 1,340 SF / 250 SF = 5
 TOTAL CANOPY TREES REQUIRED: 5 TREES
 TOTAL CANOPY TREES PROVIDED: 6 (5 TREES & 3 PALMS)

VEHICULAR USE AREA REQUIREMENT:
 SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): YES
 (b) LANDSCAPED AREAS ON THE PARKING AREA PERIMETER OR INTERNAL ISLANDS MUST EQUAL OR EXCEED A MINIMUM OF TEN PERCENT (10%) OF THE TOTAL PAVED SURFACE AREA. LANDSCAPED AREAS RESERVED FOR FUTURE PARKING SPACES MAY NOT BE INCLUDED IN THIS CALCULATION.
 REQUIRED INTERNAL LANDSCAPE AREA CALCULATIONS: 13,400 SF x 10% = 1,340 SF
 REQUIRED INTERNAL LANDSCAPE AREA: 1,340 SF
 PROVIDED INTERNAL LANDSCAPE AREA: 1,340 SF

SECTION 10-416(d) BUFFERING ADJACENT PROPERTY

SUB-SECTION APPLICABLE TO THIS PROJECT (YES/NO): YES
 (1) GENERAL: A BUFFERING AREA IS REQUIRED ALONG THE ENTIRE PERIMETER OF THE PROPOSED DEVELOPMENT WHENEVER THE PROPOSED DEVELOPMENT ADJUTS A DIFFERENT USE, THE EXISTING USE OR, WHERE VACANT, THE PERMITTED USE. OF THE ADJUTING PROPERTY WILL DETERMINE THE TYPE OF BUFFERING AREA REQUIRED FOR THE PROPOSED DEVELOPMENT. BUFFER AREAS MAY NOT BE LOCATED ON ANY PORTION OF AN EXISTING OR DEDICATED STREET RIGHT-OF-WAY OR ROADWAY EASEMENT EXCEPT THAT BUFFERS MAY BE LOCATED WITHIN SLOPE EASEMENTS AS LONG AS APPROPRIATE PLANTING IS PROVIDED IN THE SLOPE. VARIANCES OR DEVIATIONS FROM THIS REQUIREMENT ARE PROHIBITED. (ONLY REQUIRED BUFFERS ILLUSTRATED BELOW)

SECTION 33-352 PLANT MATERIALS
 (a) PALMS USED IN BUFFERS MUST BE CLUSTERED IN LENGTHS OF NOT LESS THAN FOUR FEET (4') AND MORE THAN EIGHT FEET (8') APART, NOT MORE THAN 50 PERCENT (50%) OF THE REQUIRED TREES FOR A GIVEN BUFFER ALONG ITS LENGTH MAY BE IN PALMS. A SINGLE TREE MAY BE USED WHEN AN ODD NUMBER OF REQUIRED TREES ALONG A FRONTAGE SO WARRANT. PALMS MUST BE PLANTED IN STAGGERED HEIGHTS WITH A MINIMUM OF THREE (3) PALMS PER CLUSTER. THE USE OF SINGLE PALMS IS PERMITTED IF THE PALMS ARE THE ROYAL PALM, DATE PALM OR BISHOPIA PALM VARIETY, AND, THE USE OF PALMS DOES NOT CONSTITUTE MORE THAN 50 PERCENT (50%) OF THE TOTAL REQUIRED TREE COUNT ALONG A GIVEN BUFFER.
 (b) PALMS USED TO MEET THE REQUIRED TREE COUNT FOR BUFFERS MAY BE USED ON A 2:1 BASIS. CABBAGE PALMS MAY BE USED ON A 3:1 BASIS FOR CANOPY TREES WHEN PLANTED IN CLUSTERS. PALMS MAY BE USED TO MEET GENERAL TREE REQUIREMENTS IF THEY DO NOT CONSTITUTE MORE THAN 50 PERCENT (50%) OF THE REQUIRED TREE COUNT.
 (c) COLORING OF CABBAGE PALMS IN BUFFERS IS PROHIBITED

REQUIRED BUFFER CALCULATIONS:

NORTH PROPERTY SIDE BUFFER-1: ABUTS ADJACENT COMMERCIAL - 5'W TYPE 'A' BUFFER REQUIRED

SPECIAL ZONING CONSIDERATIONS:	N/A
WALL REQUIRED/PROVIDED:	NO/NO
TREES REQUIRED:	315 LF / 4 TREES PER 100 LF = 13
TREES PROVIDED:	14 (13 TREES & 3 PALMS)
SHRUBS REQUIRED:	NONE REQUIRED
SHRUBS PROVIDED:	0 SHRUBS

REQUIRED BUFFER CALCULATIONS:

EAST PROPERTY SIDE BUFFER-2: ABUTS ADJACENT COMMERCIAL - 5'W TYPE 'A' BUFFER REQUIRED

SPECIAL ZONING CONSIDERATIONS:	N/A
WALL REQUIRED/PROVIDED:	NO/NO
TREES REQUIRED:	120 LF / 4 TREES PER 100 LF = 5
TREES PROVIDED:	(5 TREES & 0 PALMS)
SHRUBS REQUIRED:	NONE REQUIRED
SHRUBS PROVIDED:	0 SHRUBS

REQUIRED BUFFER CALCULATIONS:

SOUTH PROPERTY SIDE BUFFER-3: ABUTS ADJACENT STORMWATER SYSTEM - NO BUFFER REQUIRED

REQUIRED BUFFER CALCULATIONS:

SOUTH PROPERTY SIDE BUFFER-4: ABUTS ADJACENT EXISTING DRI BUFFER - NO ADDITIONAL BUFFER REQUIRED

SECTION 10-415 OPEN SPACE:

PROJECT DEVELOPMENT AREA: 52,869 SF
SECTION 10-415a OPEN SPACE CALCULATIONS
OPEN SPACE REQUIREMENT:
 ALL PROJECTS LOCATED WITHIN THE UNINCORPORATED LIMITS OF LEE COUNTY MUST CONTAIN, THE MINIMUM, PERCENTAGE OF OPEN SPACE AS OUTLINED BY THE FOLLOWING TABULATION.
 REQUIRED OPEN SPACE CALCULATION: 52,869 SF x 40% = 21,148 SF
 TOTAL GROSS OPEN SPACE REQUIRED: 21,148 SF
 TOTAL GROSS OPEN SPACE PROVIDED: 27,251 SF

