

# ESTERO TOWN CENTER



CONCEPTUAL PERSPECTIVE  
Estero Town Center  
COURTIELIS COMPANY

000 2002-00077

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## PROJECT OVERVIEW

## COMMUNITY DEVELOPMENT

This document describes the intent of the applicant in developing the Estero Town Center project, and proposes design guidelines by which the project will be constructed. The objective is to provide the Estero community and Lee County the assurances that this project will be developed to meet the language and intent of the Estero Plan, while allowing the developer the flexibility to market the project to tenants with varying uses, building types and size requirements.

The Estero Town Center project is located at the corner of Corkscrew Road and Three Oaks Parkway. This intersection is in the center of Estero and has been the subject of great attention by the community. For this reason, the developer has devoted special attention to creating the following design guidelines that exceed both the current Lee County design guidelines, found in LDC Section 10-600, and the recently adopted Corkscrew Main Street Overlay guidelines, found in LDC Sections 34-1045 through 34-1047.

In developing the property located at the southeast corner of Corkscrew Road and Three Oaks Parkway it is important to do so in accordance with the Lee County Comprehensive Plan (including Goal 19 of the Estero Plan) and the development constraints presented with a 33-acre site at this location. The following base postulations, as well as policies that influence this type and level of development, were utilized.

- The subject property is located at the intersection of two arterial roadways – Corkscrew Road and Three Oaks Parkway. Prime access is provided to the site by the intersecting arterial roads, as well as the close proximity of Interstate 75 and US 41,  $\frac{1}{3}$  miles and  $1\frac{1}{3}$  miles from the site respectively.

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- The proposed development site is within the Urban Community land use category, which was designated for areas that are suitable for fairly intense levels of commercial, residential and light industrial development. The Lee Plan projects more intense development in these areas, more characteristic of an urban area.
- The intersection of Corkscrew Road and Three Oaks Parkway is designated as a commercial node on Map 19 of the Lee County Comprehensive Plan. The Estero Community Plan limits retail uses for all areas along Three Oaks Parkway with the exception of commercial nodes where the Plan deemed appropriate.
- The project lies within the Corkscrew Main Street Overlay, which was created to provide a pedestrian "boulevard", in relative scale to Corkscrew Road by locating proposed commercial buildings close to the roadway and providing for pedestrian connections and amenities.
- The intent of these design guidelines and standards is to meet and exceed the requirements of the Corkscrew Main Street Overlay, yet allowing for the development of a large commercial project containing one or more major anchors.

## DESIGN GUIDELINES AND STANDARDS

The following design guidelines are intended to establish the standard with which this development will comply. The guidelines however, are intended to be flexible to allow for a more detailed analysis by the Lee County development review staff and the Estero Development Review Committee at the time of local development order.

- The Estero Town Center is planned as a functionally interrelated commercial site under unified control, subject to common guidelines and standards to ensure a quality development. All development will meet and enhance LDC Section 34-1045-1047, the Corkscrew Road Main Street Overlay.
- The Estero Town Center will be a fully integrated planned site, where attention to the overall site design is achieved by providing well designed and integrated vehicular use areas, pedestrian paths, a common or compatible architectural theme, unified signage, landscaping, and lighting throughout the site.
- The Estero Town Center will be developed on a 33 acre site as part of the Corkscrew Main Street Overlay, a corridor of architecturally appealing and attractively landscaped buildings that cater to the needs of the community.

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This 33 acre site is divided into two main development parcels, the "Village Areas" fronting along Three Oaks Parkway and Corkscrew Road and the "Anchor Parcel" located within the central portion of the site.

