

The Old Estero Post Office

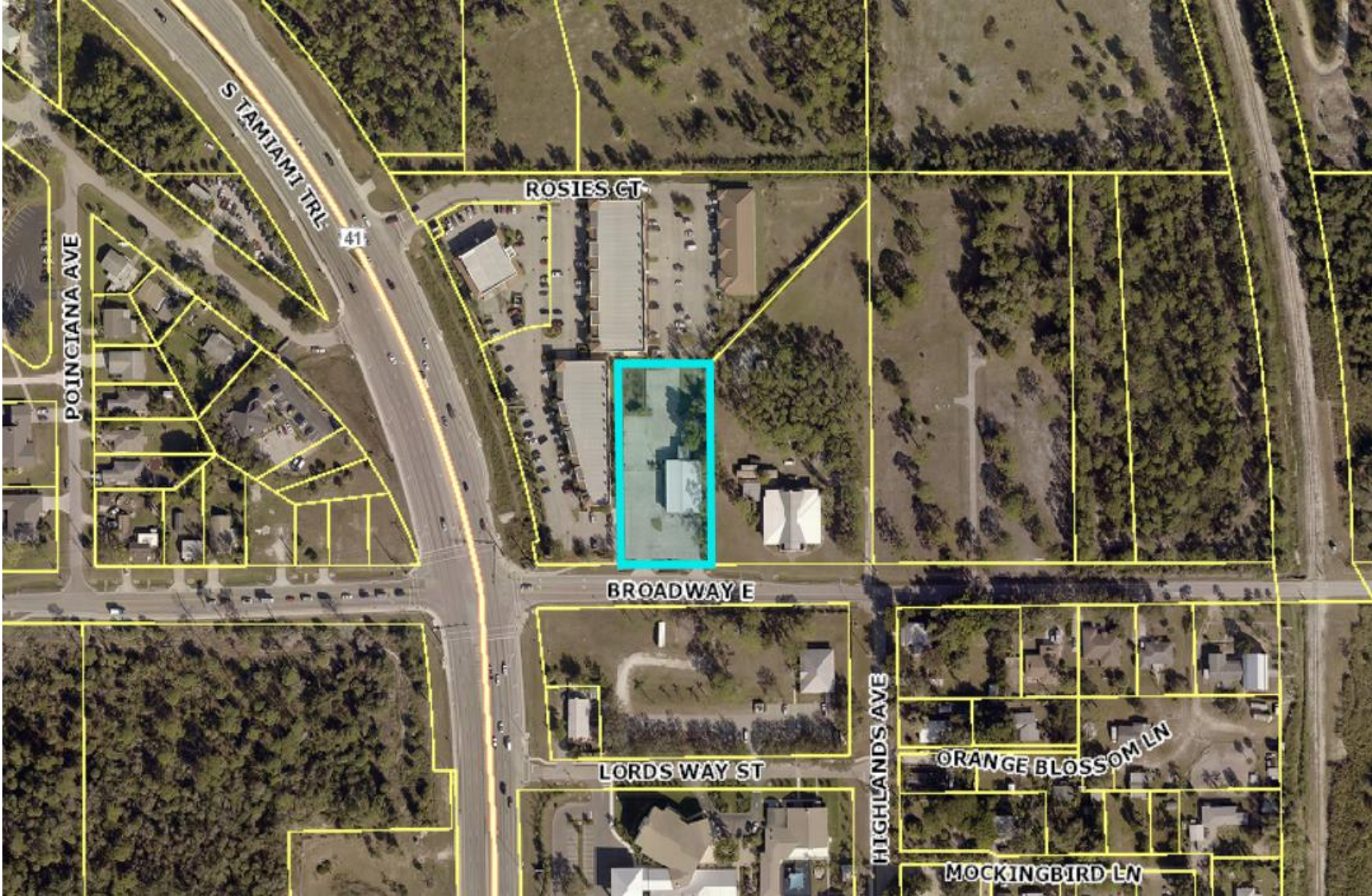
Planning & Zoning Board

November 19, 2019

8111 Broadway East
Village of Estero



Area Location Map



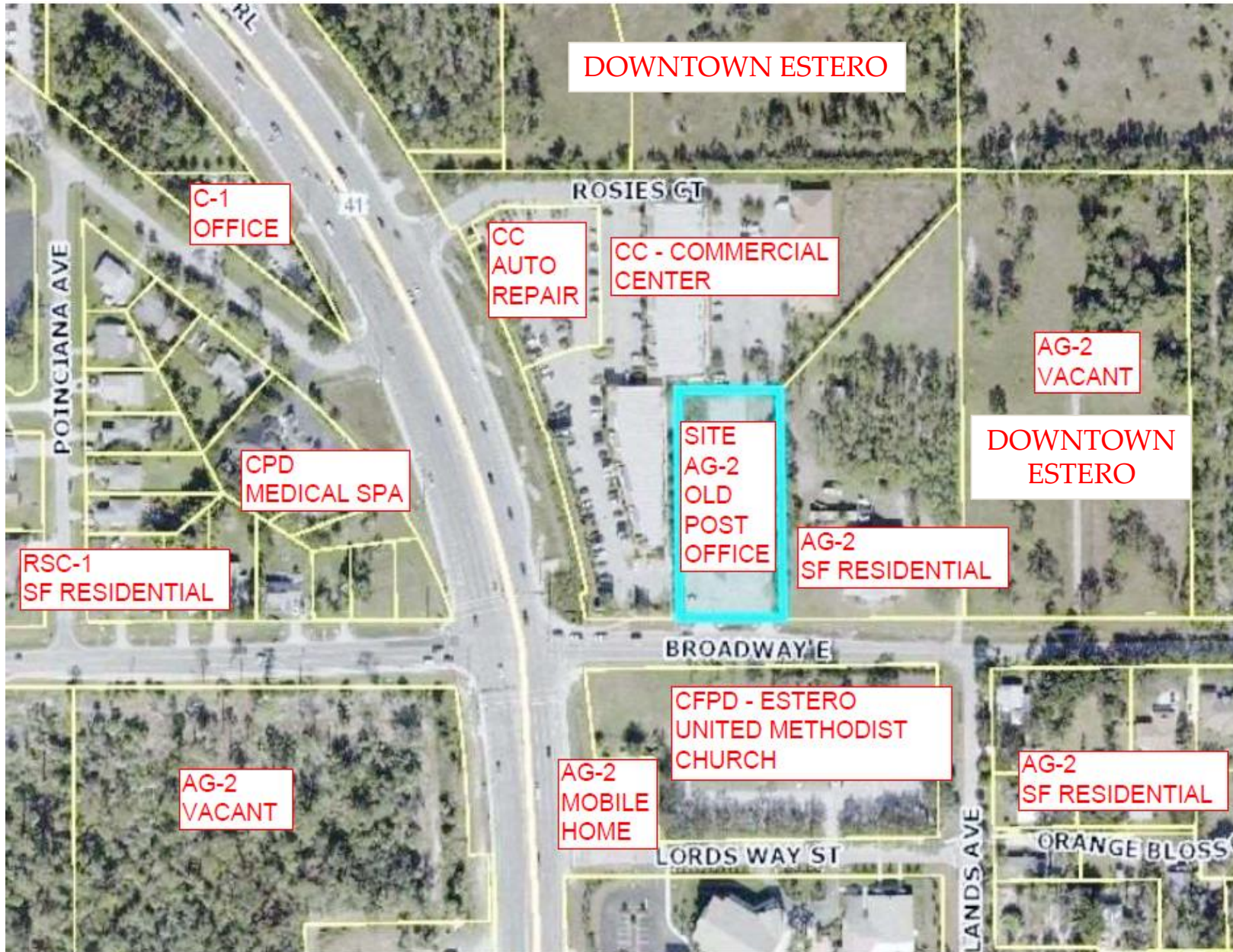
Enlarged Area Location Map



EXISTING CONDITIONS



Surrounding Zoning & Existing Uses Map



Master Concept Plan

STREET ADDRESS

8111 BROADWAY E
ESTERO FL, 33928

STRAP NUMBERS

28-46-25-E2-U1923.2494

PROJECT INFORMATION

FUTURE LAND USE = URBAN COMMERCIAL
CURRENT ZONING = AG-2
PROPOSED ZONING = COMMERCIAL PLANNED DEVELOPMENT (CPD)
PROPOSED USE = COMMERCIAL/OFFICE/RETAIL
MIN. LOT SIZE = 46,547 SF/1.07 AC
MAXIMUM INTENSITY = 4,800 SF
MIXED USE OVERLAY = YES
EXIST. SOIL TYPES = #28 - IMMOKALEE SAND
IRRIGATION SERVICE = IRRIGATION WELL
ARCHAEOLOGICAL SENSITIVITY LEVEL = NONE

BUILDING SETBACK REQUIREMENTS

SOUTH (FRONT/STREET) = 25 FT
NORTH (REAR) = 20 FT
EAST (SIDE) = 16 FT*
WEST (SIDE) = 20 FT

* SEE DEVIATION

ZONING/ACTUAL USE

PROJECT SITE: CPD/COMMERCIAL
NORTH: CC/COMMERCIAL
SOUTH: BROADWAY E. ROW
EAST: AG-2/SFR
WEST: CC/COMMERCIAL

LANDSCAPE BUFFER REQUIREMENTS

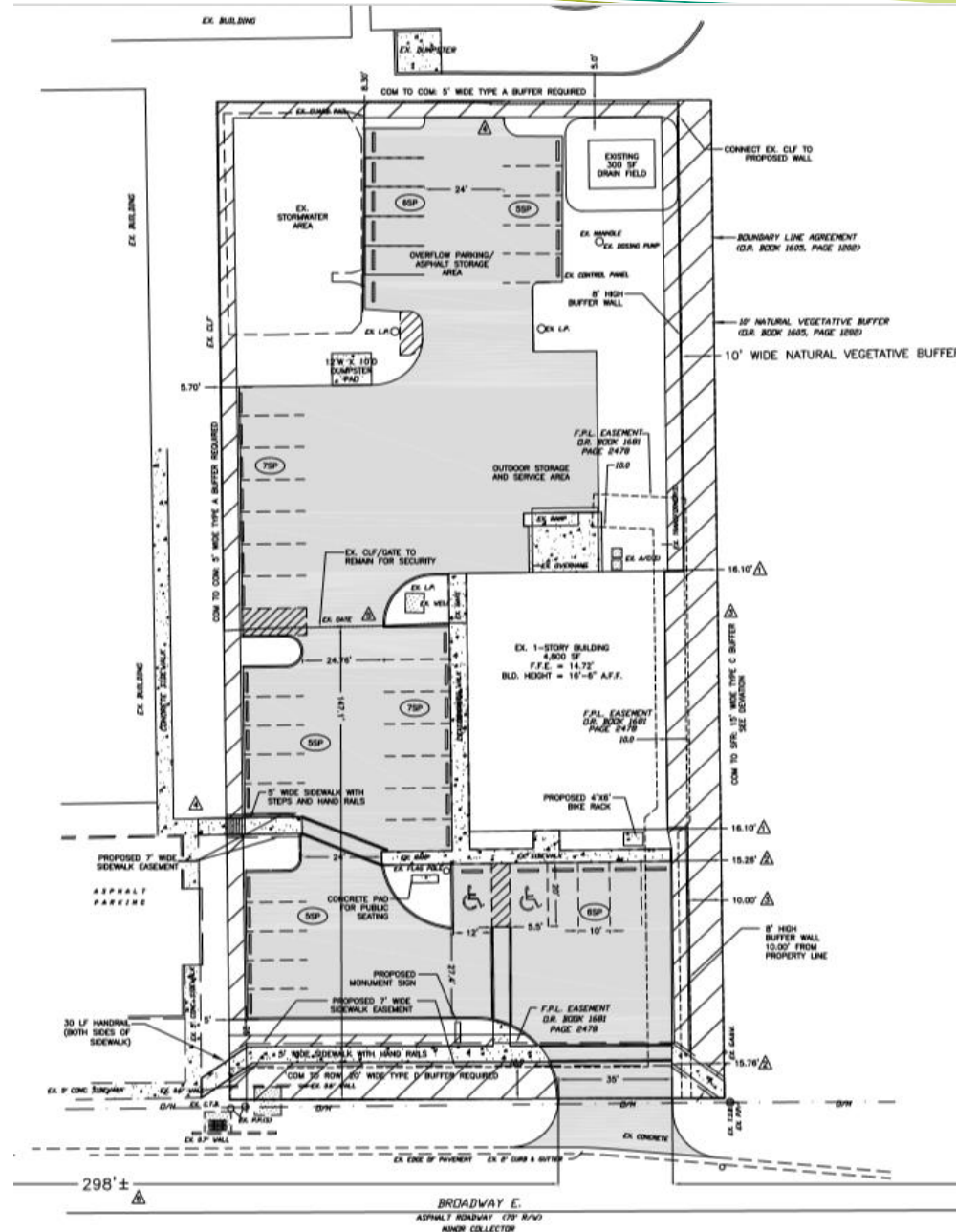
NORTH: COM TO COM: 5' WIDE TYPE A BUFFER REQUIRED
4 TREES/100 LF
SOUTH: COM TO ROW: 20' WIDE TYPE D BUFFER REQUIRED
5 TREES/100 LF AND DOUBLE-STAGGERED HEDGE ROW
EAST: COM TO SFR: 20' WIDE TYPE C BUFFER *SEE DEVIATION #3
10 TREES AND 30 SHRUBS/100 LF WITH 8' HIGH WALL
WEST: COM TO COM: 5' WIDE TYPE A BUFFER
4 TREES/100 LF