GENERAL NOTES:

REQUIRED BUFFERS:
 NORTH BUFFER 1: 5'W TYPE 'A' BUFFER REQUIRED / 13 TREES & 0 SHRUBS REQUIRED
 EAST BUFFER 2: NO BUFFER REQUIRED
 SOUTH BUFFER 3: NO BUFFER REQUIRED
 WEST BUFFER 4: EXISTING BUFFER IN-PLACE, NO ADDITIONAL BUFFER REQUIRED
 NOTE: THE APPLICANT WILL ASSURE THAT THE WEST BUFFER IS BOTH KEPT INTACT AND IS COMPLIANT WITH THE APPLICABLE D.O. AS A CONDITION OF SUBSTANTIAL COMPLIANCE TO THIS APPLICATION.
REQUIRED CANOPY TREE & INTERNAL LANDSCAPE:
 INTERNAL PARKING LANDSCAPE IS REQUIRED - 5 CANOPY TREES & 1,340 SF OF INTERNAL LANDSCAPING
REQUIRED BUILDING PERIMETER LANDSCAPE:
 BUILDING LANDSCAPE IS REQUIRED - 1,220 SF OF BLDG PERIMETER PLANTING REQUIRED
REQUIRED GENERAL TREES:
 GENERAL TREES ARE REQUIRED - 15 GENERAL TREES REQUIRED

APPLICABLE ZONING:
 ALL CONDITIONS SET FORTH IN ZONING RESOLUTION IF APPLICABLE WILL BE MET AS A CONDITION OF THIS DEVELOPMENT ORDER.

LEGEND:

PLANT ID TAG LEGEND:

XX	SUB-TERM	CODE REQUIRED TREE & PALM MATERIAL
XX	SUB-TERM	CODE REQUIRED SHRUB & GROUNDCOVER MATERIAL
XX		OPTIONAL TREE, PALM & ACCENT MATERIAL (NOT REQUIRED BY CODE)
XX		OPTIONAL SHRUBS AND GROUNDCOVER MATERIAL (NOT REQUIRED BY CODE)

FOLLOWING 'SUB-TERMS' REFLECT STATUS OF ID TAGS:
 BUFFER: PLANTS INSTALLED TO MEET BUFFER REQUIREMENTS
 GENERAL: PLANTS INSTALLED TO MEET GENERAL TREE REQUIREMENTS
 INTERNAL: PLANTS INSTALLED TO MEET INTERNAL LANDSCAPE REQUIREMENTS
 CANOPY: PLANTS INSTALLED TO MEET CANOPY TREE REQUIREMENTS
 BUILDING: PLANTS INSTALLED TO MEET BUILDING PERIMETER PLANTING REQUIREMENTS
 DETENTION: PLANTS INSTALLED TO MEET DRY DETENTION GENERAL TREE CREDITS
 ENHANCED: PLANTS INSTALLED TO MEET ZONING OR BETTERMENT CRITERIA REQUIREMENTS

PERFORMANCE NOTES & REQUIREMENTS:

- THIS PERMIT SET CONTAINS MULTIPLE SHEETS OF WHICH COLLECTIVELY MUST BE EXECUTED TOGETHER TO BE IN COMPLIANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT ALL OF THE SHEETS IN THIS SET HAVE BEEN ACQUIRED PRIOR TO BIDDING AND EXECUTION.
- PRIOR TO THE EXECUTION OF ANY WORK ON-SITE, THE CONTRACTOR WILL ACQUIRE THE APPROPRIATE VEGETATION REMOVAL PERMITS AS MAY/ARE REQUIRED BY THE LOCAL GOVERNMENT AGENCY. ANY FAILURE TO OBTAIN THE APPROPRIATE PERMITS PRIOR TO THE EXECUTION OF WORK ARE THE RESPONSIBILITY OF THE CONTRACTOR. FOR LEE COUNTY, FL, CALL (239-533-8389).
- PRIOR TO RECEIPT OF A CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE APPROPRIATE INSPECTIONS OF SUBSTANTIAL COMPLIANCE WITH THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT WILL BE REQUIRED TO DETERMINE THAT THE PROJECT IS IN COMPLIANCE WITH THE PERMIT DOCUMENTS, CONDITIONS, AND STIPULATIONS AS A REQUIREMENT TO OBTAIN A CERTIFICATE OF COMPLIANCE WHICH PRECEDES THE C.O.
- NO PLANTS THAT ARE 'REQUIRED' BY CODE MAY BE LOCATED WITHIN ANY EASEMENTS.
- ANY CABBAGE PALMS WITH A CLEAR TRUNK OF EIGHT FEET (8') OR GREATER MUST BE PRESERVED AND RELOCATED ON-SITE. CABBAGE PALMS MAY BE HARVESTED FOR USE OFF-SITE SO LONG AS PROOF OF THEIR DELIVERY AND INSTALLATION ELSEWHERE IS PROVIDED AS A CONDITION OF COMPLIANCE.
- WHERE OVERHEAD POWERLINES ARE PRESENT, PALMS MUST BE AT LEAST A PALM FROM DISTANCE AND TREES MUST BE AT LEAST TEN FEET (10') AWAY, UNLESS THE TREE SPECIES IS SUCH THAT IT WILL NOT GROW AND INTERFERE WITH THE POWERLINES AT MATURITY.
- TREES MAY NOT BE PLANTED CLOSER THAN FOUR FEET (4') TO ANY CURBS, SIDEWALKS OR FOUNDATIONS UNLESS THE APPROPRIATE ROOT BARRIER PROVISIONS HAVE BEEN INCLUDED. TREES MAY NOT BE PLANTED CLOSER THAN TEN FEET (10') FROM ANY BUILDING (DEPENDENT ON BUILDING HEIGHT AND TREE SPECIES).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING THE APPROPRIATE PROTECTIONS FOR EXISTING VEGETATION AS HEREIN DETAILED. ALL PARKING LOT ISLAND APPLICATIONS SHALL MEET THE REQUIREMENTS OF FILL AND CODES AS HEREIN DETAILED.

