# The Old Estero Post Office

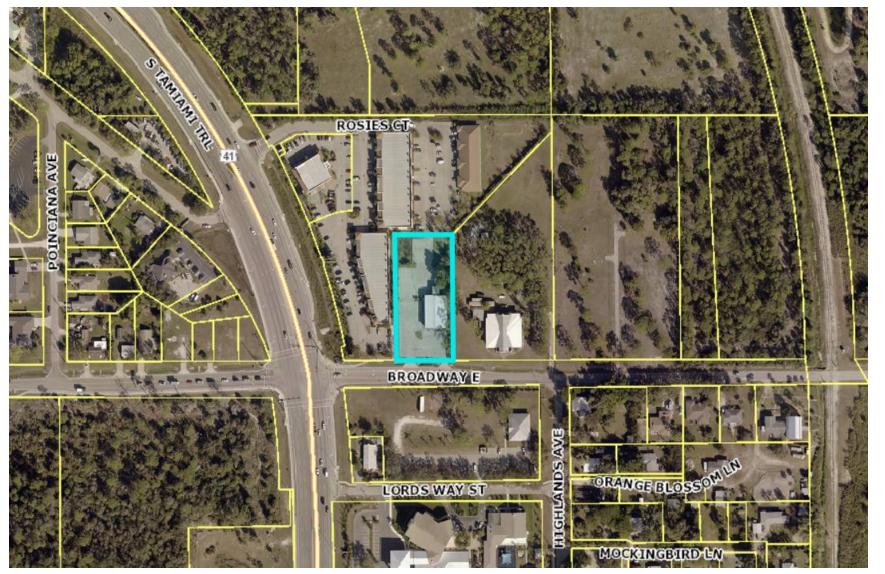
# Planning & Zoning Board

November 19, 2019

8111 Broadway East Village of Estero



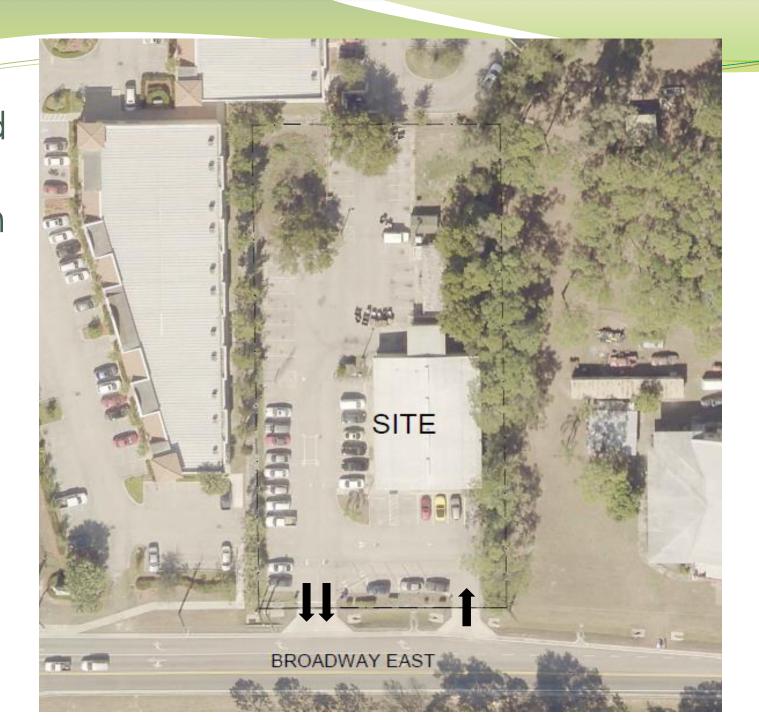
# Area Location Map







Enlarged Area Location Map







# EXISTING CONDITIONS





# Surrounding Zoning & Existing Uses Map





# Master Concept Plan

### STREET ADDRESS

8111 BROADWAY E ESTERO FL, 33928

### STRAP NUMBERS

28-46-25-E2-U1923.2494

### PROJECT INFORMATION

FUTURE LAND USE = URBAN COMMERCIAL

CURRENT ZONING = AG-2

PROPOSED ZONING = COMMERCIAL PLANNED DEVELOPMENT (CPD)

= COMMERCIAL/OFFICE/RETAIL PROPOSED USE MIN. LOT SIZE = 46,547 SF/1.07 AC

= 4,800 SF MAXIMUM INTENSITY

MIXED USE OVERLAY

= #28 - IMMOKALEE SAND EXIST. SOIL TYPES

IRRIGATION SERVICE = IRRIGATION WELL

ARCHAEOLOGICAL

SENSITIVITY LEVEL

### BUILDING SETBACK REQUIREMENTS /

SOUTH (FRONT/STREET) = 25 FT NORTH (REAR) EAST (SIDE) = 16 FT\* WEST (SIDE) = 20 FT

\* SEE DEVIATION

### ZONING/ACTUAL USE

PROJECT SITE: CPD/COMMERCIAL NORTH: CC/COMMERCIAL SOUTH: BROADWAY E. ROW EAST: AG-2/SFR WEST: CC/COMMERCIAL

### LANDSCAPE BUFFER REQUIREMENTS 3

COM TO COM: 5' WIDE TYPE A BUFFER REQUIRED

4 TREES/100 LF

COM TO ROW: 20' WIDE TYPE D BUFFER REQUIRED 5 TREES/100 LF AND DOUBLE-STAGGERED HEDGE ROW COM TO SFR: 20' WIDE TYPE C BUFFER \*SEE DEVIATION #3