OPEN SPACE REQUIREMENTS






SMALL COMMERCIAL DEVELOPMENTS = 20%
REQUIRED: 20% X 46,547 SF = 9,309 SF
PROVIDED: 15,704 SF / 33.7%

PARKING REQUIREMENTS

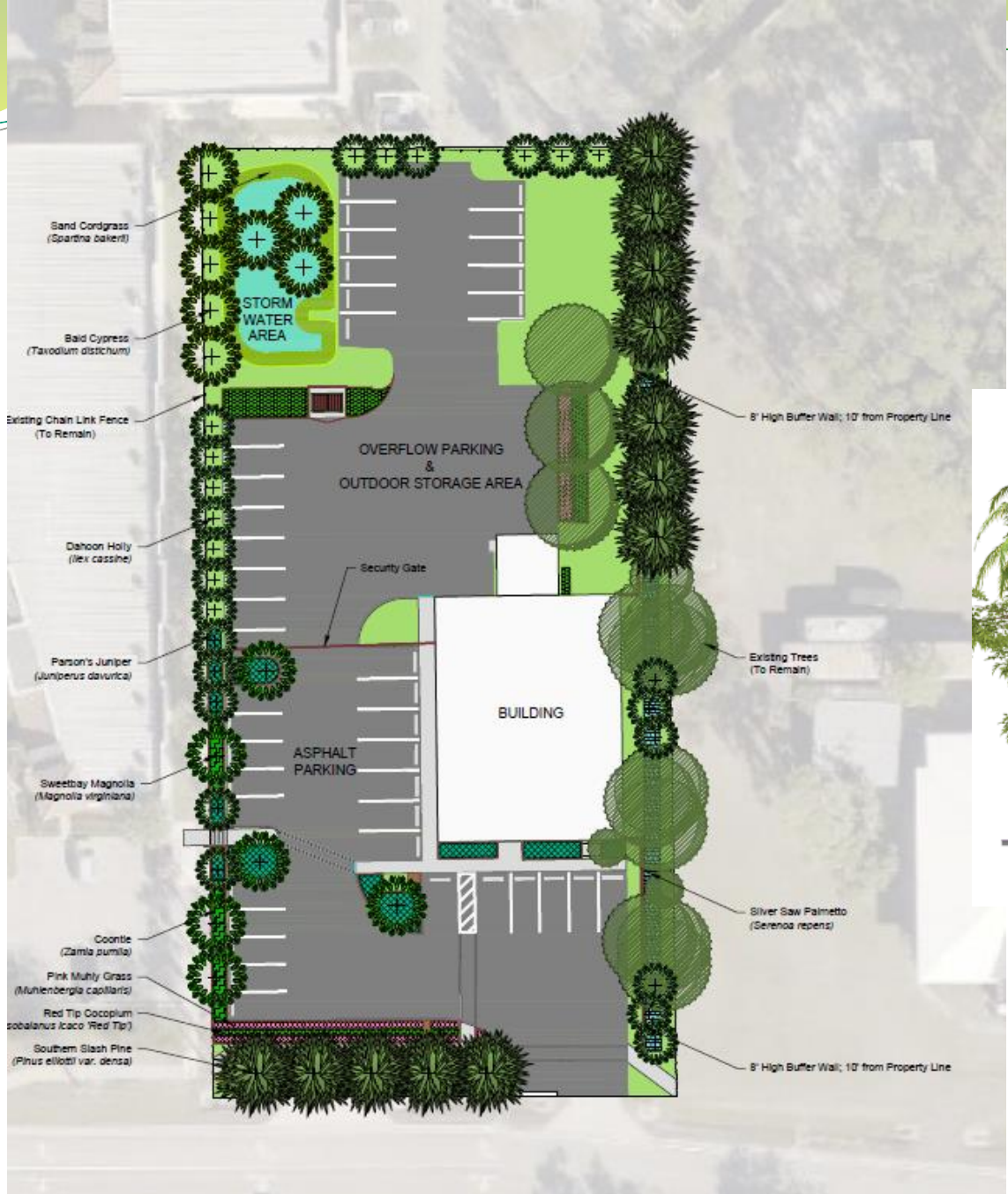
REQUIRED: AS REQUIRED BY THE LDC - TO BE DETERMINED AT TIME OF D.O.
PROVIDED: 30 SPACES INCLUDING 2 HANDICAP SPACES
PLUS 11 OVERFLOW SPACES OR OUTDOOR STORAGE AREA



LEGEND

EX.	EXISTING
R/W	RIGHT-OF-WAY
E.O.P.	EDGE OF PAVEMENT
CONC.	CONCRETE
TYP.	TYPICAL
CLF	CHAIN LINK FENCE
SF	SQUARE FEET
LF	LINEAR FEET
CY	CUBIC YARDS
R	RADIUS, 5' UNLESS OTHERWISE NOTED
	NUMBER OF PARKING SPACES IN LOT
	PROPOSED PAVEMENT
	PROPOSED CONCRETE
	LANDSCAPE BUFFER
	DEVIATION

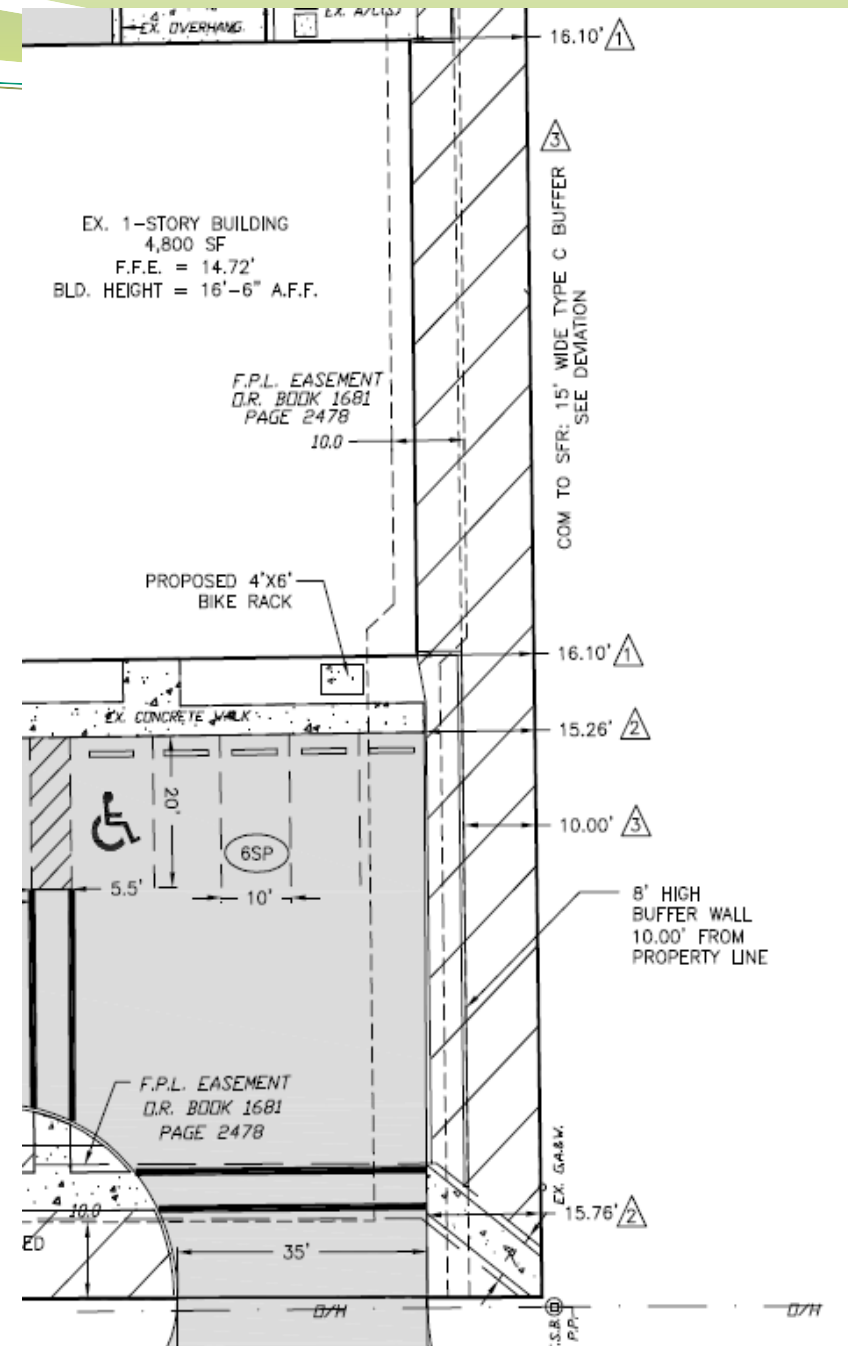
Proposed Master Concept Plan & South Elevation



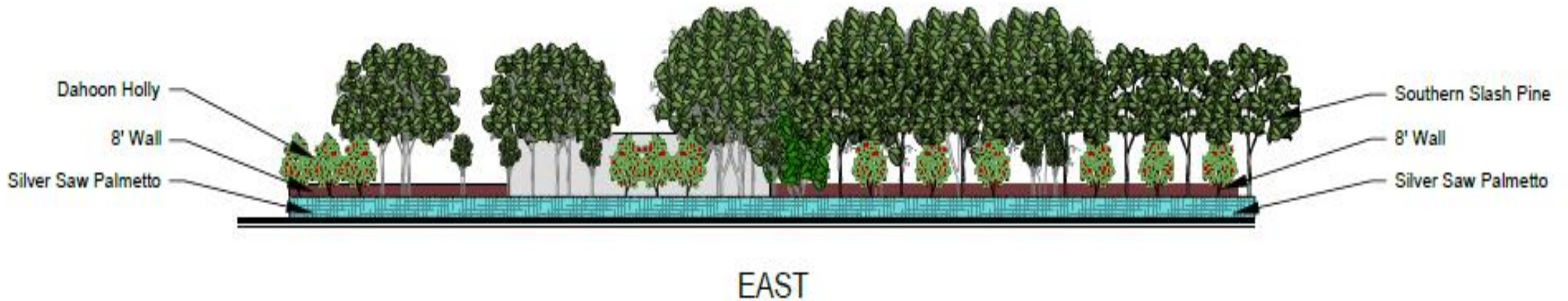
PROPOSED SOUTH ELEVATION
SCALE 1/4" = 1'-0"

Deviations

- Deviation 1: Relief from LDC Sec. 34-935(b)(1), which requires a 20-foot building setback, to permit a 16-foot building setback to the east property line.
- Deviation 2: Relief from LDC Sec. 34-935(b)(2), which requires parking lots and internal drives to be 20 feet from the east property line, to permit the existing parking lot and driveway to be located 15 feet from the east property line.