PERFORMANCE NOTES & REQUIREMENTS...cont:

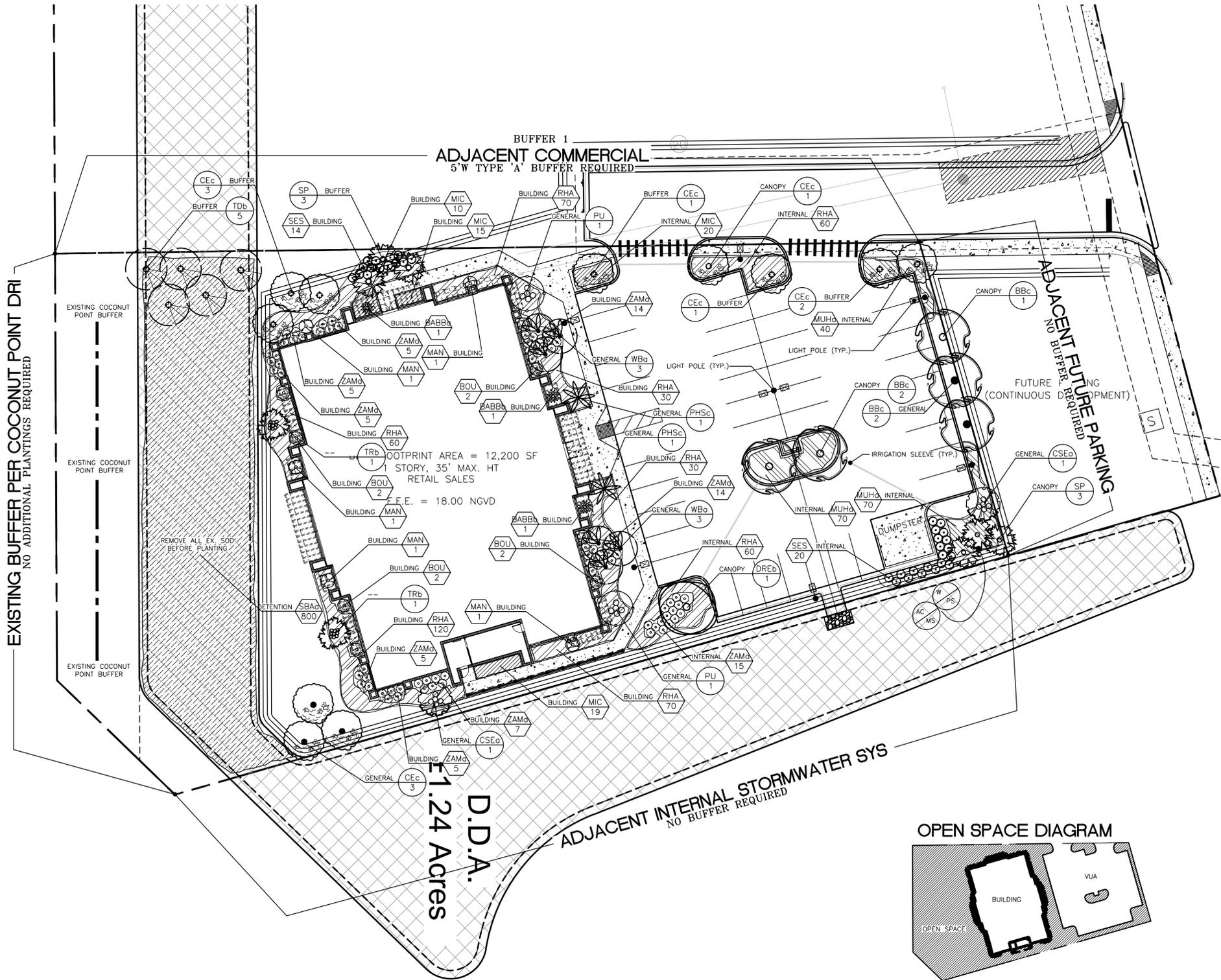
- THERE IS TO BE A CLEARANCE OF SEVEN AND ONE HALF FEET (7'6") IN FRONT OF AND TO THE SIDES OF ALL FIRE HYDRANTS, FDC, AND CONTROL VALVES
- ALL TREES AND PALMS PLANTED TO MEET THE REQUIREMENTS OF INTERNAL 'CANOPY' TREES (INDICATED HEREIN AS 'CANOPY') MUST BE PLANTED WHERE ILLUSTRATED ON THE PLANS AND AS THE SPECIES SPECIFIED.
- THE SAME SPECIES OF PLANT MATERIALS MAY BE ILLUSTRATED WITH DIFFERING SYMBOLS. LEADERS WILL DEFINE THE SPECIES AND ITS APPLICATION. THE SYMBOL WILL GENERALLY DEPICT THE CATEGORY THE MATERIAL IS INTENDED TO MEET. ACTUAL GRAPHIC SYMBOLS MAY VARY. SEE ID TAGS FOR SPECIFIC USES.
- ALL PLANTING REQUIRED BY THE LAND DEVELOPMENT CODE IN EFFECT MUST BE INSTALLED WITH A LAYER OF MULCH NOT LESS THAN TWO INCHES (2") IN DEPTH. SEE PLANT SCHEDULE FOR THE SPECIFICATION OF MULCH.
- ALL TREES PLANTED TO MEET THE REQUIREMENTS OF CODE SHALL MEET THE MINIMUM STANDARDS (WHERE APPLICABLE) SHALL BE PLANTED IN SOU.
- NOT MORE THAN TEN PERCENT (10%) OF THE REQUIRED BUILDING PERIMETER LANDSCAPE AREA (WHERE APPLICABLE) SHALL BE PLANTED IN SOU.
- THE CONTRACTOR SHALL NOTE AND ACKNOWLEDGE THAT THESE APPROVED PERMIT DOCUMENTS INCLUDE SUPPORTING CALCULATIONS, SPECIFICATIONS, REQUIREMENTS, AND CONDITIONS THAT ARE NOT ILLUSTRATED ON THIS SHEET. HOWEVER, MAKE PART OF THE REQUIREMENTS OF WORK TO BE EXECUTED.
- ALL PLANT MATERIAL SPECIFIED FOR THIS PROJECT SHALL BE FLORIDA NO. 1 QUALITY OR BETTER (UNLESS SPECIFIED OTHERWISE AS FLORIDA FANCY) AS DEFINED BY GRADES & STANDARDS (LATEST EDITION).