10 TREES AND 30 SHRUBS/100 LF WITH 8' HIGH WALL

COM TO COM: 5' WIDE TYPE A BUFFER

4 TREES/100 LF

### OPEN SPACE REQUIREMENTS

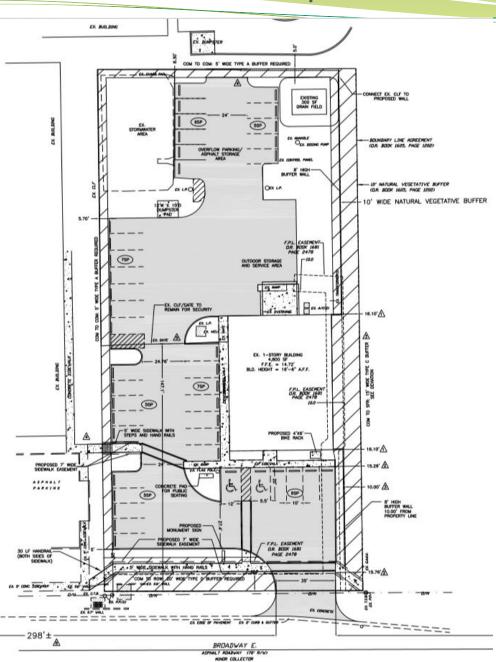
SMALL COMMERCIAL DEVELOPMENTS = 20% REQUIRED: 20% X 46,547 SF = 9,309 SF PROVIDED: 15,704 SF / 33.7%

### PARKING REQUIREMENTS

REQUIRED: AS REQUIRED BY THE LDC - TO BE DETERMINED AT TIME OF D.O.

PROVIDED: 30 SPACES INCLUDING 2 HANDICAP SPACES

PLUS 11 OVERFLOW SPACES OR OUTDOOR STORAGE AREA



### LEGEND

EXISTING RIGHT-OF-WAY EDGE OF PAVEMENT E.O.P. CONC. CONCRETE TYPICAL TYP. CHAIN LINK FENCE CLF SQUARE FEET LINEAR FEET CY CUBIC YARDS RADIUS, 5' UNLESS OTHERWISE NOTED

(10SP NUMBER OF PARKING SPACES IN LOT

PROPOSED PAVEMENT PROPOSED CONCRETE LANDSCAPE BUFFER

DEVIATION





# Proposed Master Concept Plan & South Elevation

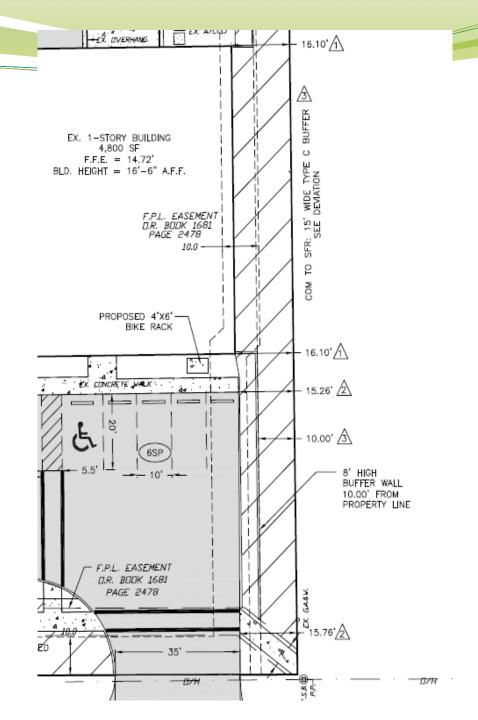


PROPOSED SOUTH ELEVATION

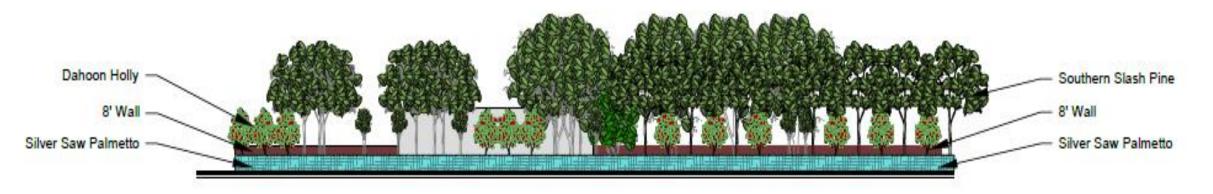


## Deviations

- Deviation 1: Relief from LDC Sec. 34-935(b)(1), which requires a 20-foot building setback, to permit a 16-foot building setback to the east property line.
- Deviation 2: Relief from LDC Sec. 34-935(b)(2), which requires parking lots and internal drives to be 20 feet from the east property line, to permit the existing parking lot and driveway to be located 15 feet from the east property line.



• Deviation 3: Relief from LDC Sec. 33-351, which requires a Type C Buffer to be a minimum of 20 feet wide with 10 trees and 30 shrubs per 100 lf plus an 8-foot high wall along the east property line. Request to permit the buffer to be 15 feet wide, to allow the existing building to act as the buffer wall for 80 lf, and to permit the wall to be located 10 feet from the property line.