- Deviation 3: Relief from LDC Sec. 33-351, which requires a Type C Buffer to be a minimum of 20 feet wide with 10 trees and 30 shrubs per 100 lf plus an 8-foot high wall along the east property line. Request to permit the buffer to be 15 feet wide, to allow the existing building to act as the buffer wall for 80 lf, and to permit the wall to be located 10 feet from the property line.



- Deviation 4: Relief from LDC Sec. 33-118, which requires adjacent commercial uses to provide interconnections for automobiles, bicycles, and pedestrians. Request to permit pedestrian-only interconnects to the adjacent commercial property.



West property line

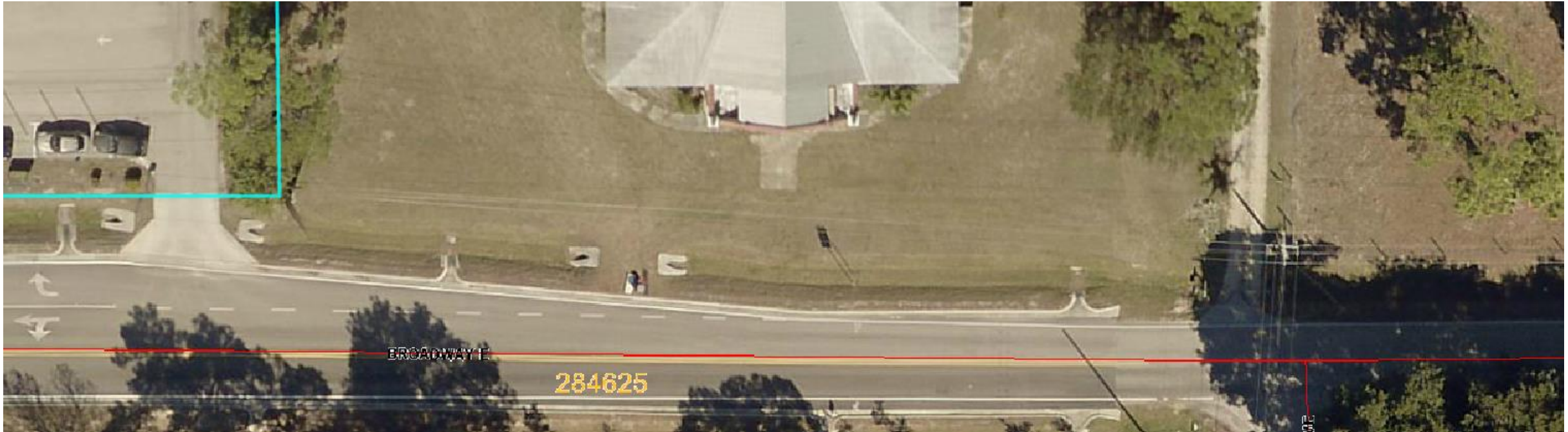


North property line

- Deviation 5: Relief from LDC Sec. 34-1742(b), which requires all fences and walls to be uniform in material, design and color. Request to permit the buffer wall to be different than the ex. CLF.



- Deviation 6: Relief from LDC Sec. 10-285, which requires a connection separation distance of 330 feet on Collector roads. Request the driveway to be located 298 ft from US 41 and 265 ft from the ex. residential driveway to the east.



Connectivity/Public Seating/Buffers

Vehicular and Pedestrian Connectivity:

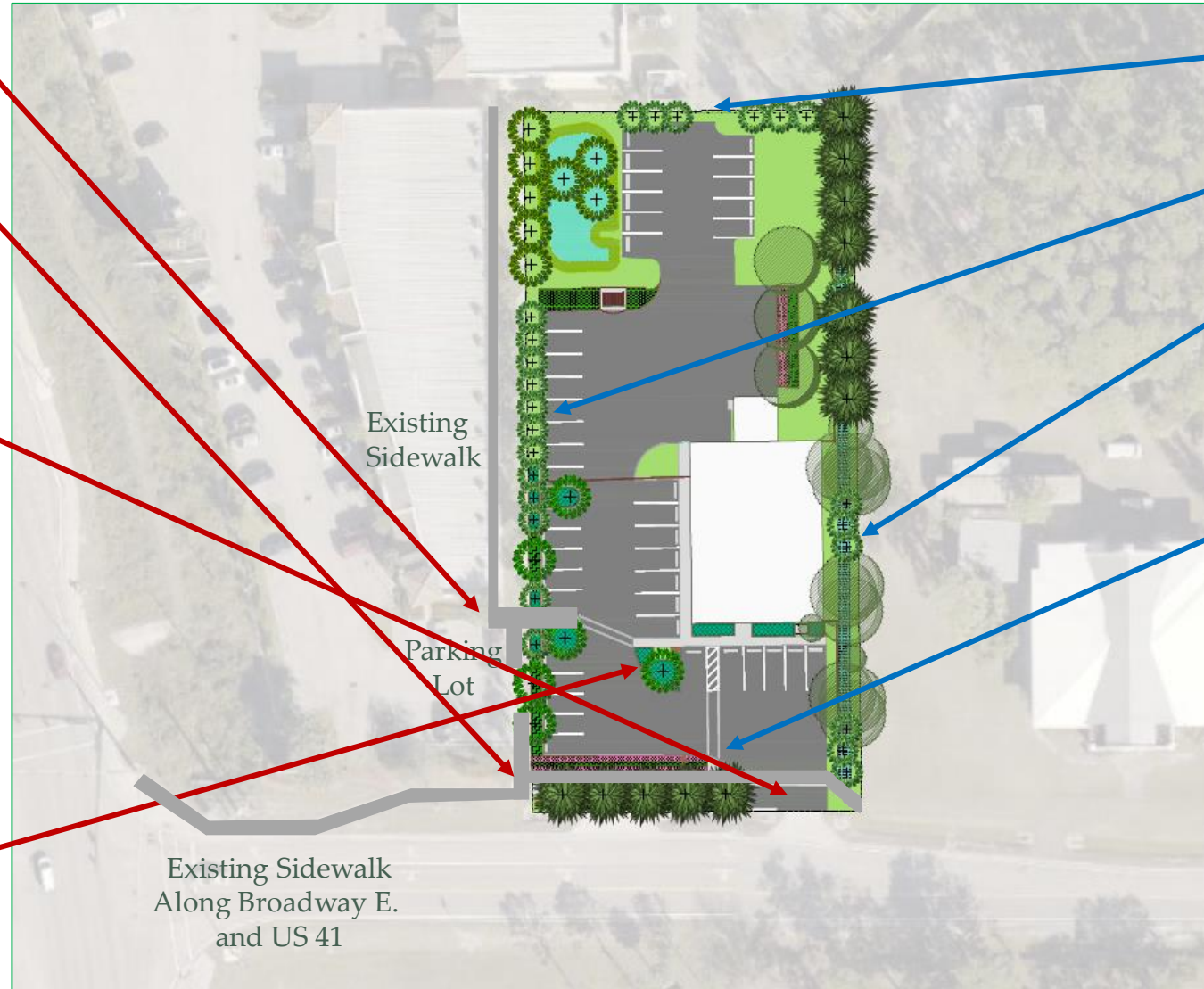
Stairs and Sidewalk to Adjacent Commercial Plaza to West

ADA Compliant Sidewalk and Ramp with Handrails Connecting to Existing Public Sidewalk to West

Full Access Driveway on Broadway E. (Eliminating Existing Driveway Closer to Intersection)



Public Seating in Landscaped Area near Flagpole



North Buffer:
5' wide with 4 trees per 100 lf

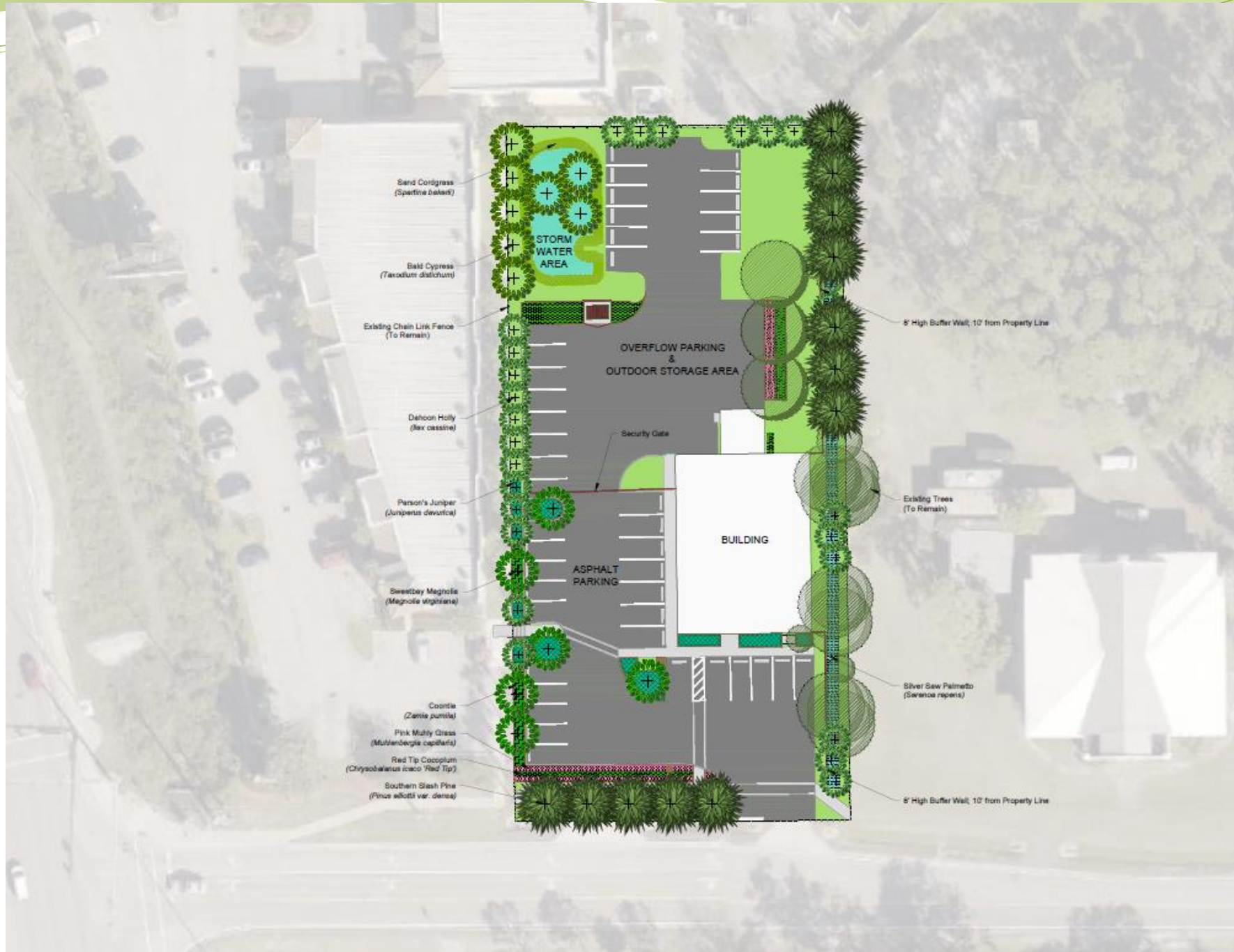
West Buffer:
5' wide with 4 trees per 100 lf