IRRIGATION LEGEND (LANDSCAPE PLAN SET ONLY):

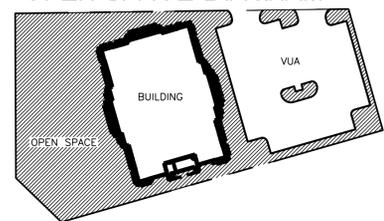
SYMBOL	DESCRIPTION
(Symbol)	AUTOMATIC IRRIGATION TIMER / MOISTURE SENSOR (SEE DETAILS & SPECIFICATIONS)
(Symbol)	IRRIGATION WELL / PUMP STATION (SEE DETAILS AS APPLICABLE)
(Symbol)	IRRIGATION METER / BACK FLOW PREVENTION DEVICE (SEE DETAILS AS APPLICABLE)
(Symbol)	SLEEVING (SCH. 40 PVC)

IRRIGATION NOTES:

- FORMAL IRRIGATION PLANS FOR THIS PROJECT HAVE NOT BEEN DEVELOPED AND ARE NOT GENERALLY PART OF THE PERMIT SUBMITTAL DOCUMENTS. THE CONTRACTOR SHALL PREPARE SAID IRRIGATION DESIGNS PRIOR TO THE SUBMISSION OF BIDS OR SHALL MAINTAIN AS-BUILT DRAWINGS AS PART OF THE EXECUTION OF ANY WORK ON THE PROJECT. AS-BUILT DRAWINGS ARE REQUIRED AS PART OF THE CERTIFICATE OF COMPLIANCE PROCESS DEFINED BY THE LOCAL PERMITTING AGENCY.
- THE IRRIGATION GUIDELINES SHEET REFER TO THE ABSENCE OF IRRIGATION PLANS ONLY FOR THE PURPOSES OF THE DEVELOPMENT ORDER PERMIT SUBMITTAL, IF APPLICABLE.
- SHEET IR-1 (IRRIGATION GUIDELINES & DETAILS) IS PART OF AND INCLUDED WITH THESE PERMIT DOCUMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR FOLLOWING THE TERMS OF THIS SHEET AND THE RESULTING IRRIGATION SYSTEM INSTALLED MUST BE COMPLIANT WITH THOSE TERMS AS A PREREQUISITE FOR SUBSTANTIAL COMPLIANCE.
- A WATER USE PERMIT (CONSUMPTIVE USE PERMIT) MUST BE OBTAINED PRIOR TO THE EXECUTION OF WORK ON THIS PROJECT, IF A METER IS SPECIFIED OR BEING USED. COORDINATION WITH THE RELATIVE UTILITY IS REQUIRED (IMPACT FEES MAY BE REQUIRED).



OPEN SPACE DIAGRAM



3D ANIMATION • VIRTUAL DESIGN • DIGITAL IMAGING
 LAND PLANNING & GRAPHERS • ARCHITECTURAL ILLUSTRATION
 LANDSCAPE ARCHITECTURE
 6208 WHISKEY CREEK DRIVE
 FORT MYERS, FLORIDA 33907
 PHONE: 239.334.9144
 WEB: www.LAIFLA.com
 EMAIL: mail@LAIFLA.com
 FLORIDA CORPORATE REG. 0000370

CITY MATTRESS
 at COCONUT POINT
 Estero, Florida

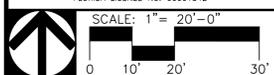
6200 Whiskey Creek Drive
 Fort Myers, FL 33919
 Phone: (239) 985-1200
 Florida Certificate of
 Authorization No. 1772



Sheet Title: LANDSCAPE
LANDSCAPE CODE DOCUMENT
 (Sheet 1 of 1)

Land Architects, Inc.

WILLIAM E. PRYSI, P.L.A., A.S.L.A.
 REGISTERED LANDSCAPE ARCHITECT
 FLORIDA LICENSE NO. 00001342



SCALE: 1" = 20'-0"

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Project No.:	15031-1	Date:	2015-08-25
Principal-in-Charge:	WEP	REVISIONS:	DATE: BY:
Design / Drawn by:	WEP/WEP		
Plot CIB File:	LA-CTB-2012a		
File No.:	15031-C-City Matt_v10		
Master Attachments:	15031-MasterCode_v10		
	15031-XTB_v10		

Sheet No.:
LC-1
 SHEET OF

IRRIGATION INSTALLATION DETAILS:

IRRIGATION DETAILS (Substitutions Only with Written Approval):

WELL SIZE:
CONTRACTOR TO PROVIDE A SIX INCH (6") WELL TO A DEPTH AS DEFINED BY THE WATER USE PERMIT.

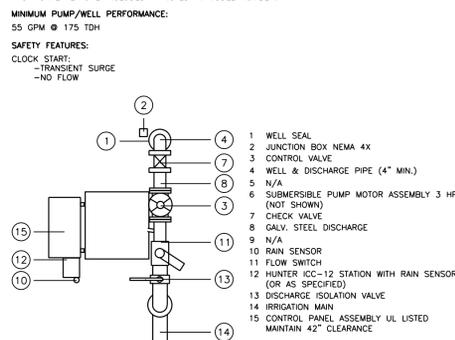
POWER:
THIS SYSTEM WILL FUNCTION ON SINGLE-PHASE POWER AND MUST BE PROVIDED TO THE SOURCE LOCATION.

NOTE:
DISCHARGE PIPES & HEADER TO IRRIGATION MAIN SHALL BE SCHEDULE 40 GALVANIZED STEEL PIPE WITH GALV. ROLL GROOVE FITTINGS. PUMP DROP PIPE SHALL BE SCHEDULE 80 PVC CERTA-LOK. SET PUMP 60" ON 2" PIPE. ALL EXPOSED SUCTION & DISCHARGE PIPE SHALL BE GALVANIZED STEEL PIPE SHALL BE ONE SIZE LARGER THAN PUMP/MOTOR ASSEMBLY.