## A. VILLAGE AREAS

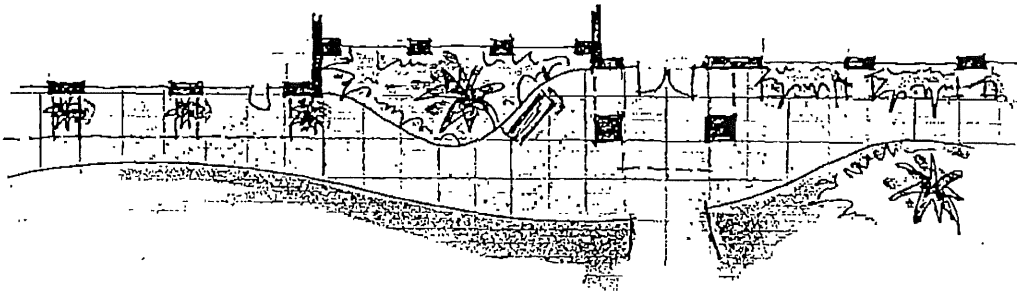
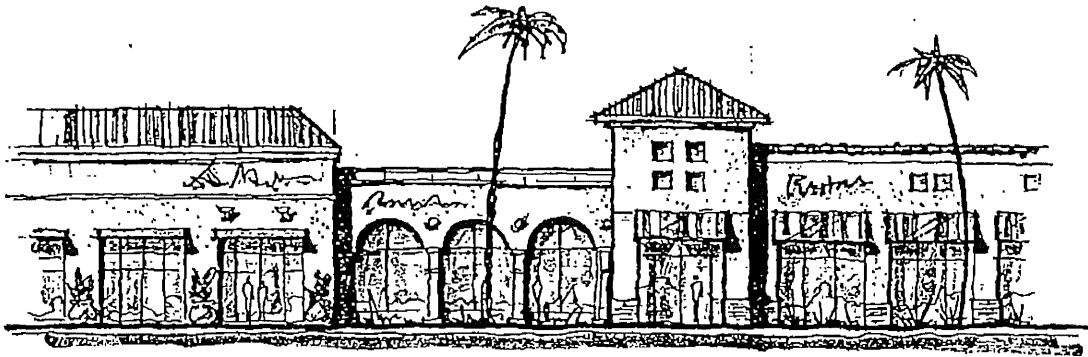
1. Architectural Standards: The Village Areas will feature an integrated and compatible Mediterranean architectural building style or theme. Massing of building facades will be reduced by transitioning building heights, widths and colors, textures and adding architectural elements such as wall projections, loggias, canopies, corner towers, archways, or columns, which will form courtyard-like areas, appropriately scaled for public gathering space. Primary entry facades will have windows along no less than 10% of their horizontal length in addition to the primary entrance. These treatments will create visual interest and variety, while providing visitors to the project a pedestrian-friendly atmosphere. Building architectural styles shall be compatible and complementary elements such roof treatments, signage, landscaping and building materials and colors.
2. Each free-standing use will provide a visually appealing, articulated, identifiable path of entry for pedestrians and vehicles for the internal drive to the site, from the site to the buildings themselves, and from Corkscrew Road to the free standing use. The orientation of a building or structure upon a site will reflect not only the project's functionality, but will also be responsive to the individual parcel's characteristics and relationship to Corkscrew Road.
3. Building lighting design will be architecturally treated in the style of the building architecture. Lighting fixtures illuminating the parking area shall be shielded to minimize light intrusion crossing the property line when abutting residential uses.
4. Landscaping: Landscape design guidelines for free-standing uses will create a harmonious and visually pleasing landscape that is cohesive and complementary to the overall master landscape plan. The Estero Town Center landscape concept will feature combinations of native plants and ornamental varieties, which will be designed to define and accent pedestrian and vehicular spaces, as well as enhance the building architectural style. Landscape designs will create a coherent theme, which emphasize plant material as a primary unifying element. Where possible, existing native trees will be incorporated into the site plan to add character to the pedestrian/open space areas and enhance buffer and perimeter areas.

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## B. ANCHOR PARCEL

1. The Anchor Parcel will accommodate one or several retail uses. The on-site pedestrian system will connect the Anchor Parcel to the Village Areas, and the buildings of the Anchor Parcel will be designed to compliment the buildings in the Village Areas. The parking area will be designed to minimize hardscaped areas, visually and physically.
2. Architectural Standards: The Anchor Parcel will feature an integrated and compatible Mediterranean vernacular architectural building style or theme, which will also be incorporated into the village parcel, and all other free standing uses. Buildings will have architectural features and patterns that provide visual interest from the perspective of the pedestrian; reduce massing aesthetic and be site responsive. Facades will be designed to reduce the mass/scale and uniform monolithic appearance of large unadorned walls, while providing visual interest that will be consistent with the center's identity and character through the use of articulation, detail and scale. Articulation is accomplished by varying the building's mass in height and width so that it appears to be divided into distinct massing elements and details that can be perceived at the scale of the pedestrian. (See illustration below)

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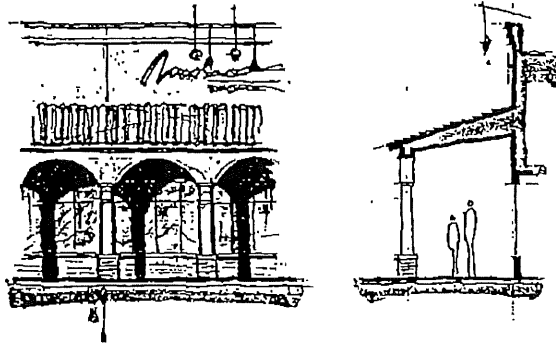


Buildings will also provide a minimum of two of the following building design treatments:

- Canopies or portico, integrated with the buildings massing and style
- Overhangs
- Arcades, minimum of eight feet clear in width
- Raised cornice parapets over doors
- Arches
- Ornamental and structural architectural details, other than cornices; which are integrated into the building structure and overall design
- Clock or bell towers