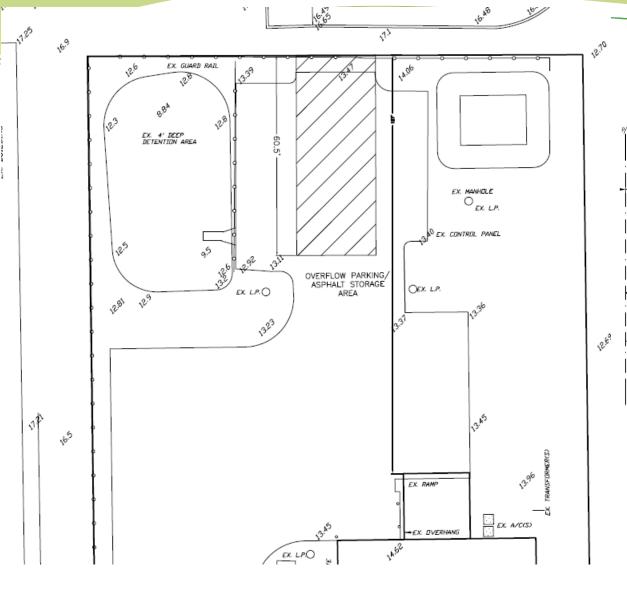
• Deviation 4: Relief from LDC Sec. 33-118, which requires adjacent commercial uses to provide interconnections for automobiles, bicycles, and pedestrians. Request to permit pedestrian-only interconnects to the adjacent commercial property.



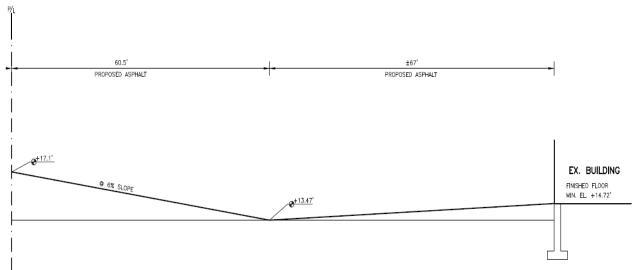
West property line



North property line



## Deviation 4 Exhibit



Cross-Section from North side of existing building to north property line.

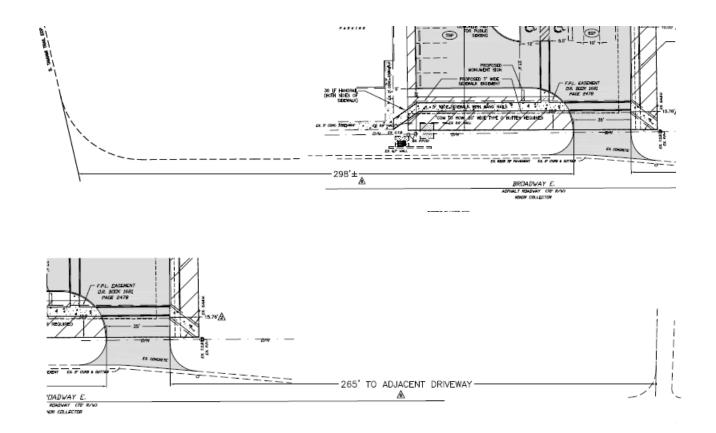
• Deviation 5: Relief from LDC Sec. 34-1742(b), which requires all fences and walls to be uniform in material, design and color. Request to permit the buffer wall to be different than the ex. CLF.







• Deviation 6: Relief from LDC Sec. 10-285, which requires a connection separation distance of 330 feet on Collector roads. Request the driveway to be located 298 ft from US 41 and 265 ft from the ex. residential driveway to the east.



• Deviation 6: Relief from LDC Sec. 10-285, which requires a connection separation distance of 330 feet on Collector roads. Request the driveway to be located 298 ft from US 41 and 265 ft from the ex. residential driveway to the east.



# Connectivity/Public Seating/Buffers

Vehicular and Pedestrian Connectivity:

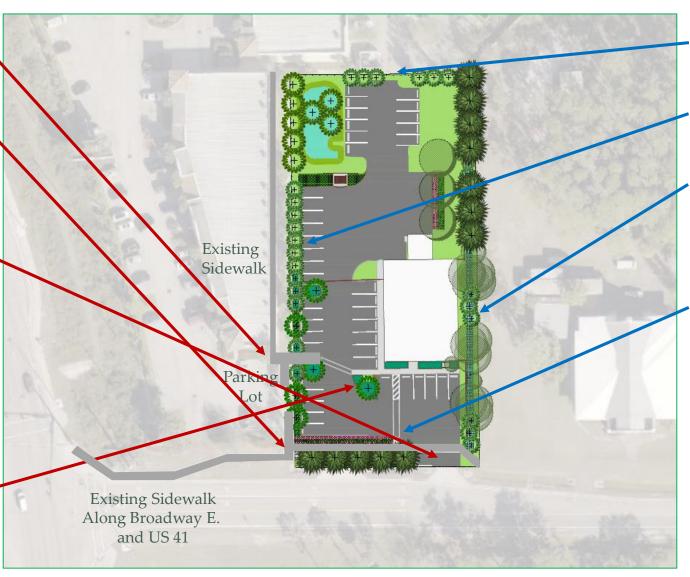
Stairs and Sidewalk to Adjacent Commercial Plaza to West