*** OPTIONAL FEATURE INCLUDED IF NOTED IN MODEL NUMBER.**

MINIMUM PUMP/WELL PERFORMANCE:
55 GPM @ 175 TDH

SAFETY FEATURES:
CLOCK START:
- TRANSIENT SURGE
- NO FLOW

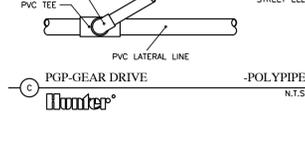
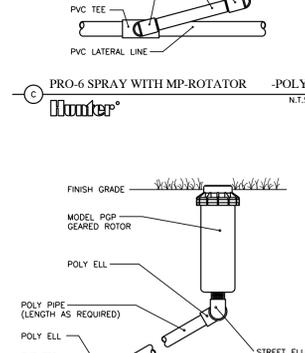
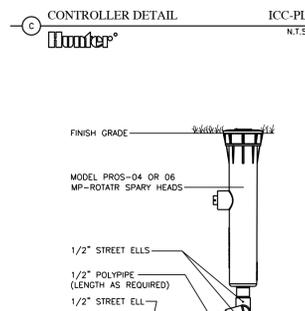
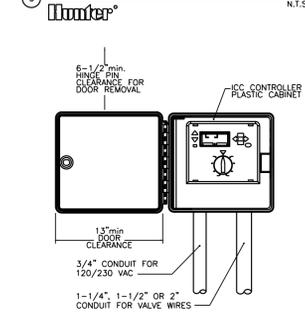
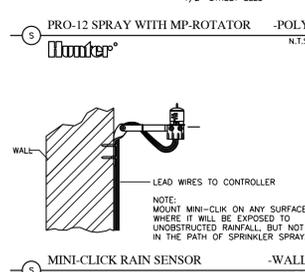
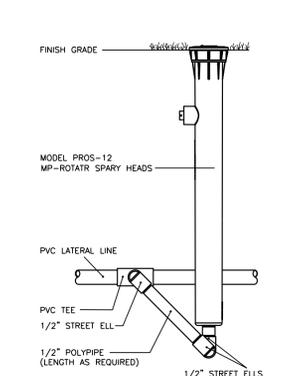
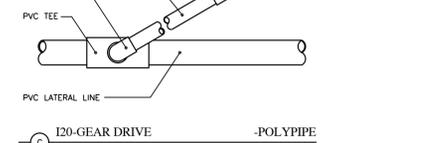
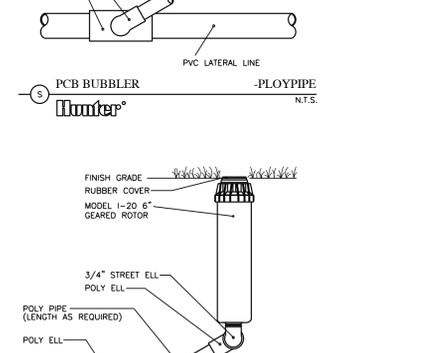
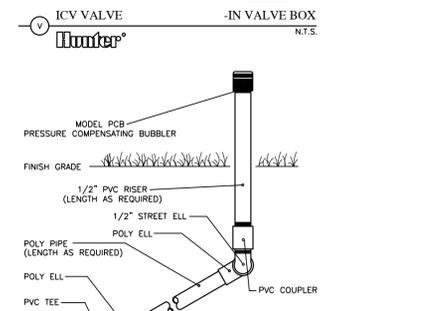
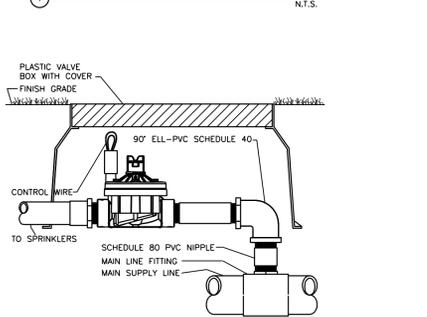
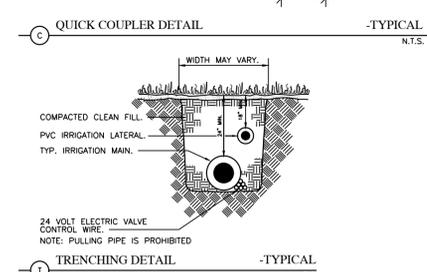
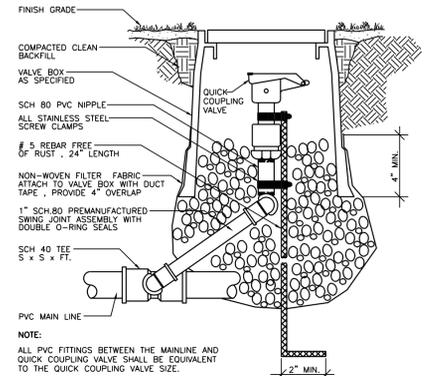
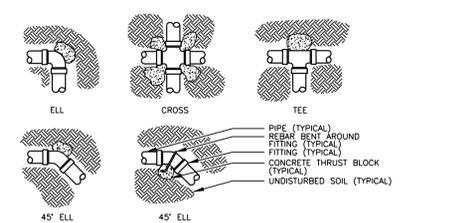
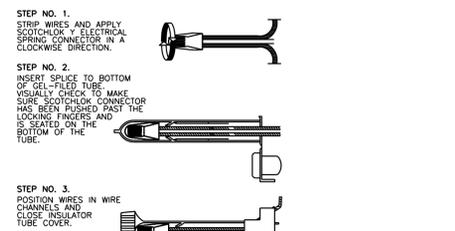
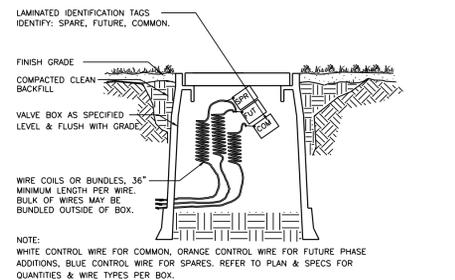


PLAN VIEW NTS

HOOPER PUMPING MODEL: HSE-5.0CS-AE-24W
Hooper Pumping Systems, Inc. Pompano Beach, Florida, Tel: 954-971-7350
File: PN6006 07/04 (CLAT: ECONO CS)
CLAT: FILE: IS-D-HooverPS(Open5HP-1Phase)-SubPump(ClockStart)_v1a.dwg