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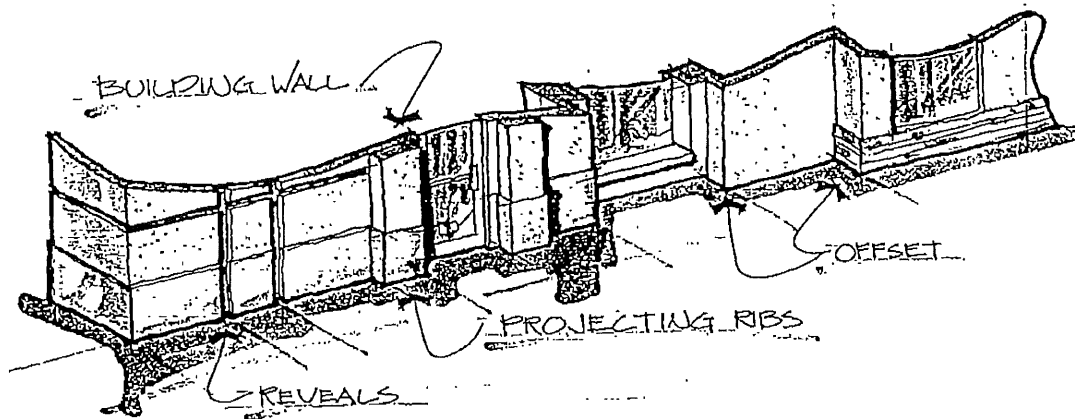
- Any other treatment, which, in the opinion of the Architect meets the intent of the design character.



Building facades may include a repeating pattern and may include no less than two of the design elements listed below. At least one of these design elements may repeat horizontally.

- Color change
- Texture change
- Material module change
- Expression of architectural relief, through a change in plane of no less than 12 inches in width, such as a reveal, an offset, or a projecting rib
- Architectural banding
- Pattern change

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Roof will meet at least two of the following requirements:

- Parapets will be used to conceal roof top equipment and flat roofs
- Where overhanging eaves are used, overhangs will be no less than 12 inches beyond the supporting walls with a minimum fascia of eight inches
- Three-dimensional cornice treatment which will be a minimum of 12 inches in height with a minimum of three reliefs

Major anchor parcel buildings will have clearly defined, highly visible customer entrances which may include, an outdoor patio area adjacent to the customer entrance, which incorporates benches or other seating components and decorative landscape planters.

Exterior building colors and materials contribute significantly to the visual impact of a building.

Predominant exterior building materials will include, but are not limited to:

- Stucco
- EFIS
- Brick
- Tinted, textured, other than smooth or ribbed, concrete masonry units or

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- Stone, excluding an ashlar or rubble construction look

Customer parking for the Anchor Parcel will be in accordance with Section 34-1046 Design Standards, Item 7. In addition to Item 7b. customer parking will be located in front of the Anchor Parcel building.

## C. COMMON / PUBLIC AREAS

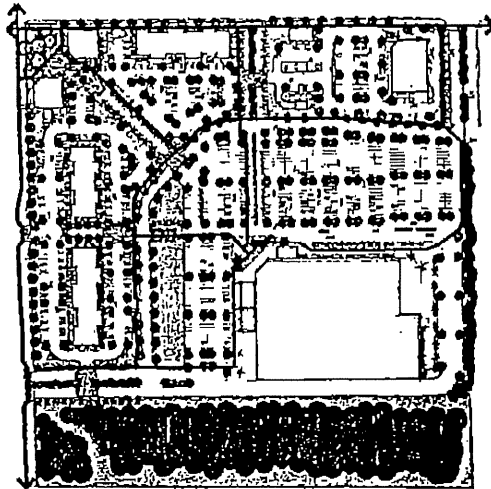
1. Internal roadways will provide efficient vehicular circulation and will be designed with streetscapes that create pedestrian-friendly environments. Streetscape plans will be designed to establish a hierarchy of vehicular and pedestrian flow appropriate in scale and character with landscape improvements, street function and adjacent land uses with the intention of linking uses throughout the project.
2. Project architectural features will be developed within common areas of the project and will be coordinated in design, color and style. Architectural features shall be permitted throughout the site.
3. In accordance with the Master Concept Plan, the Live Oak trees at the corner of Corkscrew and Three Oaks Parkway will be preserved and incorporated into a pedestrian/open space area. This area may include pedestrian amenities and architectural features.
4. The Estero Town Center will provide a variety of publicly accessible amenities, which will further the project's commitment to complement and enhance Lee County and Estero's Design Guidelines, and serve to provide a sense of place for the community.
5. A pedestrian way network shall be established throughout the project. (See illustration below) The pedestrian system will serve to link Anchor and village areas with freestanding uses at the perimeter of the project site, by providing a landscaped walkway protected from vehicular traffic movement. Any required breaks in the pedestrian network for vehicular access to the site shall be identified through use of pavers, signage, or other traffic calming techniques deemed appropriate to reduce the speed of vehicles and provide safe pedestrian movements throughout the site.
  - a. The anchor parcel/building area pedestrian way shall be a wide intermittently covered walkway, featuring concrete surfaces which may be paved, tiled, etc.. This pedestrian way shall include architectural features such as fountains, courtyards, arbors or similar design features, and decorative landscape plantings. This pathway shall have a minimum



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unobstructed pedestrian way of 10' average width. Seating and decorative landscape planting shall be provided intermittently along the pathway and at all primary tenant entrances.