ADA Compliant Sidewalk and Ramp with Handrails Connecting to Existing Public Sidewalk to West

Full Access Driveway on Broadway E. (Eliminating Existing Driveway Closer to Intersection)



Public Seating in Landscaped Area near Flagpole



North Buffer:

5' wide with 4 trees per 100 lf

West Buffer:

5' wide with 4 trees per 100 lf

East Buffer:

15' wide with 10 trees and 30 shrubs per 100 lf plus 8' high solid opaque wall

South Buffer: 20' wide with 5 trees per 100 lf and double hedgerow



Color Rendered Master Concept Plan

Comp Plan Policies





# Architectural Facades/Elevations South Elevation







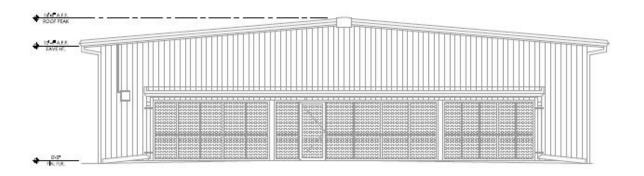
SIGN PANEL

SIGN PANEL

N PANEL



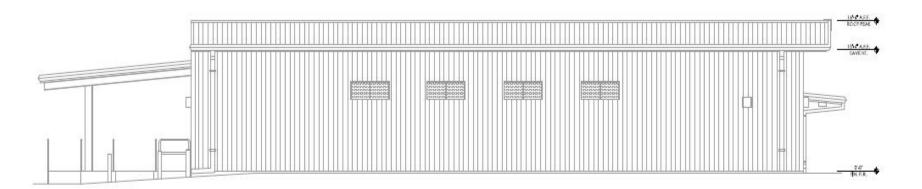
PROPOSED SOUTH ELEVATION





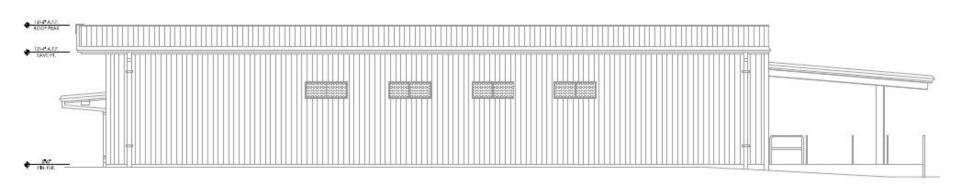




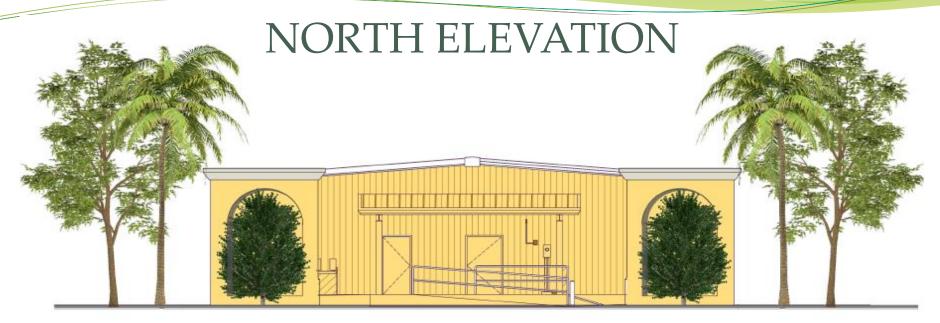




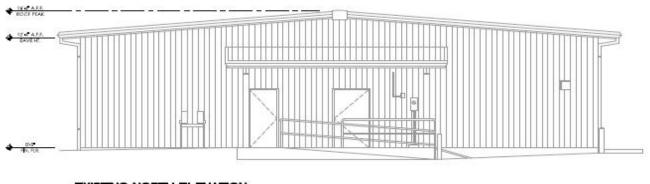