East Buffer:
15' wide with 10 trees and 30 shrubs per 100 lf plus 8' high solid opaque wall

South Buffer:
20' wide with 5 trees per 100 lf and double hedgerow

Color Rendered Master Concept Plan

Comp Plan Policies



Architectural Facades/Elevations

South Elevation



Existing

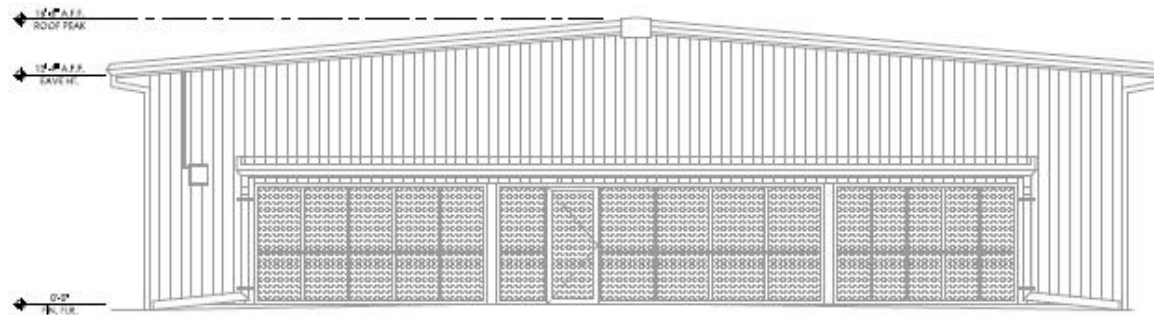


Proposed

SOUTH ELEVATION



PROPOSED SOUTH ELEVATION
SCALE 1/4" = 1'-0"

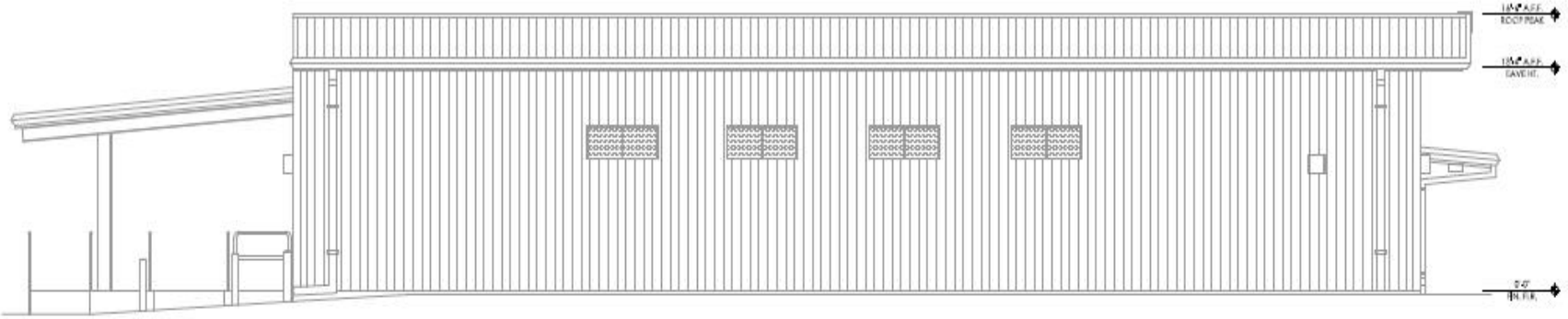


EXISTING SOUTH ELEVATION
SCALE 1/4" = 1'-0"