- b. The parking area pedestrian way shall be located generally within the parking area as shown on the Conceptual Site Plan. This pedestrian way system will be designed to promote safe and convenient linkage from the parking areas to both the perimeter village area and the anchor parcel. Vehicular crossings will be identified with signage, landscaping and clearly marked through use of varied pavement treatments or other traffic calming techniques. This pedestrian way system shall be a minimum of 5' in width, with paver, stamped concrete or banded concrete pedestrian pathway. This pedestrian pathway way will feature canopy trees or palms with ground level landscape plantings. Canopy trees or palms will be planted within adjacent parking landscape islands. Canopy trees or palms shall be planted along the pedestrian way system and shall be a minimum 12' high with a 4' spread for canopy trees and equivalent specification for shade palms at the time of planting.
- c. The perimeter pedestrian way system is designed to link free-standing uses with the parking and village area pedestrian way as shown on the Conceptual Site Plan. Vehicular crossings will be identified with signage, landscaping and clearly marked through use of varied pavement treatments or other traffic claming techniques.



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## LANDSCAPING

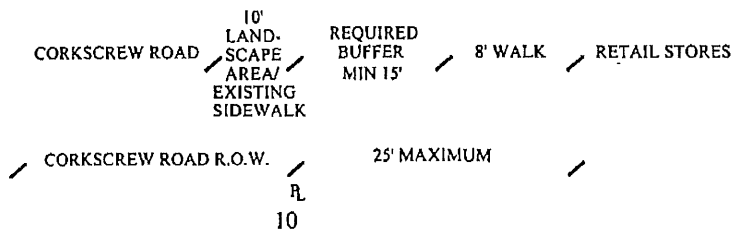
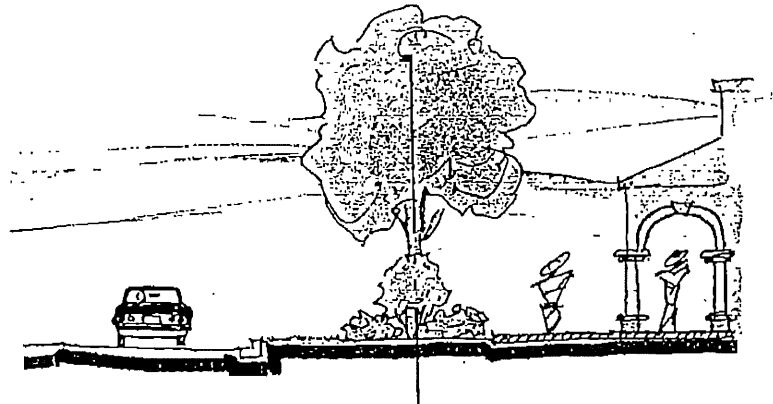
### A. GENERAL

The attached Native Plant Lists are provided to present a specific plant palette for perimeter buffers, native re-vegetation, preserve enhancement and satisfy LDC native plant requirements. Any non-native landscape material used shall be allowed under the LDC and will be used to provide additional color and texture for areas to be enhanced such as main vehicular and pedestrian entries, circulation routes, building perimeter plantings and pedestrian amenity open spaces.

### B. PERIMETER

1. Buildings along Corkscrew Road will be designed in accordance with LDC Section 34-1047; the setback requirements for the Corkscrew Road Main Street Overlay (Typical Section A). Trees may be clustered to allow view corridors to internal buildings. Where possible, native trees will be preserved and incorporated into the perimeter buffer areas for screening and aesthetic enhancement of the project.