SUBMERSIBLE PUMP SYSTEM DETAIL

ECONO OPEN SYSTEM SINGLE WELL (5HP Single-Phase)
CLOCK START



IRRIGATION INSTALLATION GUIDELINE REQUIREMENTS:

IRRIGATION SYSTEM PLAN and LAYOUT

FORMAL IRRIGATION SYSTEM DESIGN DOCUMENTS:

Formal Irrigation System Design Documents (Plans) have not been prepared by the LANDSCAPE ARCHITECT and are not a part of the Contract Documents for the work described herein. Said Irrigation Design Documents are, however, part of the submittal documents and act as a requirement for any system design for this project. The CONTRACTOR shall assume full responsibility in designing a functional irrigation system in accordance with these written guidelines and specifications, as are applicable. The aforementioned Plans shall be inserted into the submittal documents upon receipt of the Lee County Development Order for this project and made part of the Contract Documents for the work depicted and described therein. Irrigation Designs by the CONTRACTOR must be submitted to the LANDSCAPE ARCHITECTS as As-Built Drawings prior to the request for an inspection for Substantial Completion.

If Mitigation, Abatement or other type of required planting in preserve or natural areas is illustrated on these documents, irrigation is required for those areas and must be 100% coverage as defined herein. The irrigation for these areas shall be temporary in nature and must remain operational for not less than 18 months. The project cannot be certified as compliant to these documents unless executed accordingly.

IRRIGATION SYSTEM CONDITIONS PER LDC:

- The applicant shall, at a minimum provide an irrigation system that maintains 100% coverage (head to head) for plant materials installed in compliance with all applicable codes, regulations, and resolutions. The irrigation shall, at a minimum, contain the following elements: 1. irrigation heads providing 100% coverage; 2. complete delivery system; 3. water source; well, potable, or effluent; 4. Rain Sensor Device; 5. Backflow Prevention Device; where applicable.
- All components of the irrigation system will be designed, installed, and maintained to minimize the overflow of water to all any indigenous or natural preserve areas as defined by code and to minimize any overflow onto impervious surfaces.
- Where special circumstances exist, such as mitigation areas, abatement plantings, or other plant required by code and illustrated on these documents, irrigation must be provided to those materials in accordance with the standards defined herein (100% head-to-head coverage). Irrigation for mitigation areas may be temporary and must remain functional for not less than 18 months.

TYPICAL CONSTRUCTION STANDARDS:

- Rotor type spray heads will NOT be accepted for irrigating shrub beds unless specifically approved by the Landscape Architect. All shrub beds shall be provided with irrigation from not less than two (2) directions. Single head irrigation strips in beds longer than three feet (3') are not acceptable.
- Irrigation System As-Built Drawings shall be kept at all times and shall be made available for review on demand. As-Built Drawings must be made available prior to the required Certification walkthrough.
- The Irrigation Contractor shall review these and the Engineer's Paving and Grading Plans for the well size and locations and shall verify if said well sizes and locations are compatible with the intended system to be installed prior to construction.

NOTICE - SUBMITTAL DOCUMENTS REQUIRED:

- Irrigation Contractor shall provide Record Drawings to the Landscape Architect prior to the commencement of the irrigation system. The contractor shall be held responsible for the failure to do so may result in the re-execution of work or delay in receiving the Certificate of Compliance.
- Irrigation Contractor shall provide Shop Drawings to the Landscape Architect prior to the commencement of work for all components of the proposed irrigation system for approval. Failure to do so may result in the re-execution of work or delay in receiving the Certificate of Compliance.

REQUIRED PERMITS:

- Irrigation Contractor shall be responsible for acquiring all necessary permits to install the system defined by these documents. Said permits to include all well and water use permits required by all local jurisdictions, including the South Florida Water Management District, where and when applicable.

SYSTEM SPECIFICATIONS and GUIDELINES:

CONDITIONS OF LEE COUNTY LDC:

Note: The Contractor acknowledges that irrigation system components are required per applicable Code. It is the specific responsibility of either acquire formal irrigation system design documents from the LANDSCAPE ARCHITECTS or to design one that is installed in accordance to these guidelines and specifications. As-Built drawings, prepared by the CONTRACTOR, shall be submitted to the LANDSCAPE ARCHITECT in conjunction with the system walkthrough prior to the issuance of the Certificate of Compliance. The CONTRACTOR acknowledges that the LANDSCAPE ARCHITECT can not and will not approve the system for Compliance without said As-Built and approved Walkthrough. DEVIATIONS TO THE SYSTEM DESIGN WILL REQUIRE A FEE FROM THE CONTRACTOR. IF DEVIATIONS ARE NOT OWNER DIRECTED AND IN WRITING, FEE DUE PRIOR TO SUBMITTAL FOR CC.

SCOPE OF WORK:

- THE CONTRACTOR shall adhere to the standards defined in these Permit documents and to install the product specifications illustrated. Where conventional practices and these standards conflict, the standard defined herein shall govern.
- CONTRACTOR shall provide all labor, materials, services, specified products, and equipment necessary or the complete installation of depicted irrigation system.
- CONTRACTOR hereby concedes to the OWNER that time is of the essence and that any damages occasioned by the CONTRACTOR'S failure to complete the work by the dates established in the contract, where applicable, shall be reimbursable to the OWNER.
- if at any time, conflicts between the CONTRACTOR'S installation and the Contract Documents are encountered, the LANDSCAPE ARCHITECT or OWNER, at his discretion, shall have the CONTRACTOR revise, modify, rework, or repair the work product in question at the CONTRACTOR'S expense.

QUALITY ASSURANCE:

- THE CONTRACTOR shall be responsible for thoroughly reviewing the Contract Documents herein and made part of these standards. THE CONTRACTOR shall be responsible for providing 100% coverage to all plant materials shown and identified, including turf area, unless depicted otherwise on the Formal Irrigation Design Documents.
- CONTRACTOR qualifications: shall be a firm specializing in irrigation work with not less than five (5) years of experience in installing irrigation systems similar to the type and scope herein referenced. THE CONTRACTOR shall also be fully licensed to practice irrigation work in the state and local jurisdiction.
- THE OWNER or LANDSCAPE ARCHITECT shall have full authority to approve or reject work performed by the CONTRACTOR. THE OWNER and LANDSCAPE ARCHITECT shall also have full authority to make field adjustments as deemed necessary.