WEST ELEVATION



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

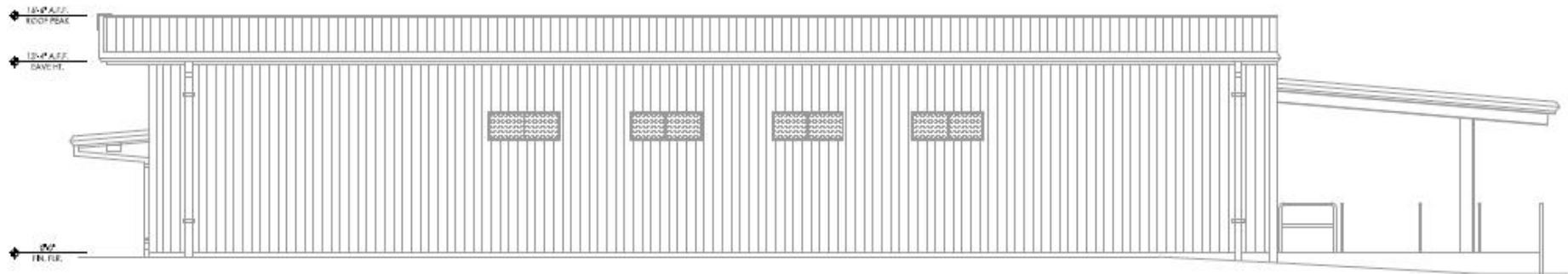


EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

EAST ELEVATION

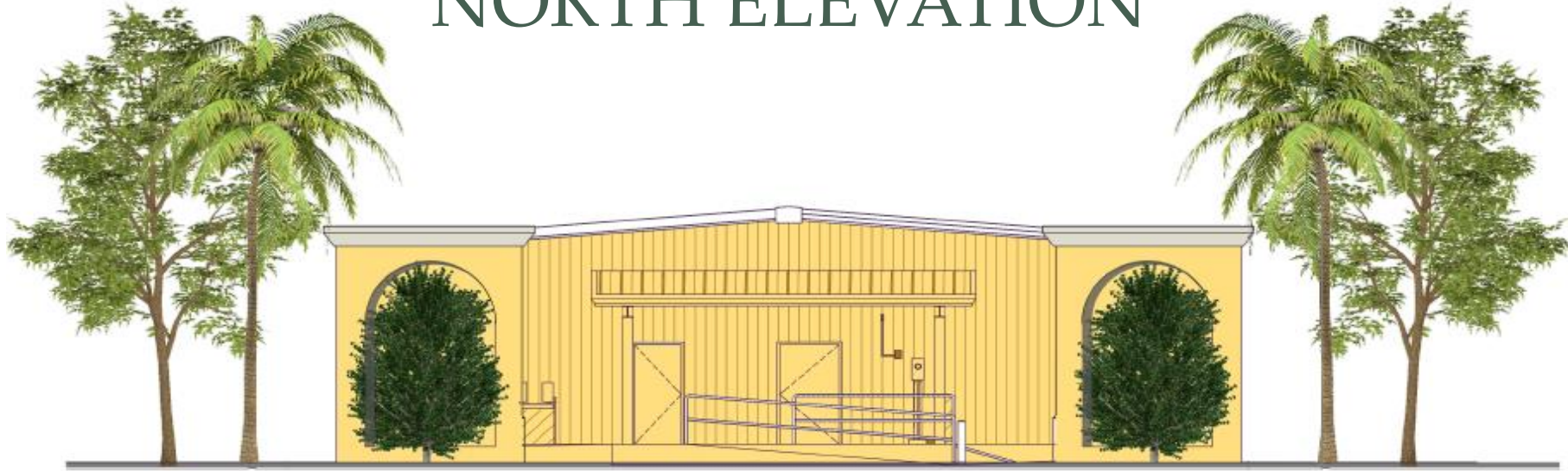


PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

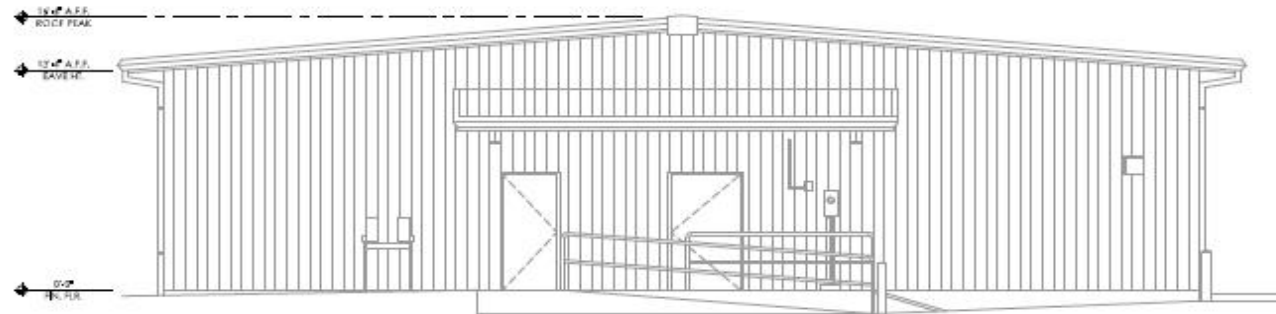


EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

NORTH ELEVATION



PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

Colors and Materials



CLAY
ROOF TILE
SUNBURST



CANVAS AWNING



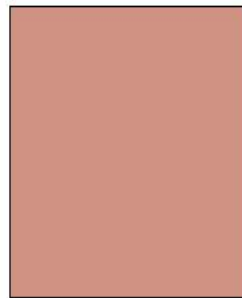
HIGH DENSITY URETHANE
BRACKET
WHITE



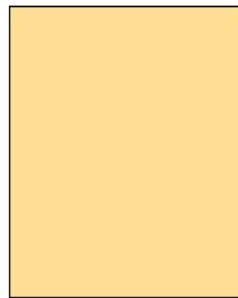
GATE, BUFFER WALL &
DUMPSTER ENCLOSURE
BLACK BEAN



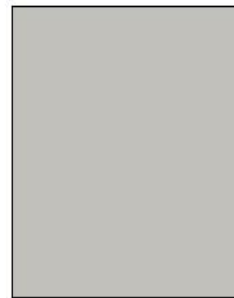
FIRED BRICK
SW-6335



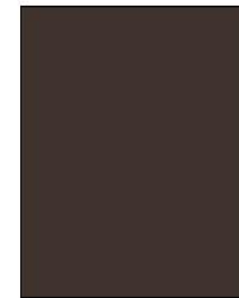
CORAL ISLAND
SW-6332



SUNNY
VERANDA
SW-9017

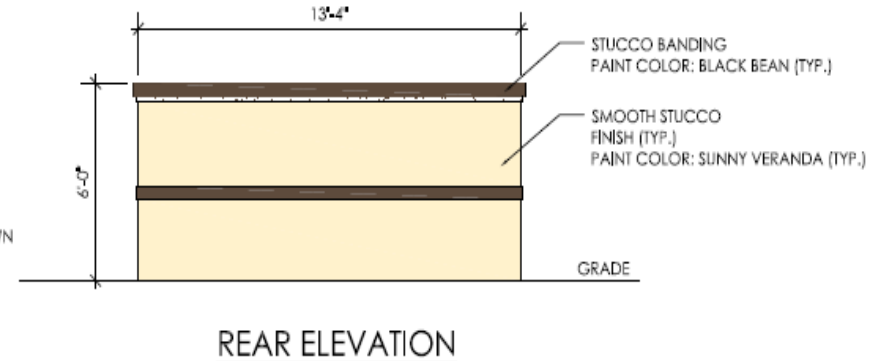
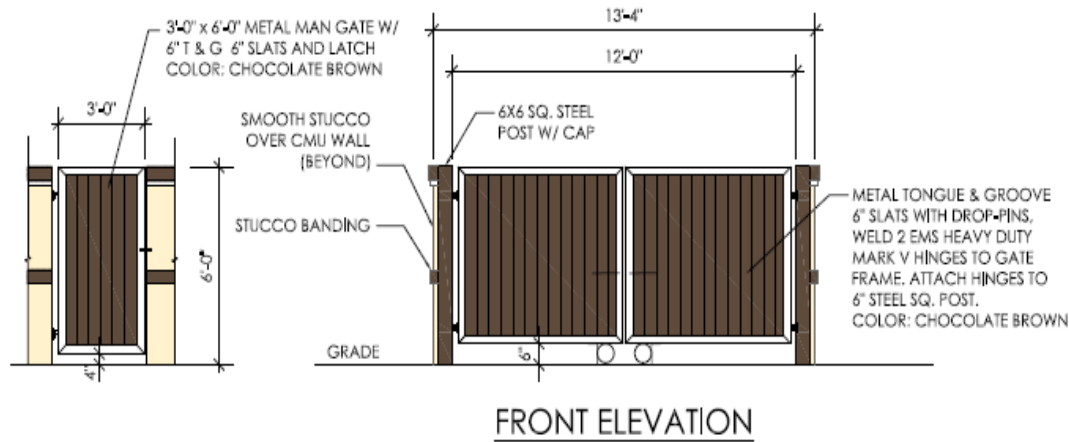
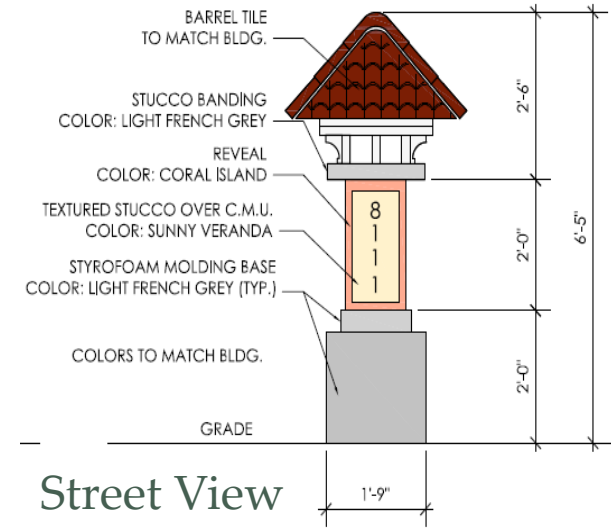
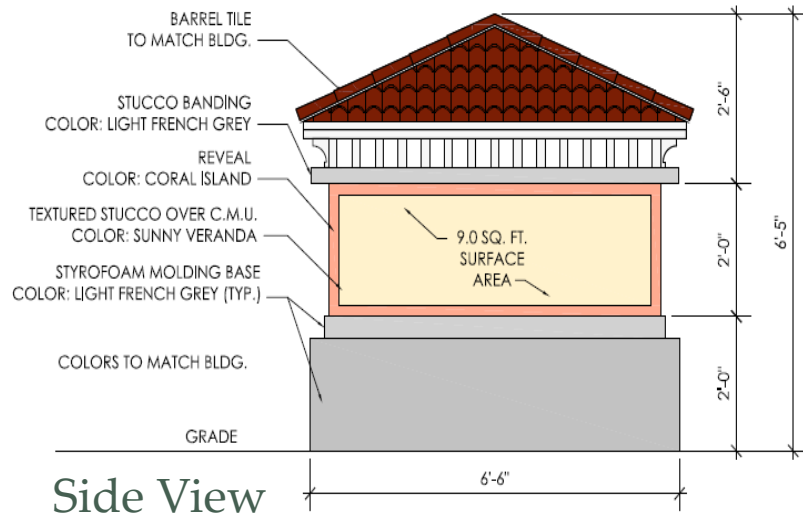


LIGHT FRENCH
GREY
SW-0055

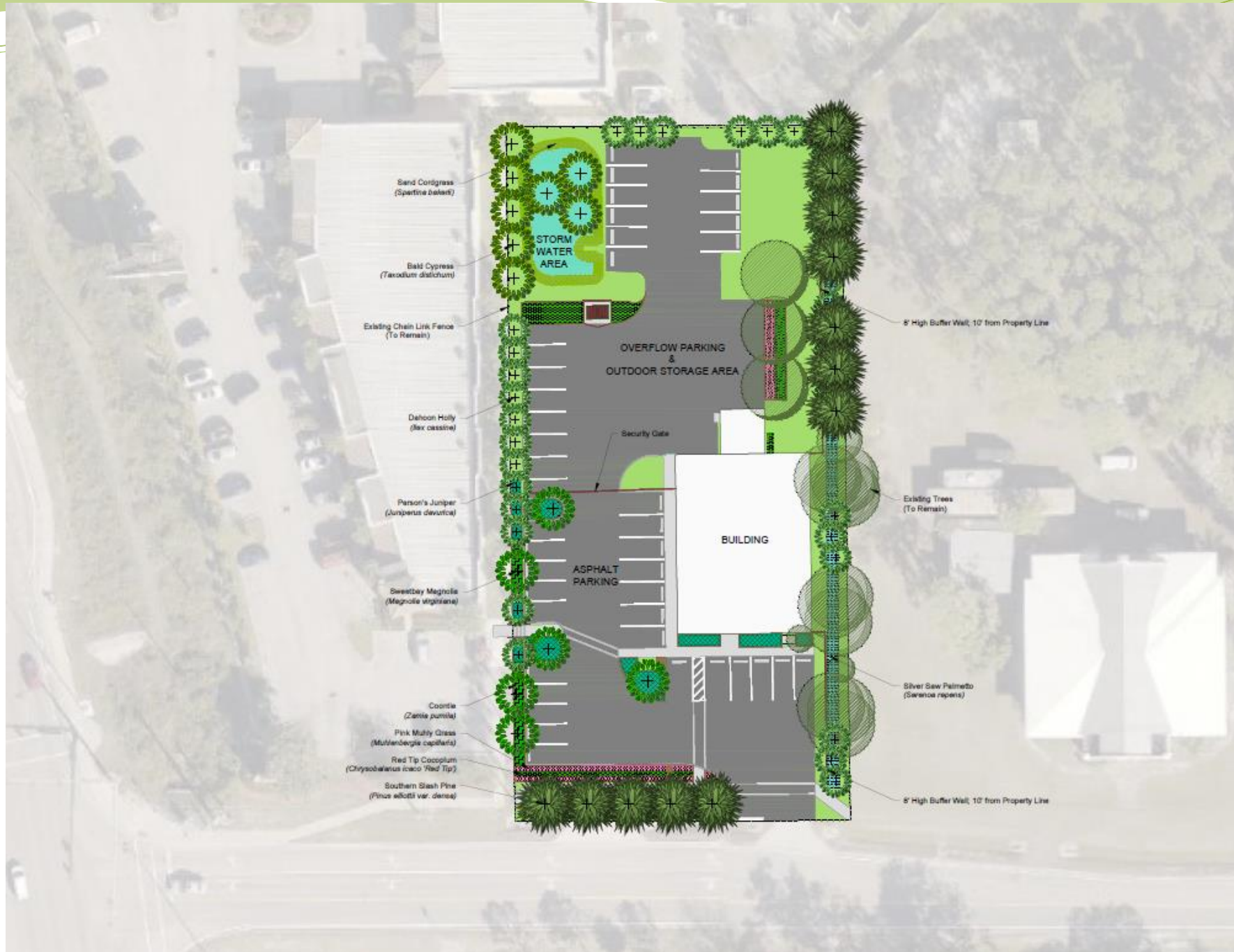


BLACK BEAN
SW-6006

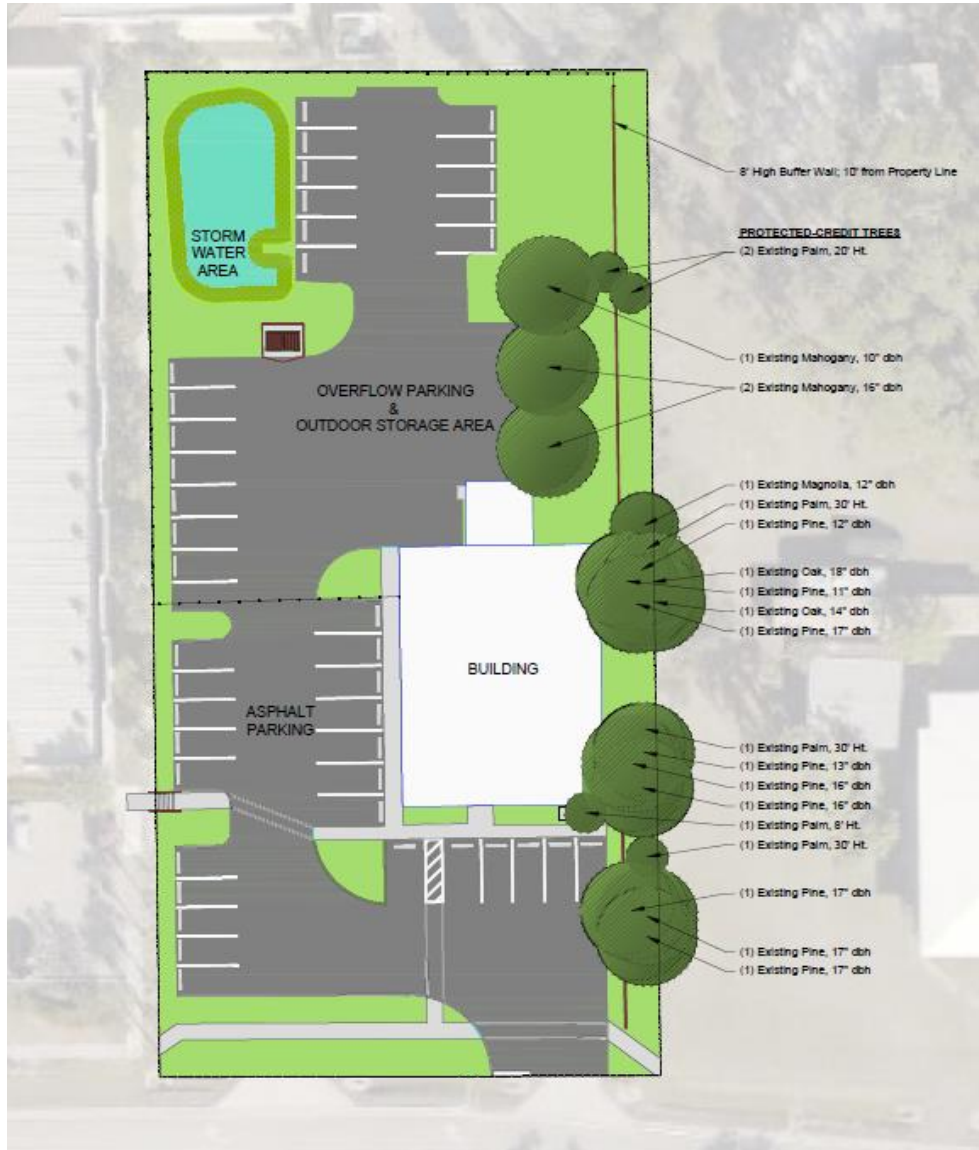
Monument Sign & Dumpster Enclosure



Color Rendered Landscape Plan



Tree Preservation & Open Space



Protected Trees:

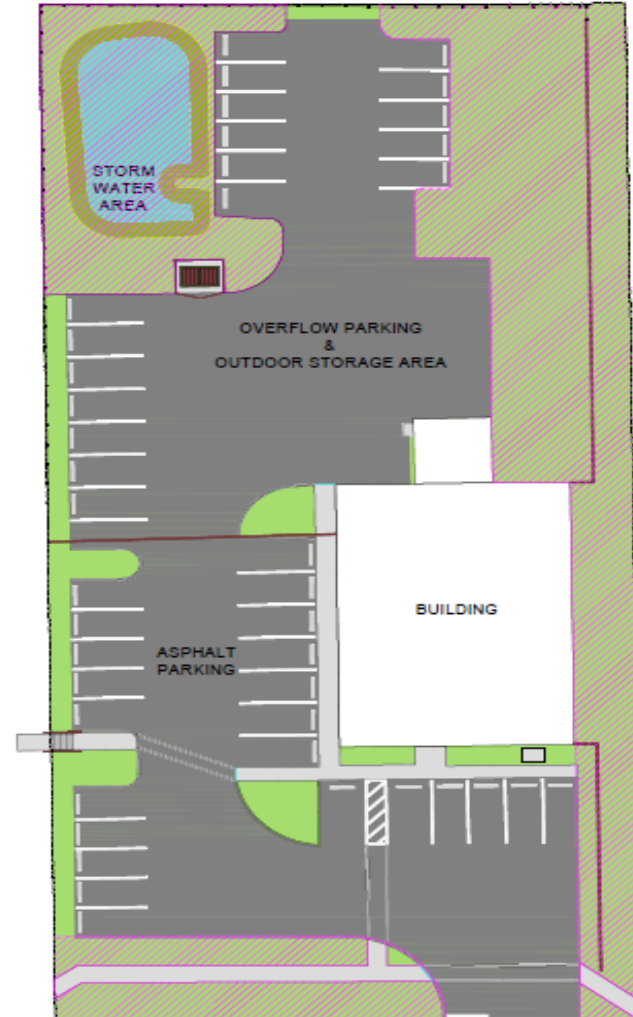
Mahogany Trees, 10" - 16" dbh (3)

Oak Trees, 14" - 18" dbh (2)

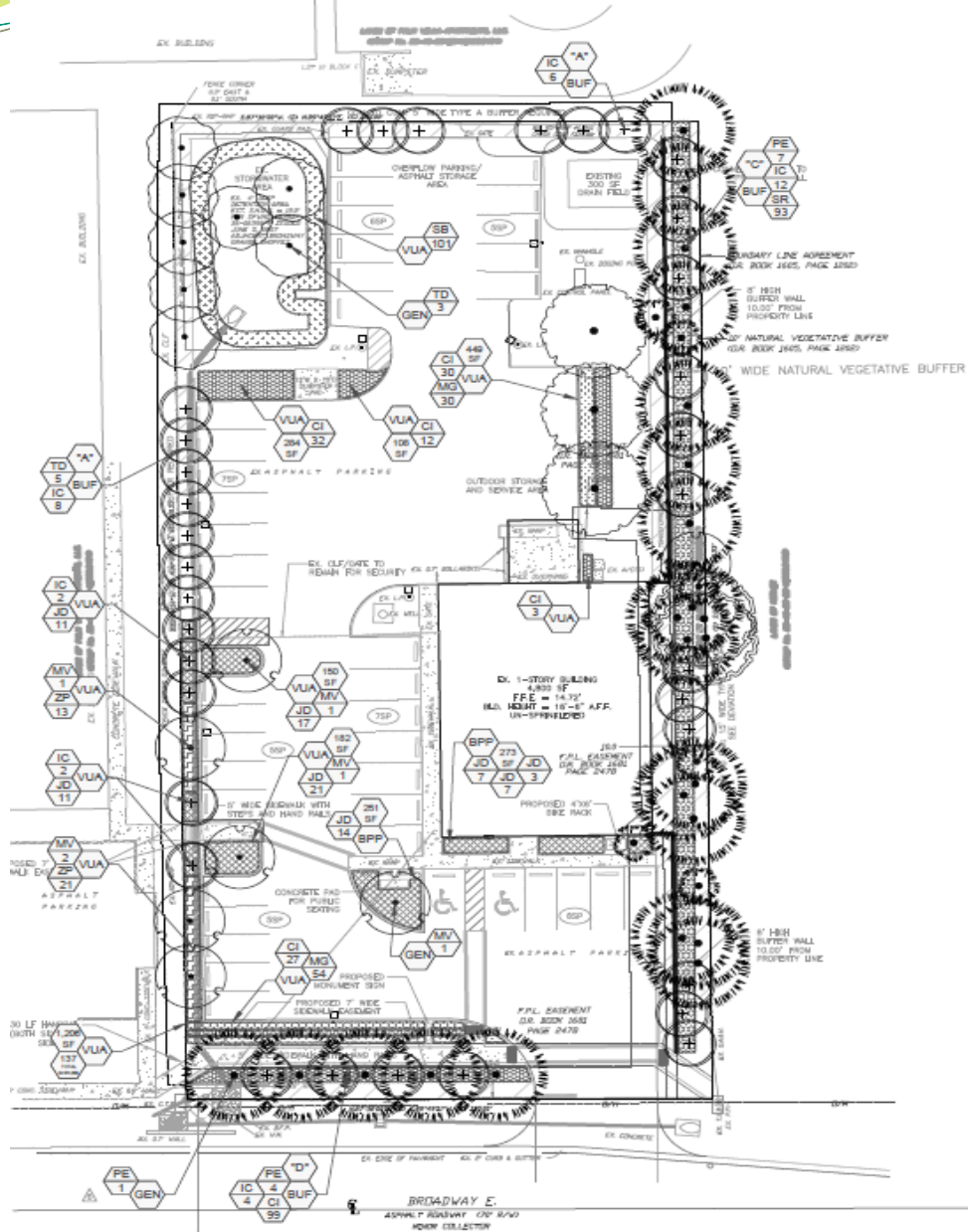
Magnolia Trees, 12" dbh (1)

Pine Trees, 11" - 17" dbh (9)

Palm Trees, 8' - 30' ht (6)



Landscape Plan

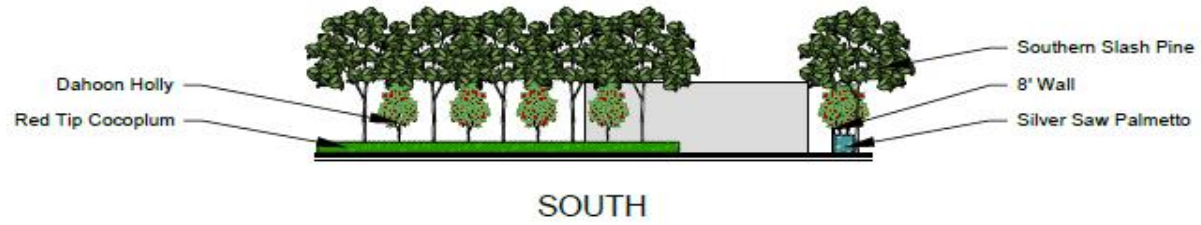


PLANT SCHEDULE						
KEY	SYMBOL	QTY	SPECIES	PLANT TYPE	CATEGORY	NATIVE STATUS
PROPOSED TREES						
IC	(+)	30	Dahoon Holly, <i>Ilex cassine</i>	CANOPY	BUF	YES
		4			VUA	
MV	(•)	1	Sweetbay Magnolia, <i>Magnolia virginiana</i>	CANOPY	GEN	YES
		5			VUA	
PE	(•)	11	Southern Slash Pine, <i>Pinus elliottii var. densa</i>	CANOPY	BUF	YES
		1			GEN	
TD	(•)	5	Bald Cypress, <i>Taxodium distichum</i>	CANOPY	BUF	YES
		3			GEN	
TOTAL TREES		60	***FOR REVIEWER ONLY*** (60 + 14 (GEN/PCT) + 12 (BUF/PCT) = 86			
PROPOSED SHRUBS						
CI	(•)	99	Red Tip Cocoplum, <i>Chrysobalanus icaco 'Red Tip'</i>	SHRUB	BUF	YES
		104			VUA	
JD	(•)	31	Parson's Juniper, <i>Juniperus davurica 'Parsonii'</i>	SHRUB	BPP	YES
		60			VUA	
MG	(•)	84	Muhly Grass, <i>Muhlenbergia capillaris</i>	GRASS	VUA	YES
SB	(•)	101	Sand Cordgrass, <i>Spartina bakerii</i>	GRASS	VUA	YES
SR	(•)	93	Silver Saw Palmetto, <i>Serenoa repens</i>	SHRUB	BUF	YES
ZP	(•)	34	Coontie, <i>Zamia pumila</i>	SHRUB	VUA	YES
TOTAL SHRUBS		606				
---	(•)	---	Floritam Grass, <i>Stenotaphrum secundatum 'Floritam'</i>	LAWN	THROUGHOUT	YES