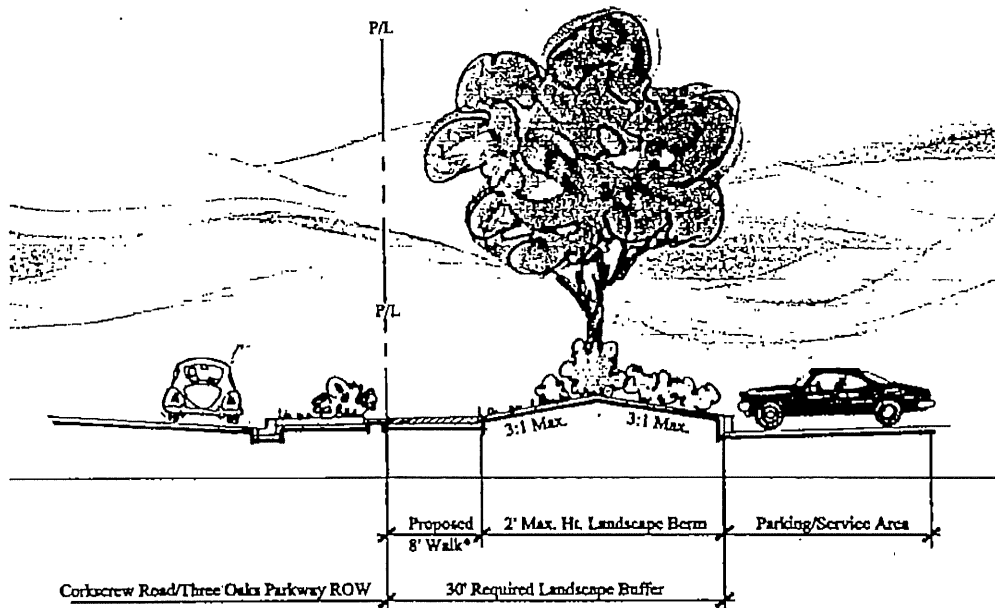
*Typical Section A*



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2. Where parking or service areas along Corkscrew Road are located within 75' of the right of way line, the developer must maintain a minimum 30' setback for parking or service areas from the Corkscrew Road right-of-way, with a landscaped berm to obscure the parking areas as well as the vehicles (Typical Section B). Trees may be clustered to allow view corridors to internal buildings. Where possible, native trees will be preserved and incorporated into the perimeter buffer areas for screening and aesthetic enhancement of the project. Further, sidewalk improvements may be made (subject to LDOT review and utility conflicts) to create a landscape area between the edge of pavement of Corkscrew road and the sidewalk.

*Typical Section B*

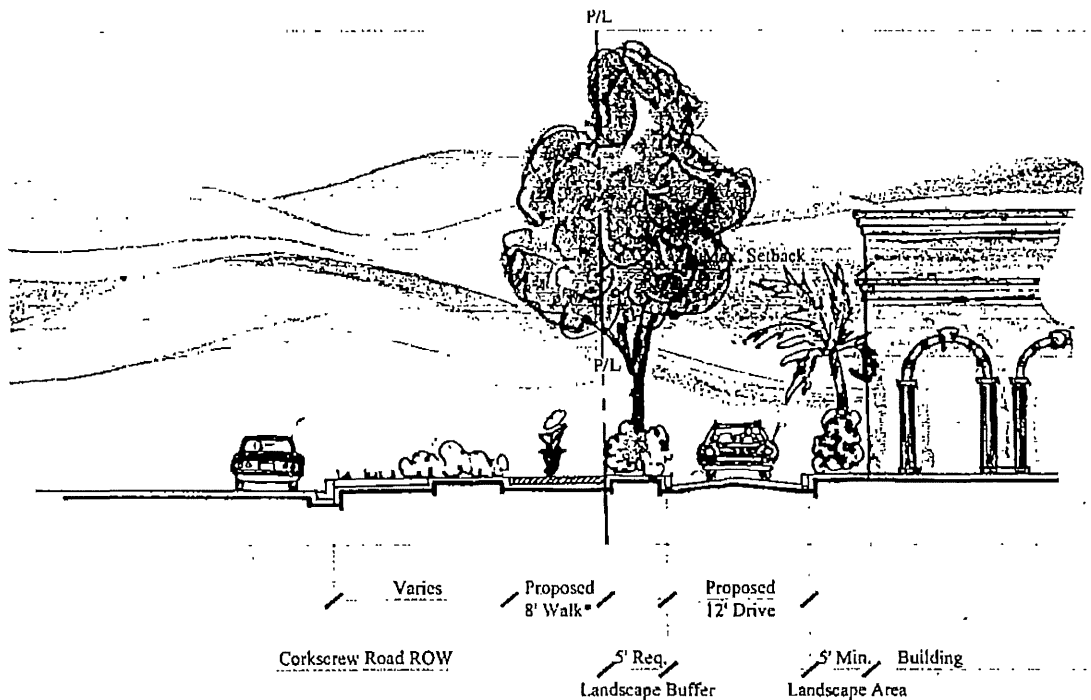


\* Removal of Existing 8' Walk and Addition of Proposed 8' Walk is dependant upon Lee DOT permitting and approval and resolving potential utility conflicts.