SUBMITTALS:

- Record Drawings: THE OWNER shall furnish the CONTRACTOR with a set of clean original irrigation drawings provided for the project for the purpose of having the CONTRACTOR record all the primary components of the irrigation system on said drawings. THE CONTRACTOR shall delineate on the prints the following minimum components (where Irrigation Drawings are not available, the Record Drawings shall be issued on the Landscape Plans themselves):
 - Mainline and sleeves.
 - Valves, quick couplers, gate valves, etc.
 - Controller & Rain Sensor.
 - See Supplemental Notes for further detail of As-Built submittal requirements.
- THE CONTRACTOR will submit the Record Drawings to the LANDSCAPE ARCHITECT prior the issuance of the Certificate of Compliance for review. Failure on part of the CONTRACTOR to record all required and relevant system information and to submit in a timely fashion may result in non-compliance with the Code in effect. THE LANDSCAPE ARCHITECT requires, at a minimum, 48 hours to review and respond.
- CONTRACTOR shall furnish to the OWNER the following loose equipment:
 - Three (3) quick coupler keys and matching swivel hose ends (if applicable).
 - Two (2) gate valve keys and two (2) controller keys.

PROTECTION OF PROPERTY - PUBLIC HEALTH, SAFETY, AND WELFARE:

- THE CONTRACTOR will be responsible for the location and protection of utilities and services both underground and overhead. THE CONTRACTOR assumes all liability for damages to said utilities and services.
- Refer to the General Landscape Specifications, Section 3 for additional standards under this category.

COMPLETION AND ACCEPTANCE:

- The completion of work to the irrigation system will be accepted only when the entire system is completed to the satisfaction of the LANDSCAPE ARCHITECT or OWNER. All plant beds indicated on the drawings shall have complete (100%) coverage before the work will be accepted. By completion of the work depicted by the Contract Documents, the CONTRACTOR assumes all assurances to apply and abide by all applicable permits.
- The acceptability of material, components, workmanship, labor, and compliance with these specifications shall be solely determined by the LANDSCAPE ARCHITECT.
- Right to Reject: THE LANDSCAPE ARCHITECT will have the right, at any stage of the work, to reject any and all work, materials, and components which, in his opinion, does not meet the requirements herein set forth. 5.4 Record drawings shall be delivered to the LANDSCAPE ARCHITECT for approval. Upon approval, the LANDSCAPE ARCHITECT will forward the record drawings to the OWNER. Approval by the LANDSCAPE ARCHITECT is solely in reference to meeting the intent of applicable local regulations. No assertion is warranted on quality or application.

WARRANTY:

- THE CONTRACTOR shall warrant and guarantee from defect and malfunction all workmanship and materials for a period of one (1) year from the date of Final Acceptance.
- THE CONTRACTOR further agrees that he will, at his own expense, repair and/or replace all such defective work and materials and all other work damaged thereby and which becomes defective during the term of the guarantee-warranty in an expedient manner.
- THE OWNER retains the right to make emergency repairs without relieving the CONTRACTOR'S guarantee obligation. In the event the CONTRACTOR does not respond the OWNER'S request for repair under the CONTRACTOR'S warranty within a period of 48 hours, the OWNER may make such repairs as he deems necessary, at the full expense of the CONTRACTOR.

LIMITATION OF LIABILITY

These Contract Documents (drawings, illustrations, specifications, etc.) are provided by the LANDSCAPE ARCHITECT for the sole purpose of depicting a professional irrigation system application which yields 100% coverage over the plant materials shown and specified on the drawings. THE CONTRACTOR is responsible for providing the Owner with the specified product and work that meets the minimum standards defined herein. THE CONTRACTOR shall also be responsible for coordinating with others and applying for and obtaining all permits from all applicable Jurisdictional Agencies (where & when applicable). THE LANDSCAPE ARCHITECT has not applied for any Permits unless noted.

THE CONTRACTOR shall be responsible for providing As-Built Drawings that clearly documents the system installed as defined herein. THE CONTRACTOR shall also be responsible for submitting said As-Built Drawings to the LANDSCAPE ARCHITECT for review and approval. THE CONTRACTOR shall assume full liability and shall hold harmless the LANDSCAPE ARCHITECT against any claim for failure of the system or to prepare & submit acceptable As-Built documents of the system installed.

RAIN SENSOR DEVICES:

- THE CONTRACTOR shall provide an automatic Rain Sensor Device that is appropriately connected to the controller for the system. Said device shall be located in a manner to serve its function (i.e. not located under cover or shelter). The device shall be provided by the contractor and acceptable manufacturer unless specified on the drawings.

CONTROLLERS:

- THE CONTRACTOR shall be responsible for providing the specified automatic controller that services the entire irrigation system. Said controller shall be zoned to address water restriction windows and shall also be protected from lightning and power surge.
- THE CONTRACTOR shall coordinate the installation of the specified Controller with the Owner, as detailed, if located other than shown on the drawings.

MATERIALS:

- THE CONTRACTOR shall provide products from the following list of acceptable manufacturers for the specified components: (Failure on part of the CONTRACTOR to furnish the listed acceptable products are at their risk of rejection & replacement) "PRODUCTS LISTED ON FORMAL DRAWINGS SHALL BE INSTALLED AS SPECIFIED"

Rotor, Spray, or Bubbler heads (Shop Drawings Required):

- HUNTER (I-Series)
- HUNTER (PGP-Series)
- HUNTER (Rotor series - 6"Pop or over)

Automatic Control Valves (Shop Drawings Required):

- HUNTER (POV or HPV Series)
- HUNTER (HBV Brass Series)
- HUNTER (ASV Anti-Siphon Series)

Controllers (Shop Drawings Required):

- HUNTER (ICC Series)
- HUNTER (SRC Series), Light usage only

Backflow Preventors & Meters (Shop Drawings Required):

- FEBCO
- FRANKLIN
- or as required by local authorities.