### PROPOSED NORTH ELEVATION





## Colors and Materials



CLAY ROOF TILE SUNBURST



CANVAS AWNING



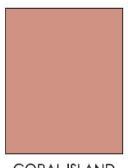
HIGH DENSITY URETHANE BRACKET WHITE



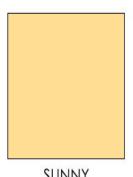
GATE, BUFFER WALL &
DUMPSTER ENCLOSURE
BLACK BEAN



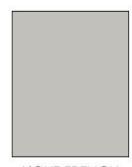
FIRED BRICK SW-6335



CORAL ISLAND SW-6332



SUNNY VERANDA SW-9017



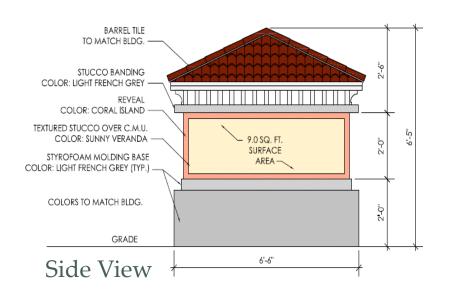
LIGHT FRENCH GREY SW-0055

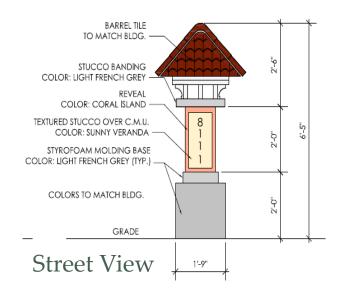


BLACK BEAN SW-6006



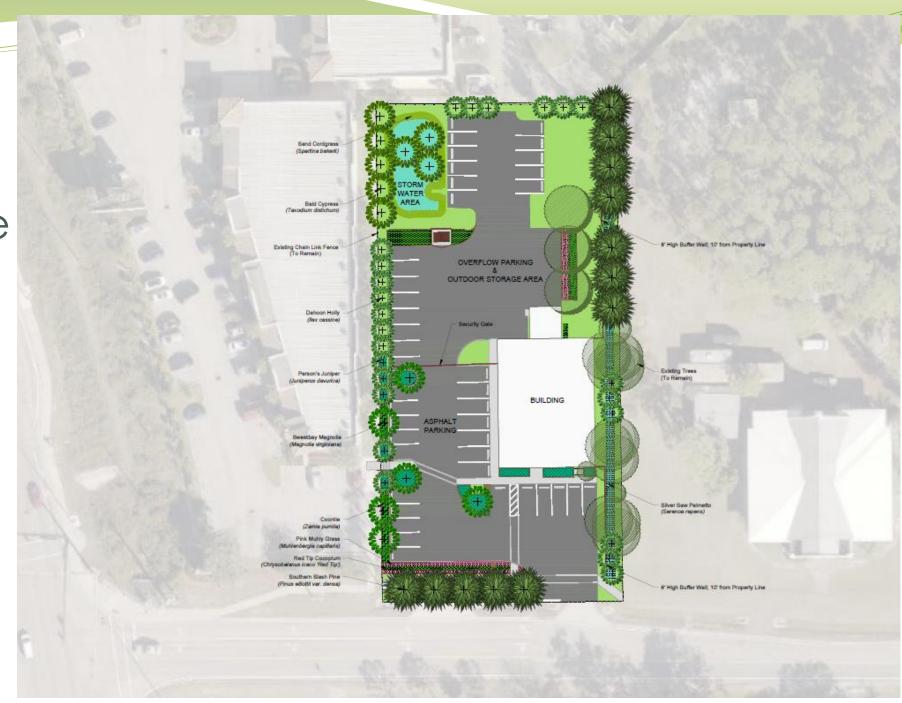
# Monument Sign & Dumpster Enclosure





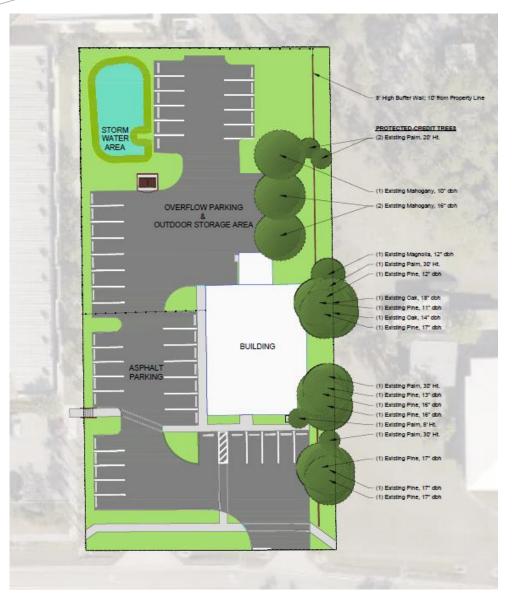


Color Rendered Landscape Plan





# Tree Preservation & Open Space



**Protected Trees:** 

Mahogany Trees, 10" - 16" dbh (3

Oak Trees, 14" – 18" dbh (2)

Magnolia Trees, 12" dbh (1)

Pine Trees, 11" – 17" dbh (9)

Palm Trees, 8′ – 30′ ht (6)