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3. Where an access road for a drive-thru is located along Corkscrew Road within 75' of the right of way line, the developer must maintain a maximum 25' building setback from the Corkscrew road right-of-way, with a landscaper buffer to obscure the drive areas as well as the vehicles (Typical Section C). Trees may be clustered to allow view corridors to internal buildings. Where possible, native trees will be preserved and incorporated into the perimeter buffer areas for screening and aesthetic enhancement of the project. Further, sidewalk improvements may be made to create a landscape area between the edge of pavement of Corkscrew road and the sidewalk (subject to LDOT review, utility conflicts, and spacing issues.)

*Typical Section C*



\* Removal of Existing 8' Walk and Addition of Proposed 8' Walk is dependant upon Lee DOT permitting and approval and resolving potential utility conflicts.

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4. Where buildings along Three Oaks Parkway are designed such that parking areas are in front of the building, an enhanced, 30' buffer, consisting of a minimum ten (10) trees and thirty (30) shrubs per 100 linear feet, will be installed at the time of development with a  $\pm 2'$  undulating landscaped berm, to adequately screen parking areas from view (Typical Section B). This is not intended to block visual corridors to the buildings, but is intended to screen parking areas. Trees may be clustered to allow view corridors to internal buildings. Where possible, native trees will be preserved and incorporated into the perimeter buffer areas for screening and aesthetic enhancement of the project.
5. The height of required trees within buffers shall be 12' over all in height. Canopy trees shall have a 6' canopy spread at the time of planting.
6. Landscape buffers, berms, fences and walls, where applicable, must be constructed along the perimeter of the Estero Town Center boundary concurrent with site development within each village area or anchor parcel respectively.
7. Sidewalks, signage, water management systems, drainage structures, project architectural features, lighting, and utilities will be permitted within perimeter landscape buffers.
8. Perimeter landscape berms located within the Estero Town Center boundary and contiguous to a property line and/or right-of-way line may be constructed such that they encroach into the right-of-way when approved by the applicable owner or agency.

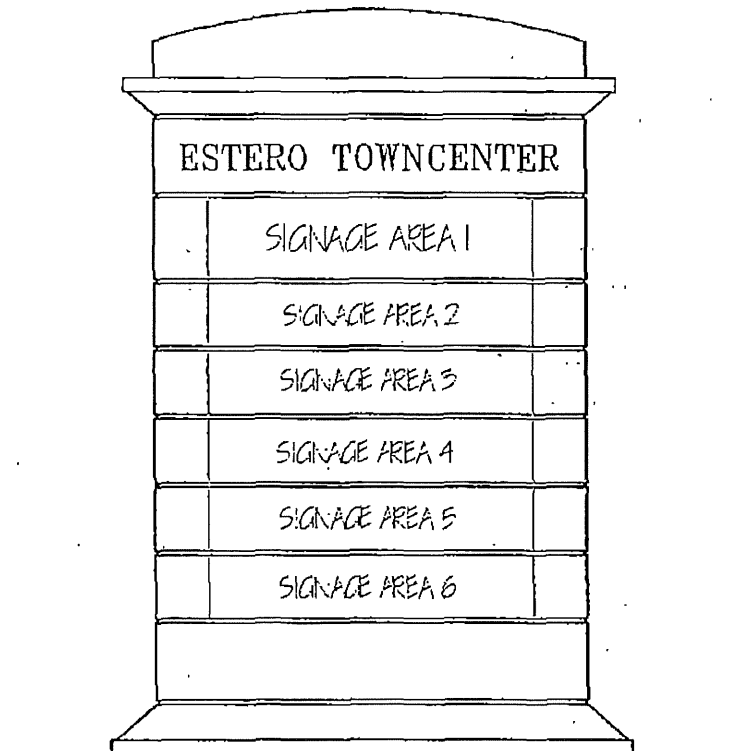
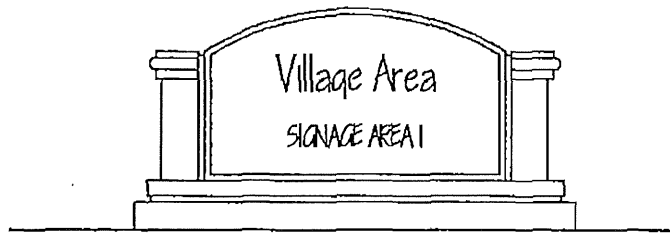
## C. INTERNAL

Per LDC Sections 34-1042 thru 34-1047, internal landscaping will be provided to minimize hardscaped areas, both visually and physically, accentuate entryways, define pedestrian areas, and enhance the pedestrian walkway system. In all landscaped areas, existing native trees will be preserved, where possible.