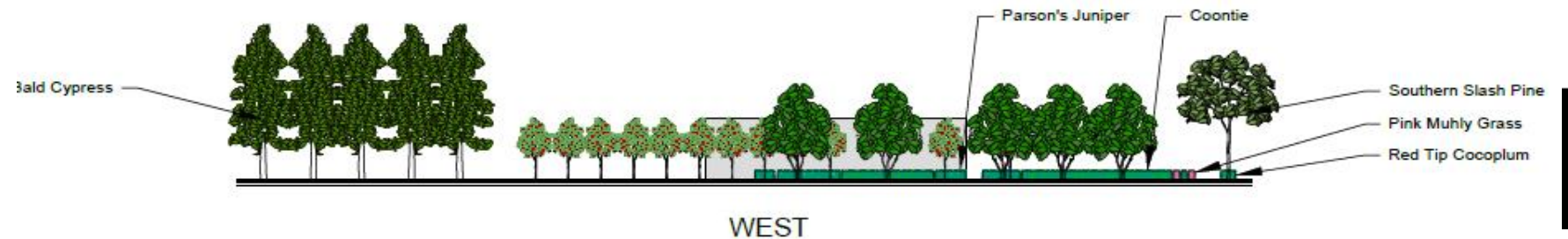
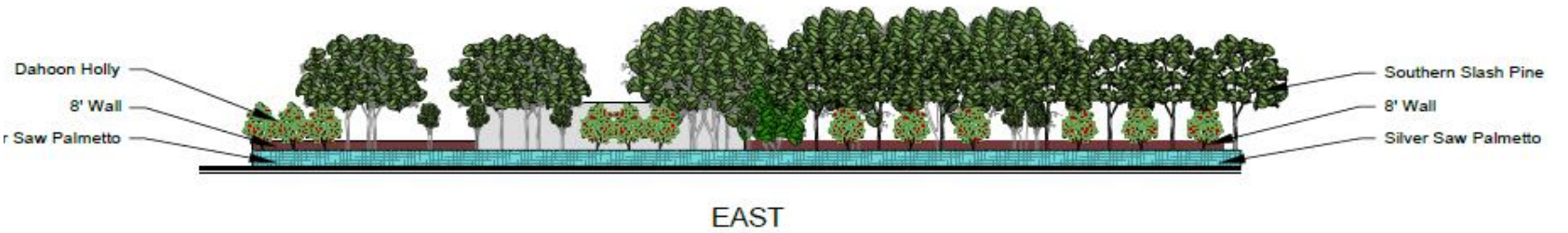
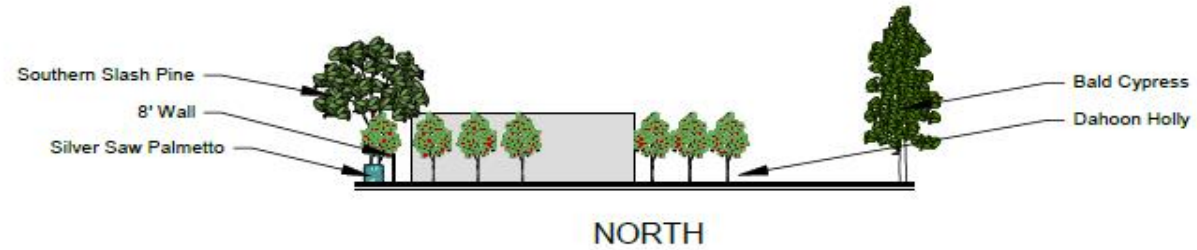
Size & Specification Notes
TREES: 12'-0" - 14'-0" HT. min., 3" Caliper @ 6" above grade min., 6'-0" Spread min.
PALMS: 10'-0" min. of clear trunk after planting, Staggered heights when grouped.
SHRUBS: 24" HT., 3-Gal. Cont., Spaced 18 - 36" O.C. * <i>Serenoa repens</i> and <i>Zamia floridana</i> (<i>Zamia pumila</i>) must be 12" min. @ time of planting.
SOD: All sod to be solid, free of weeds and pests, sand-grown, sand-leveled, and hand-laid.
MULCH: A minimum two-inch thick layer of mulch, measured after watering-in, shall be placed around all newly installed trees, shrubs, and groundcover plantings. All landscape areas not receiving a vegetative cover must be mulched. Each tree must have a ring of mulch no less than 24 inches beyond its trunk. The use of cypress mulch is discouraged.
QUALITY: Plant materials used to meet the requirements of this division must meet the standards for Florida No. 1 or better, as provided in Grades and Standards for Nursery Plants, Parts I and II, Department of Agriculture, State of Florida (as amended). Root ball sizes on all transplanted plant materials must also meet state standards.
NATIVE VARIETIES: At least 75 percent of the trees and 50 percent of the shrubs used to fulfill requirements of this chapter must be Florida native species. Required: 75% / 50% Provided: 100% / 100%
ROOT BARRIERS: A root barrier shall be required for all canopy trees planted within 7'-0" of any roadway, sidewalk, or easement.



Landscape Buffers

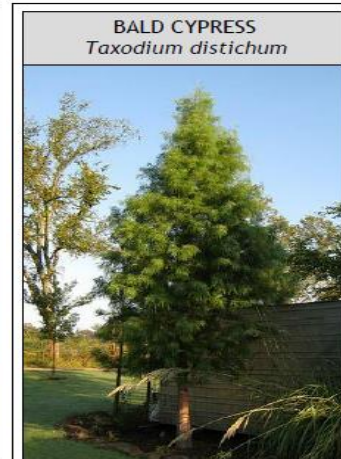


	Required:	Provided:
Sec. 33-351. - Landscape Buffers.		
Commercial Development abutting the following uses:		
North Property Boundary: COM <---> COM Type 'A' Buffer (5' min. width; 4 Trees / 100 LF) ▶ 150.00 LF = 6 Trees 150 / 100 = 1.50 x 4 = 6.00 Trees	6	6
East Property Boundary: COM <---> SFR Type 'C' Buffer (20' min. width; 10 Trees + 30 Shrubs / 100 LF) ▶ 310.33 LF = 31 Trees + 93 Shrubs 310 / 100 = 3.10 x 10 = 31.00 Trees 310 / 100 = 3.10 x 30 = 93.00 Shrubs	31 93	(PCT: 12) 19 93
South Property Boundary: COM <---> ROW (Broadway E) Type 'D' Buffer (20' min. width; 5 Trees + 66 Shrubs / 100 LF)* ▶ 150.00 LF = 8 Trees + 99 Shrubs 150 / 100 = 1.50 x 5 = 7.50 Trees 150 / 100 = 1.50 x 66 = 99.00 Shrubs	8 99	8 99
West Property Boundary: COM <---> COM Type 'A' Buffer (5' min. width; 4 Trees / 100 LF) ▶ 310.33 LF = 13 Trees 310 / 100 = 3.10 x 4 = 12.40 Trees	13	13

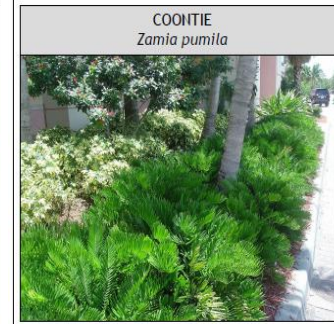
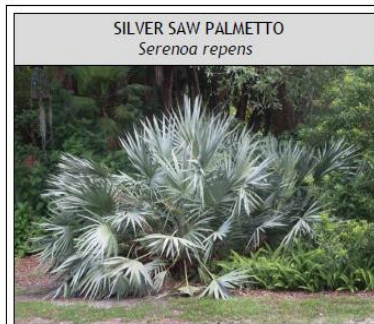
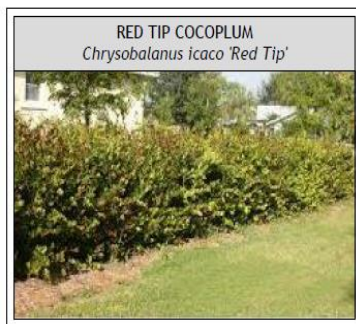