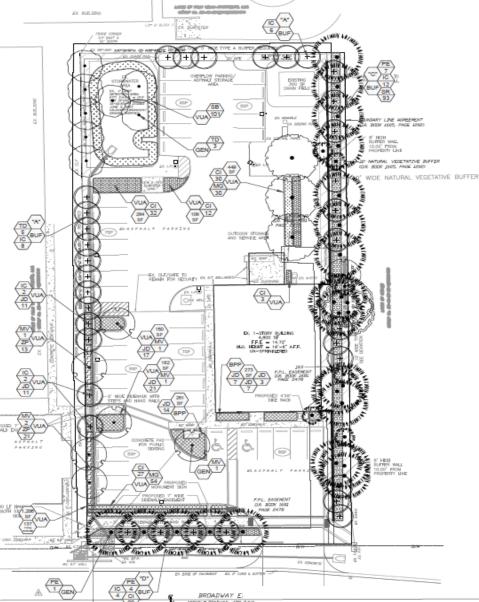
OVERFLOW PARKING

STORM

OPEN SPACE 15,704 SF



# Landscape Plan



	PLANT SCHEDULE								
KEY	SYMBOL	QTY	SPECIES	PLANT TYPE	CATEGORY	NATIVE STATUS			
PROP	PROPOSED TREES								
IC	$\odot$	30 4	Dahoon Holly, Ilex cassine	CANOPY	BUF VUA	YES			
MV	$\bigcirc$	1	Sweetbay Magnolia, Magnolia virginiana	CANOPY	GEN VUA	YES			
PE	0	11	Southern Slash Pine, Pinus elliottii var. densa	CANOPY	BUF GEN	YES			
TD	$\odot$	3	Bald Cypress, Taxodium distichum	CANOPY	BUF GEN	YES			
	TOTAL TREES 60 ***FOR REVIEWER ONLY*** (60 + 14 (GEN/PCT) + 12 (BUF/PCT) = 86								
CI	CI 99 104		Red Tip Cocoplum, Chrysobalanus icaco 'Red Tip'	SHRUB	BUF VUA	YES			
JD		31 60	Parson's Juniper, Juniperus davurica 'Parsonii'	SHRUB	BPP VUA	YES			
MG		84	Muhly Grass, Muhlenbergia capillaris	GRASS	VUA	YES			
SB		101	Sand Cordgrass, Spartina bakerii	GRASS	VUA	YES			
SR		93	Silver Saw Palmetto, Serenoa repens	SHRUB	BUF	YES			
ZP		34	Coontie, Zamia pumila	SHRUB	VUA	YES			
TOTA	L SHRUBS	606							
	- 4936 -		Floratam Grass, Stenotaphrum secundatum 'Floratam'	LAWN THROUGHOU		YES			

### Size & Specification Notes

12'-0" - 14'-0" HT. min., 3" Caliper @ 6" above grade min., 6'-0" Spread min.

10'-0" min. of clear trunk after planting, Staggered heights when grouped.

SHRUBS: 24" HT., 3-Gal. Cont., Spaced 18 - 36" O.C.

\*Serenoa repens and Zamia floridana (Zamila pumila) must be 12" min. @ time of planting.

 $\begin{tabular}{ll} \underline{SOD:} \\ All sod to be solid, free of weeds and pests, sand-grown, sand-leveled, and hand-laid. \\ \end{tabular}$ 

A minimum two-inch thick layer of mulch, measured after watering-in, shall be placed around all newly installed trees, shrubs, and groundcover plantings. All landscape areas not receiving a vegetative cover must be mulched. Each tree must have a ring of mulch no less than 24 inches beyond its trunk. The use of cypress mulch is discouraged.

<u>OUALITY:</u> Plant materials used to meet the requirements of this division must meet the standards for Florida No. 1 or better, as provided in Grades and Standards for Nursery Plants, Parts I and II, Department of Agriculture, State of Florida (as amended), Root ball sizes on all transplanted plant materials must also meet state standards.

### NATIVE VARIETIES:

At least 75 percent of the trees and 50 percent of the shrubs used to fulfill requirements of this chapter must be Florida native species.

Required: 75% / 50% Provided: 100% / 100%

A root barrier shall be required for all canopy trees planted within 7'-0" of any roadway, sidewalk, or easement.



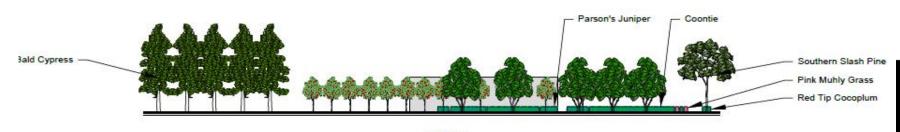
# Landscape Buffers



### SOUTH

	Required	: Provided:	
Sec. 33-351 Landscape Buffers.			
<u>Commercial</u> Development abutting the following uses:			
North Property Boundary: COM <> COM Type 'A' Buffer (5' min. width; 4 Trees / 100 LF)  ▶ 150.00 LF = 6 Trees 150 / 100 = 1.50 x 4 = 6.00 Trees	6	6	Southern Slash Pine  8' Wall  Dahoon Holly  Silver Saw Palmetto
East Property Boundary: COM <> SFR Type 'C' Buffer (20' min. width; 10 Trees + 30 Shrubs / 100 LF)  ■ 310.33 LF = 31 Trees + 93 Shrubs 310 / 100 = 3.10 x 10 = 31.00 Trees 310 / 100 = 3.10 x 30 = 93.00 Shrubs	31 93	(PCT: 12) 19 93	NORTH
South Property Boundary: COM <> ROW (Broadway E) Type 'D' Buffer *(20' min. width; 5 Trees + 66 Shrubs / 100 LF)*  ▶ 150.00 LF = 8 Trees + 99 Shrubs 150 / 100 = 1.50 x 5 = 7.50 Trees 150 / 100 = 1.50 x 66 = 99.00 Shrubs	8 99	8 99	Dahoon Holly — Southern Slash Pin
West Property Boundary: COM <> COM Type 'A' Buffer (5' min. width; 4 Trees / 100 LF)  ▶ 310.33 LF = 13 Trees 310 / 100 = 3.10 x 4 = 12.40 Trees	13	13	Dahoon Holly  8' Wall  r Saw Palmetto  Silver Saw Palmetto
		'	FACT