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## SIGNAGE

- A. All signs shall be of consistent architectural style and shall feature like building materials and sign structures. Sign structures will be uniform in size, color and building material.
- B. All signs will comply with the land development code sign guidelines at the time of the issuance of the sign permit. (see typical sign sketches)



## RECOMMENDED PLANTS - Native Trees (Med. & Large)

(The Plants Listed Range from Zones 9, 10 and 11)

Botanical Name	Common Name	Botanical Name	Common Name
<i>Acacia chlorophylla</i>	Cinnecord	<i>Juniperus siliicicola</i>	Southern Red Cedar
<i>Acacia farnesiana</i>	Sweet Acacia	<i>Juniperus virginiana</i>	Red Cedar
<i>Acer rubrum</i>	Red Maple	<i>Laguncularia racemosa</i>	White Mangrove
<i>Acer saccharum</i> subs. <i>Floridanum</i>	Florida Maple	<i>Liriodendron tulipifera</i>	Tulip Poplar
<i>Annona glabra</i>	Pond Apple	<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Betula nigra</i>	River Birch	<i>Magnolia virginiana</i>	Sweet Magnolia
<i>Bourreria succulenta</i>	Strongbark	<i>Morus rubra</i>	Red Mulberry
<i>Bursera simaruba</i>	Gumbo Limbo	<i>Myrcanthes fragrans</i>	Simpson Stopper
<i>Celtis laevigata</i>	Sugarberry	<i>Nyssa sylvatica</i>	Black Gum
<i>Cercis canadensis</i>	Red Bud	<i>Persea palustris</i>	Florida Red Bay
<i>Chlonanthus virginicus</i>	White Fringetree	<i>Pinus elliotii</i>	Slash Pine
<i>Chrysobalanus icaco</i>	Cocoplum	<i>Pinus elliotii</i> 'densa'	South Florida Slash Pine
<i>Chrysophyllum oliviforme</i>	Satin Leaf	<i>Pinus palustris</i>	Longleaf Pine
<i>Citharexylum spinosum</i>	Fiddlewood	<i>Pinus taeda</i>	Loblolly Pine
<i>Clusia rosea</i>	Pitch Apple	<i>Piscidia piscipula</i>	Jamaica Dogwood
<i>Coccoloba diversifolia</i>	Pigeon Plum	<i>Plantanus occidentalis</i>	Sycamore
<i>Coccoloba uvifera</i>	Seagrape	<i>Prunus angustifolia</i>	Chickasaw Plum
<i>Conocarpus erectus</i>	Buttonwood	<i>Prunus caroliniana</i>	Cherry Laurel
<i>Cordia sebestena</i>	Gelger Tree	<i>Prunus myrtifolia</i>	West Indian Cherry
<i>Cornus florida</i>	Dogwood	<i>Quercus alba</i>	White Oak
<i>Diospyros virginiana</i>	Persimmon	<i>Quercus falcata</i>	Southern Red Oak
<i>Eugenia axillaris</i>	White Stopper	<i>Quercus laurifolia</i>	Laurel Oak
<i>Eugenia confusa</i>	Redberry Stopper	<i>Quercus mlchauxii</i>	Swamp Chestnut Oak
<i>Eugenia foetida</i>	Spanish Stopper	<i>Quercus nigra</i>	Water Oak
<i>Eugenia thornbea</i>	Red Stopper	<i>Quercus shumardii</i>	Shumard Oak
<i>Gordonia lasianthus</i>	Loblolly Bay	<i>Quercus virginiana</i>	Live Oak
<i>Gualacum sanctum</i>	Lignum Vitae	<i>Rhizophora mangle</i>	Red Mangrove
<i>Gymnanthes lucida</i>	Crabwood	<i>Salix caroliniana</i>	Coastal Plain Willow
<i>Hibiscus tiliaceus</i>	Mahoe	<i>Sapindus saponaria</i>	Wingleaf Soapberry
<i>Ilex cassine</i>	Dahoon Holly	<i>Schaefferia frutescens</i>	Florida Boxwood
<i>Ilex opaca</i>	American Holly	<i>Sideroxylon foetidissimum</i>	Mastic
<i>Ilex vomitoria</i>	Yaupon Holly	<i>Sideroxylon salicifolium</i>	Willow Busic
<i>Ilex x attenuata</i>	East Palatka Holly	<i>Swietenia mahagoni</i>	Mahogany
<i>Jacquinia keyensis</i>	Joewood	<i>Taxodium distichum</i>	Bald Cypress
		<i>Ulmus alata</i>	Winged Elm
		<i>Ulmus americana</i> var. <i>floridana</i>	Florida Elm
		<i>Viburnum obovatum</i>	Walter's Viburnum

## RECOMMENDED PLANTS - Native Palms

(The Plants Listed Range from Zones 9, 10 and 11)

<b>Botanical Name</b>	<b>Common Name</b>	<b>Botanical Name</b>	<b>Common Name</b>
<i>Acoelorrhaphe wrightii</i>	Paurotis Palm		
<i>Coccothrinax argentata</i>	Silver Palm		
<i>Pseudophoenix sargentii</i>	Buncaneer Palm		
<i>Rhapidophyllum hystrix</i>	Needle Palm		
<i>Roystonea elata</i>	Royal Palm		
<i>Sabal minor</i>	Dwarf Palmetto		
<i>Sabal Palmetto</i>	Cabbage Palm		
<i>Serenoa repens</i>	Saw Palmetto		
<i>Thrinax radiata</i>	Florida Thatch Palm		
<i>Thrinax morrisii</i>	Key Thatch Palm		