Landscaping Images

Trees



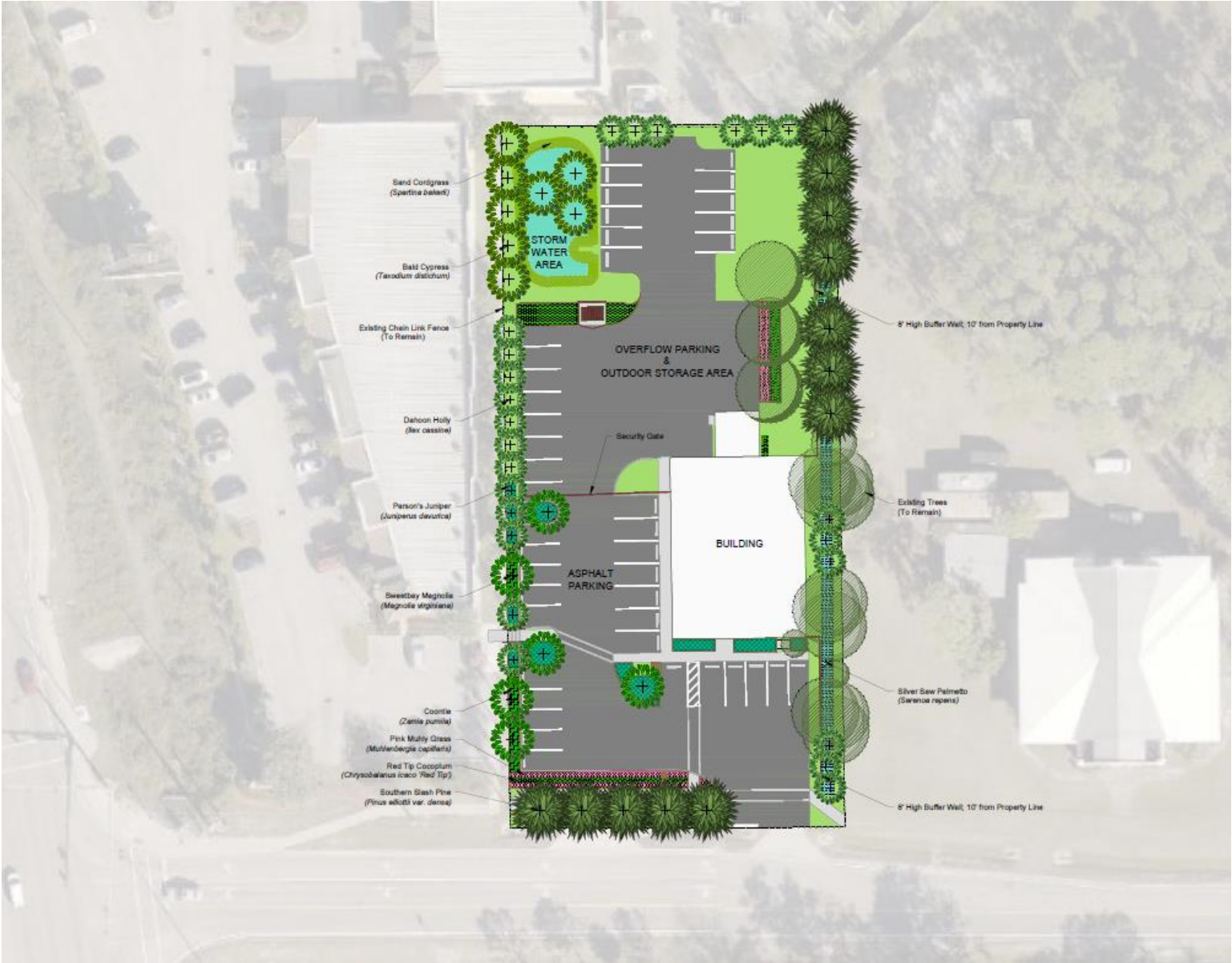
Shrubs and Ground Cover



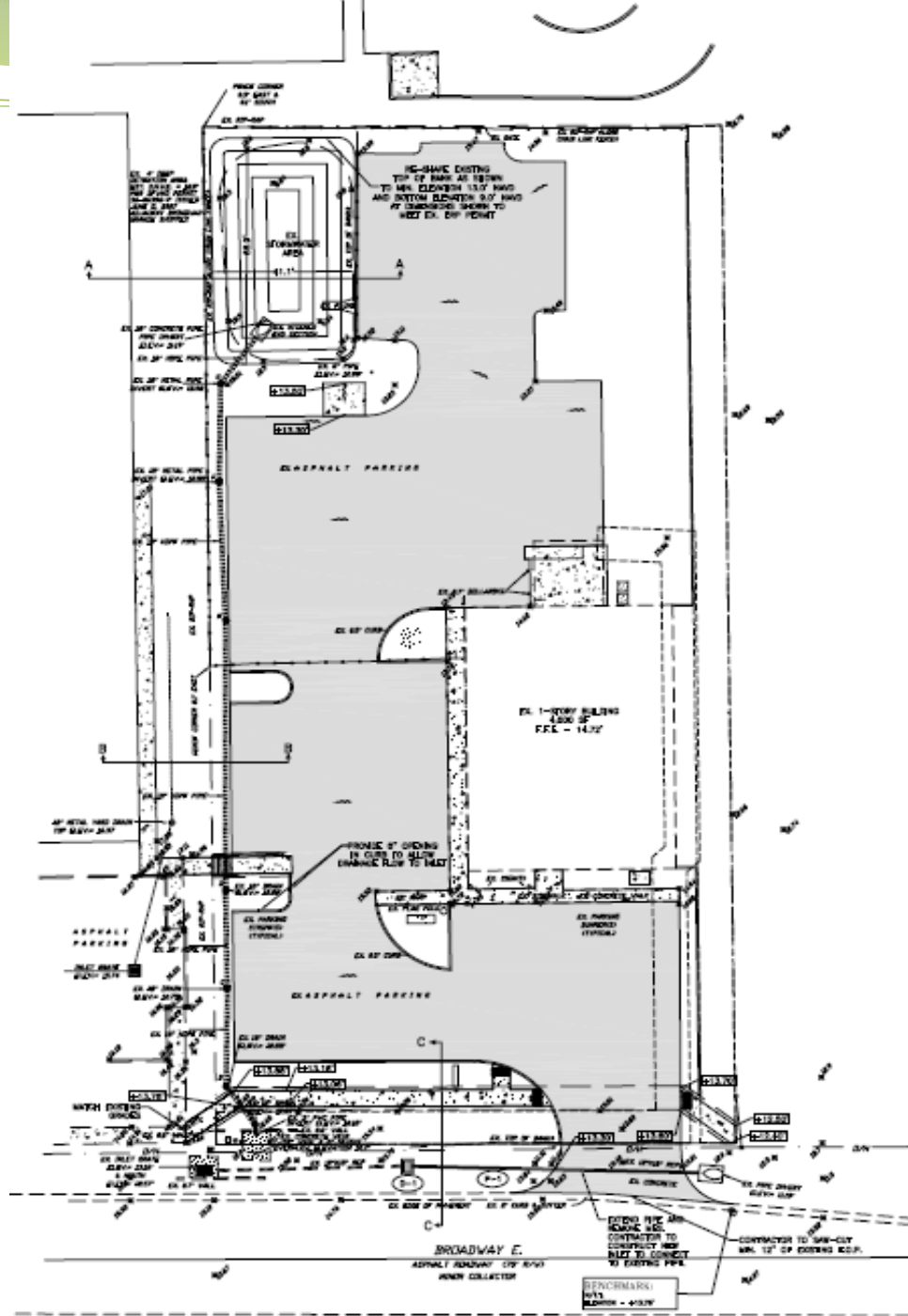
PLANT SCHEDULE

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		101			VUA	
JD	■	31	Parson's Juniper, <i>Juniperus davurica 'Parsonii'</i>	SHRUB	BPP	YES
		60			VUA	
MG	■	84	Muhly Grass, <i>Muhlenbergia capillaris</i>	GRASS	VUA	YES
SB	■	101	Sand Cordgrass, <i>Spartina bakerii</i>	GRASS	VUA	YES
SR	■	93	Silver Saw Palmetto, <i>Serenoa repens</i>	SHRUB	BUF	YES
ZP	■	34	Coontie, <i>Zamia pumila</i>	SHRUB	VUA	YES
TOTAL SHRUBS		603				
---	■	---	Floritam Grass, <i>Stenotaphrum secundatum 'Floritam'</i>	LAWN	THROUGHOUT	YES

Color Rendered Master Concept Plan



Paving, Grading & Drainage Plan



Stormwater Drainage

Stormwater flows from site to ex. drainage swale along Broadway, travels east to culvert under Broadway at railroad tracks, flowing south to Estero River and on to Estero Bay



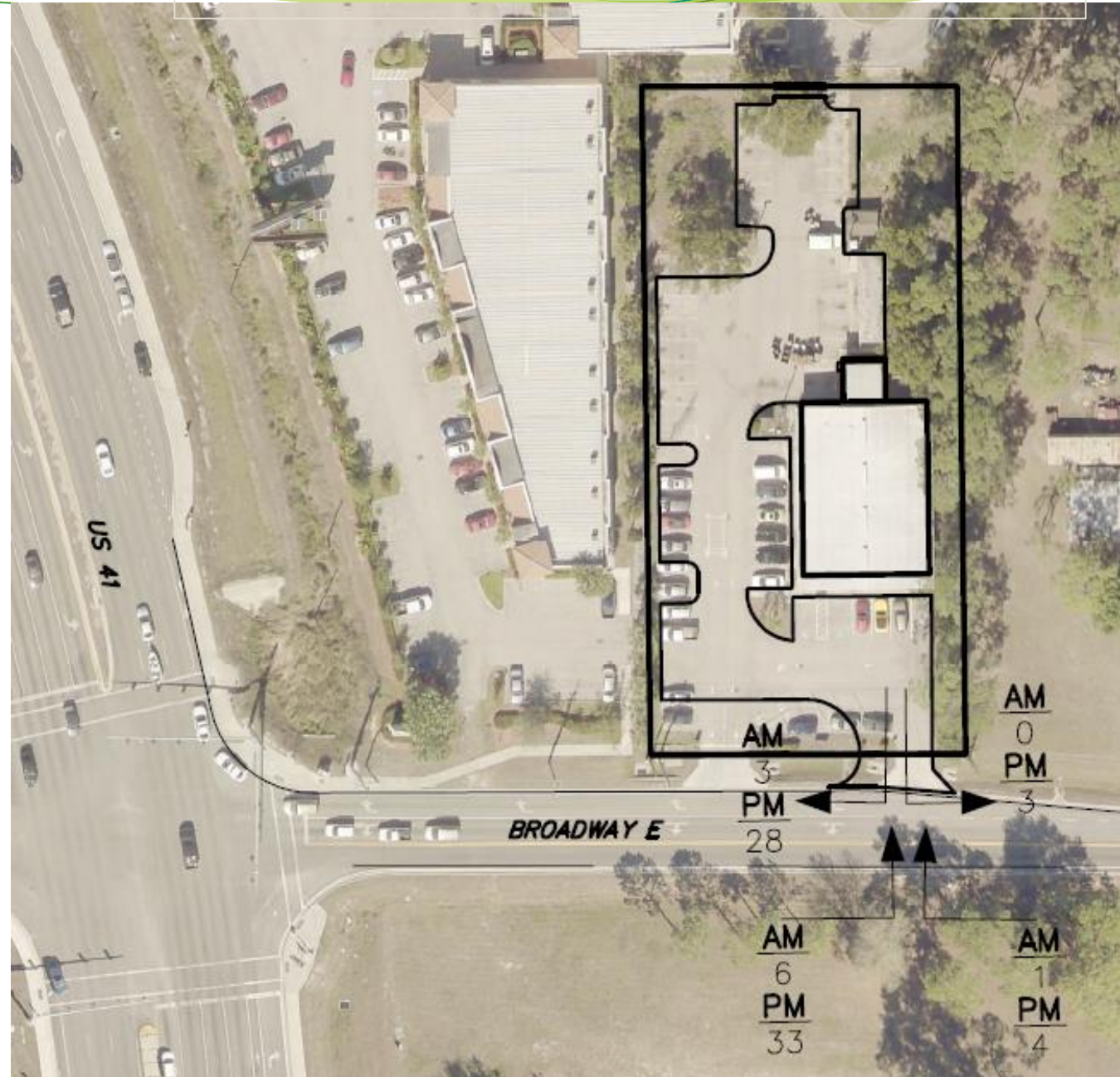
Traffic Impact Statement

Table 1. Raw Trip Generation – Proposed Fast Casual Restaurant (LUC 930)

4,800 Square Feet of Gross Floor Area:

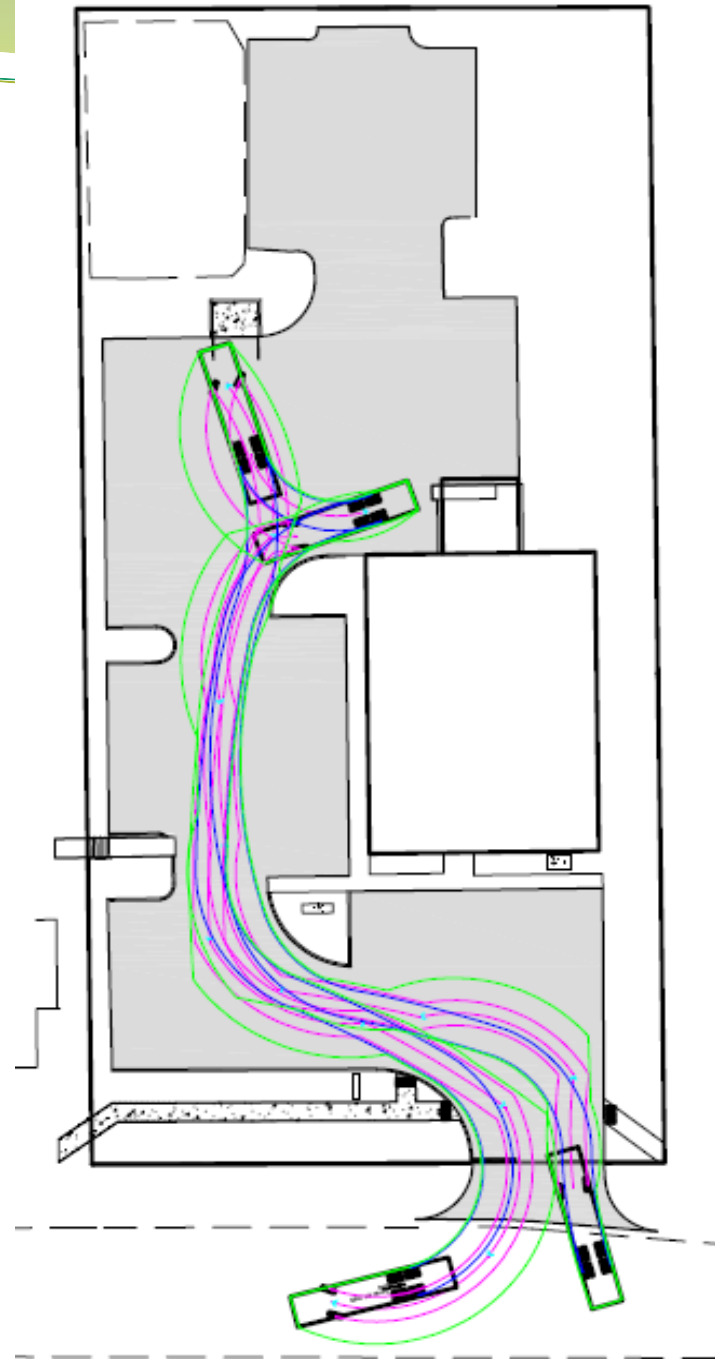
- A. Daily Average Vehicle Trip Ends, Weekday
 $T = 315.17 (4.800) = 1,512$ (756 entering, 756 exiting)
- B. A.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street)
 $T = 2.07 (4.800) = 10$ (7 entering, 3 exiting)
- C. P.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street)
 $T = 14.13 (4.800) = 68$ (37 entering, 31 exiting)

Source: TDM, 2019



Fire Truck Access Autoturn Exhibit

Lt. Scott Danielson with Estero Fire gave TDM specs on a 42' ladder truck to access the site. The truck is able to make a 3-point turn within the site. Lt. Danielson also said they wouldn't be able to get a 42' ladder truck up a 6% incline to the adjacent property.



Existing Utilities

Potable water along Broadway E.
Ex. Septic & Drainfield in NE corner of property.

Development does not meet threshold for mandatory connection to sanitary sewer.

1. max of 4,800 sf gross floor area;
2. generates less than 5,000 gpd;
3. is not located adjacent to or within 50' of a connection point from property line;
4. does not consist of more than 5 lots located less than 1/4 mile from a point of connection;
5. central sewer lines will not be available within 90 days of issuance of a DO.