### **EAST**





# Landscaping Images

### Trees









## Shrubs and Ground Cover











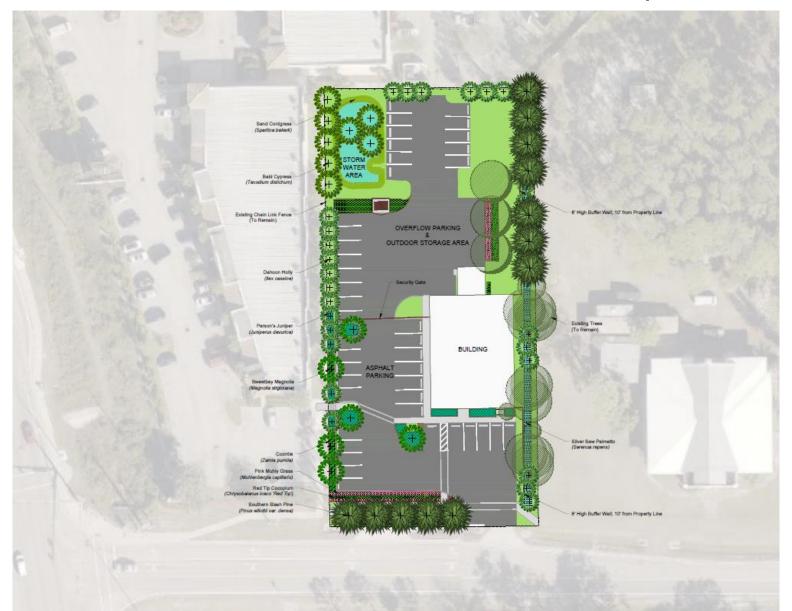


### **PLANT SCHEDULE**

KEY	SYMBOL	QTY	SPECIES	PLANT TYPE	CATEGORY	NATIVE STATUS			
PROPOSED TREES									
IC	+	30	Dahoon Holly,	CANOPY	BUF	YES			
	$\cup$	4	Ilex cassine	CANOT	VUA				
MV		1	Sweetbay Magnolia,	CANOPY	GEN	YES			
	المحريحا	5	Magnolia virginiana	CANOT	VUA				
PE	Marian Aren E	11	Southern Slash Pine,	CANOPY	BUF	YES			
	Name and Address of the Party o	1	Pinus elliottii var. densa	CANOT	GEN				
TD		5	Bald Cypress,	CANOPY	BUF	YES			
		3	Taxodium distichum		GEN	10			
TOTAL TREES 60 ***FOR REVIEWER ONLY*** (60 + 14 (GEN/PCT) + 12 (BUF/PCT) = 86									
PROP	OSED SHRU	BS							
cı		99	Red Tip Cocoplum,	SHRUB	BUF	YES			
		101	Chrysobalanus icaco 'Red Tip'	3111102	VUA				
JD		31	Parson's Juniper,	SHRUB	BPP	YES			
30		60	Juniperus davurica 'Parsonii'	3111102	VUA				
MG		84	Muhly Grass, Muhlenbergia capillaris	GRASS	VUA	YES			
SB	****	101	Sand Cordgrass, Spartina bakerii	GRASS	VUA	YES			
SR		93	Silver Saw Palmetto, Serenoa repens	SHRUB	BUF	YES			
ZP		34	Coontie, Zamia pumila	SHRUB	VUA	YES			
TOTA	TOTAL SHRUBS 603								
	4999		Floratam Grass, Stenotaphrum secundatum 'Floratam'	LAWN	THROUGHOUT	YES			

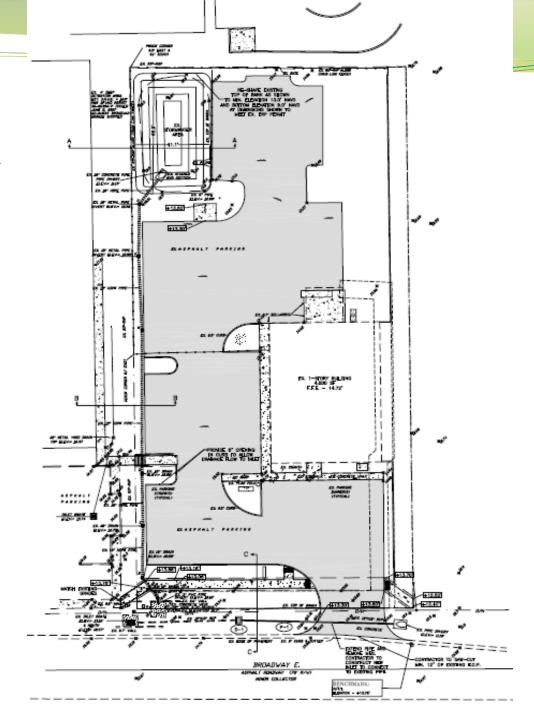


# Color Rendered Master Concept Plan





# Paving, Grading & Drainage Plan





# Stormwater Drainage

Stormwater flows from site to ex. drainage swale along Broadway, travels east to culvert under Broadway at railroad tracks, flowing south to Estero River and on to Estero Bay





# Traffic Impact Statement

Table 1. Raw Trip Generation – Proposed Fast Casual Restaurant (LUC 930)

### 4,800 Square Feet of Gross Floor Area:

- Daily Average Vehicle Trip Ends, Weekday
   T = 315.17 (4.800) = 1,512 (756 entering, 756 exiting)
- A.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street)
   T = 2.07 (4.800) = 10 (7 entering, 3 exiting)
- C. P.M. Peak Hour Average Vehicle Trip Ends (Adjacent Street)
  T = 14.13 (4.800) = 68 (37 entering, 31 exiting)

Source: TDM, 2019

PEAK A.M. AND P.M. TRAFFIC DISTRIBUTION US AM O BROADWAY E 28

## Fire Truck Access Autoturn Exhibit

Lt. Scott Danielson with Estero Fire gave TDM specs on a 42' ladder truck to access the site. The truck is able to make a 3-point turn within the site. Lt. Danielson also said they wouldn't be able to get a 42' ladder truck up a 6% incline to the adjacent property.