DEVIATION TO OR ALTERNATIVE PRODUCT USAGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE OWNER AND/OR LANDSCAPE ARCHITECT. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE INSTALLATION OF THE SYSTEM AND PRODUCTS HEREIN SPECIFIED.

10.2 Polyvinyl Chloride Pipe (PVC):

- All PVC pipe shall be homogeneous throughout, free from visible cracks, holes, and foreign materials. The pipe shall be free from blisters, dents, ripples, extrusions and heat marks.
- All PVC pipe shall be continuously and permanently marked with the manufacturer's name or trademark, kind and size (IPS) of pipe, material, manufacturer's lot number, schedule, class, or type, and the NSF seal of approval.
- Piping under constant pressure, upstream of control valves shall be, at a minimum, PVC 1120/1220, SCH-40. Pipe sizes 3" or larger shall be bell end gasket type. Pipe size 2-1/2" or smaller shall be solvent weld type.
- Piping on non-constant pressure side of control valves shall be, at a minimum, PVC 1120/1220, Class 200. Pipe shall be solvent weld type.
- Sleeves shall be provided for all piping running under concrete, paving or any fixed elements. All sleeves shall be PVC 1120/1220, Schedule 40, not less than 2 sizes larger than the pipe size running through it.
- Pipe fittings shall be PVC 1120/1220, Schedule 40.
- Automatic field controllers shall be equipped with all available electrical surge and lightning protection devices provided by the manufacturer. Protection devices not supplied by the manufacturer shall be as recommended by the manufacturer as to provide a maximum degree of protection.
- Low voltage control wire (24 Volt) shall be #14 AWG UL listed single conductor solid copper, type UF, 600 volt tested wire for direct burial installation. 10.5 All risers shall be sized appropriately to the head and shall be PVC 1120/1220, SCH-40.

BACKFLOW PREVENTION DEVICES (WHERE APPLICABLE):

- THE CONTRACTOR shall be responsible for coordinating and receiving approvals from the relative water service utility agency in effort to gain approval for connection of the proposed irrigation system to the potable water source.
- No detail is given for backflow prevention devices. THE CONTRACTOR coordinate the installation of the appropriate device as required by the relative agencies' standards.

IRRIGATION WELL AND PUMPS (WHERE APPLICABLE):

- THE CONTRACTOR shall be responsible for coordinating and receiving approvals from the County and Water Management District in effort to gain approval for the drilling and encasement of an adequate well and pump system suitable for the project. THE CONTRACTOR shall be responsible for providing a full operational well system.
- A Pre-Manufactured Well & Pump Station Detail is provided, any variation of this design by the CONTRACTOR shall assume full responsibility and hold harmless the LA thereto.

EXECUTION:

- Layout: THE CONTRACTOR shall carefully review the landscape plans prepared for this project to fully understand the necessary coverage to be provided by the irrigation system. THE CONTRACTOR concedes to the OWNER that the CONTRACTOR shall provide complete coverage to all plants herein indicated and referenced to the satisfaction of the LANDSCAPE ARCHITECT. THE CONTRACTOR shall provide head coverage to plant beds from at least two (2) directions, three (3) if the plant bed is greater than 18 feet in width. Linear applications count as a single source.
- Spacing: Rotor head types and spacings shall not exceed 30 feet. Spray head types and spacings in plant beds shall not exceed 12 feet. Bubbler shall be set as noted.
- Rotor Heads: All turf applications shall utilize rotor heads whenever possible. All turf area coverage shall be zoned independently from plant bed zones. Rotors whose head capacity exceeds 6 GPM shall be installed with trees swing joints. At no time shall rotor head coverage be used to irrigate plant (shrub) beds.
- Spray Heads: all plant beds shall be irrigated with spray applications on centers not to exceed 12 feet. Risers may be used only where installed or existing plant material complete hides the riser from view. If risers are visible, the CONTRACTOR shall be responsible for converting said risers to pop-up type heads. All ground cover materials shall utilize 12 inch pop-ups. All shrub materials and turf areas shall utilize 6 inch pop-up type heads.
- Control Valves: install control valves in valve boxes, grouping together where possible. Place valve boxes no closer than 12 inches from walks, buildings, and walls.
- Valve Boxes: shall be set flush with the ground (finished grade) in lawn areas and one half inch (1/2") above finished grade in ground cover and shrub bed areas. Install all valve boxes to avoid direct contact with PVC irrigation piping. Following valve box installation, place gravel or sand as indicated in the detail. CONTRACTOR shall label and number all zone valve box covers with the corresponding controller zone number. Numbers shall be applied using a weather resistant tape or paint.
- Controllers: shall be field located by the OWNER or LANDSCAPE ARCHITECT. Controllers shall be installed as referenced and by the manufacturer's recommendations. See are acceptable manufacturers for type.
- THE CONTRACTOR shall pressure test and flush all irrigation lines prior to head applications and system completion.

SUPPLEMENTAL NOTES & REQUIRED AS-BUILT DRAWINGS:

- These Specifications, Details, and Guidelines along with the Formal Design Drawings constitute the Contract basis for the work depicted herein. If not followed in strict accordance thereto, these documents are for the sole purpose of providing guidelines for the design and installation of an irrigation system by others. THE LANDSCAPE ARCHITECT assumes no responsibility for the actual system implemented. THE OWNER/Applicant shall be responsible for coordinating the installation of a system that meets the requirements set forth by the applicable regulations and industry standards.
- THE CONTRACTOR shall be responsible for preparing and submitting a complete set of As-Built drawings that clearly illustrates all the components of the system installed. Said As-Built drawings shall include the following: All Sleeves locations, Stub-outs w/ pipe sizes. All Delivery System components: heads, valves, couplers, & piping with sizes. All supporting component elements: gate valves, controllers, rain sensors, etc. A Complete List of Manufacturers, cross referenced with parts. The Date of System installation and Total Cost. If the system installed is exactly per the Formal Drawings provided, THE CONTRACTOR shall submit written testimony to attest that the installation is per plan.

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LANDSCAPE ARCHITECTURE

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Sheet Title: IRRIGATION SYSTEM
IRRIGATION DETAILS & GUIDELINES
Land Architects, Inc.

WILLIAM E. PRYSI, P.L.A., ASLA
REGISTERED LANDSCAPE ARCHITECT
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