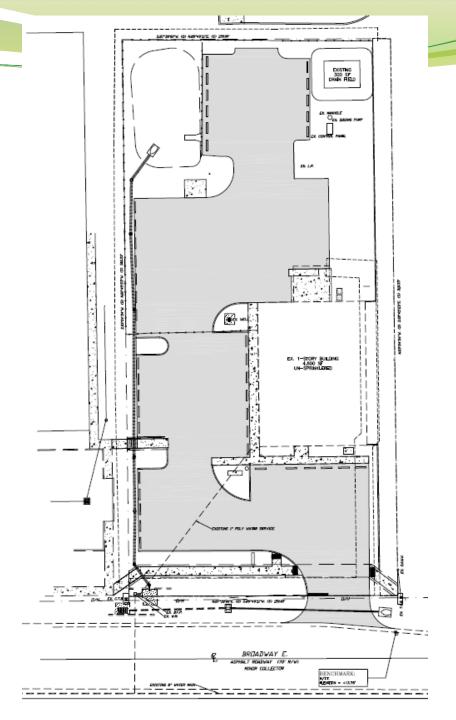


# Existing Utilities

Potable water along Broadway E. Ex. Septic & Drainfield in NE corner of property.

Development does not meet threshold for mandatory connection to sanitary sewer.

- 1. max of 4,800 sf gross floor area;
- 2. generates less than 5,000 gpd;
- 3. is not located adjacent to or within 50' of a connection point from property line;
- 4. does not consist of more than 5 lots located less than ¼ mile from a point of connection; and
- 5. central sewer lines will not be available within 90 days of issuance of a DO.







### **D-Series Size 1**

LED Area Luminaire





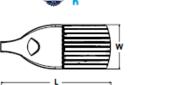


### Specifications

33" (83.8 cm) 13" 7-1/2"

3-1/2"

27 lbs (T2.2 lsj)





### Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.



### Ordering Information EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED							
Series	LEDs Color temperature		Distribution	Voltage	Mounting		
DSX1 LED	Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9 Rotated optics P101 P121 P111 P131	30K 3000 K 40K 4000 K 50K 5000 K	TIS   Type   short   TSVS   Type   very short   TSV   TSV	MVOLT <sup>2</sup> 120 <sup>4</sup> 208 <sup>4</sup> 240 <sup>4</sup> 277 <sup>4</sup> 347 <sup>4</sup> 480 <sup>4</sup>	Shipped included  SPA Square pole mounting  RPA Round pole mounting  WBA Wall bracket  SPUMBA Square pole universal mounting adaptor <sup>5</sup> RPUMBA Round pole universal mounting adaptor <sup>5</sup> RPUMBA Round pole universal mounting adaptor <sup>5</sup> KMAR DORKD U Mat am mounting bracket adaptor (specify finish) <sup>6</sup>		

Control op	tions	Other options		Finish (required)			
Shipped NIJAIR2 PIRHN PER PERS PER7 DMG	installed  Inlight AR generation 2 enabled <sup>2</sup> Network, highlow motionalment sensor <sup>8</sup> Network, highlow motionalment sensor <sup>8</sup> Fiber join receptacle only (controls ordered separate) <sup>9,8</sup> Fiber join receptacle only (controls ordered separate) <sup>9,8</sup> Sense-join receptacle only (controls ordered separate) <sup>9,8</sup> O-10x domining wites pulled outside finitive (for one With an external control, ordered separately) <sup>11</sup> Dual switching <sup>9,10,40</sup>	PIR PIRH PIRTEGAV PIRHTEGAV FAO	High low, motion/ambient sensor, 8-15 mounting height, artibent sensor enabled at 56 m <sup>2</sup> , 15-80 mounting height, artibent sensor enabled at 56 m <sup>2</sup> , 15-80 mounting height, artibent sensor enabled at 56 m <sup>2</sup> . High low, motion/ambient sensor artibent at 56 mounting height, artibent sensor enabled at 16 m <sup>2</sup> . Below, motion/ambient sensor enabled at 16 m <sup>2</sup> . Below, motion/ambient sensor support Below, motion/ambient sensor, 15-30 mounting height, ambient sensor enabled at 16 m <sup>2</sup> . Below adjustable output. Below and the sensor	HS SF DF L90 R90	ped installed House-side shield <sup>17</sup> Single line (170, 277, 3474) <sup>4</sup> Double fire (200, 240, 4804) <sup>4</sup> Left notated optics <sup>1</sup> Right notated optics <sup>1</sup> ped separately Bid spikes <sup>18</sup> External glare shield <sup>18</sup>	DDEXD DBLXD DNAXD DWHXD DDBTXD DBLBXD DNATXD DNATXD	Dark bronze Black Natural aluminum White Textured dark bronze Textured black Textured natural aluminum Textured white

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One Lithonia Way . Conyers, Georgia 30012 . Phone: 800-705-SERV (7378) . www.lithonia.com

DSX1-LED

Rev. 09/17/19

# Lighting



**Anchor Base Poles** 

SSA