## RECOMMENDED PLANTS - Native Shrubs

(The Plants Listed Range from Zones 9, 10 and 11)

Botanical Name	Common Name	Botanical Name	Common Name
<i>Ardisia escallonioides</i>	Marlberry		
<i>Baccharis halimifolia</i>	Saltbush		
<i>Callicarpa americana</i>	Beautyberry		
<i>Capparis cynophallophora</i>	Jamaican Caper		
<i>Cassia ligustrina</i>	Privet Cassia		
<i>Cephalanthus occidentalis</i>	Buttonbush		
<i>Clethra alnifolia</i> 'Ruby Spice'	Sweet Pepperbush		
<i>Cordia globosa</i>	Bloodberry		
<i>Cyrilla racemiflora</i>	Titi		
<i>Dodonaea viscosa</i>	Varnishleaf		
<i>Erithalis fruticosa</i>	Black Torch		
<i>Ernodia littoralis</i>	Beach Creeper		
<i>Erythrina herbacea</i>	Coral Bean		
<i>Foresteria segregata</i>	Florida Privet		
<i>Genipa clusiifolia</i>	Seven-Year-Apple		
<i>Hamelia patens</i>	Firebush		
<i>Hypericum</i> spp.	St. John's Wort		
<i>Illicium floridanum</i>	Florida Anise		
<i>Itea virginica</i>	Virginia Sweetspire		
<i>Iva frutescens</i>	Marsh Elder		
<i>Lantana involucrata</i>	Native White Lantana		
<i>Licania michauxii</i>	Gopher Apple		
<i>Lyonia lucida</i>	Fetterbush		
<i>Myrica cerifera</i>	Wax Myrtle		
<i>Opuntia</i> spp.	Prickly Pear		
<i>Psychotria nervosa</i>	Wild Coffee		
<i>Randia aculeata</i>	White Indigo Berry		
<i>Rapanea punctata</i>	Myrsine		
<i>Rivina humilis</i>	Rouge Plant		
<i>Sambucus simpsonii</i>	Elderberry		
<i>Scaevola plumieri</i>	Scaevola		
<i>Sophora tomentosa</i>	Necklace Pod		
<i>Stachytarpheta jamaicensis</i>	Blue Porterweed		
<i>Styrax americanus</i>	Snowbell		
<i>Suriana maritima</i>	Bay Cedar		
<i>Yucca aloifolia</i>	Spanish Bayonet		
<i>Zamia pumila</i>	Coontie		

## RECOMMENDED PLANTS - Native Grasses

(The Plants Listed Range from Zones 9, 10 and 11)

<b>Botanical Name</b>	<b>Common Name</b>	<b>Botanical Name</b>	<b>Common Name</b>
Andropogon brachystachys	Shortspike Bluestem		
Eragrostis elliottii	Elliot Love Grass		
Eragrostis spectabilis	Purple Love Grass		
Muhlenbergia capillaris	Muhly Grass		
Sorghastrum secundum	Lopsided Indiangrass		
Spartina bakeri	Sand Cordgrass		
Tripsacum dactyloides	Fakahatchee Grass		
Tripsacum floridanum	Florida Gamma Grass		
Uniola paniculata	Sea Oats		

## RECOMMENDED PLANTS - Native Ferns

(The Plants Listed Range from Zones 9, 10 and 11)

Botanical Name	Common Name	Botanical Name	Common Name
<i>Acrostichum danaeifolium</i>	Leather Fern		
<i>Blechnum serrulatum</i>	Swamp Fern		
<i>Ctenitis sloanei</i>	Florida Tree Fern		
<i>Nepherolepis</i> spp.	Swordfern/Boston Fern		
<i>Osmunda regalis</i>	Royal Fern		
<i>Pteridium aquilinum</i>	Bracken		

## RECOMMENDED PLANTS - Native Aquatics

(The Plants Listed Range from Zones 9, 10 and 11)

Botanical Name	Common Name	Botanical Name	Common Name
<i>Canna flaccida</i>	Yellow Canna		
<i>Equisetum</i> spp.	Horsetail		
<i>Juncus effusus</i>	Soft Rush		
<i>Nuphar luteum</i>	Spatterdock		
<i>Nymphaea odorata</i>	White Water Lily		
<i>Pontederia lanceolata</i>	Pickeralweed		
<i>Sagittaria</i> spp.	Arrowhead		
<i>Scirpus</i> spp.	Giant Bulrush		
<i>Thalia geniculata</i>	Alligator Flag		

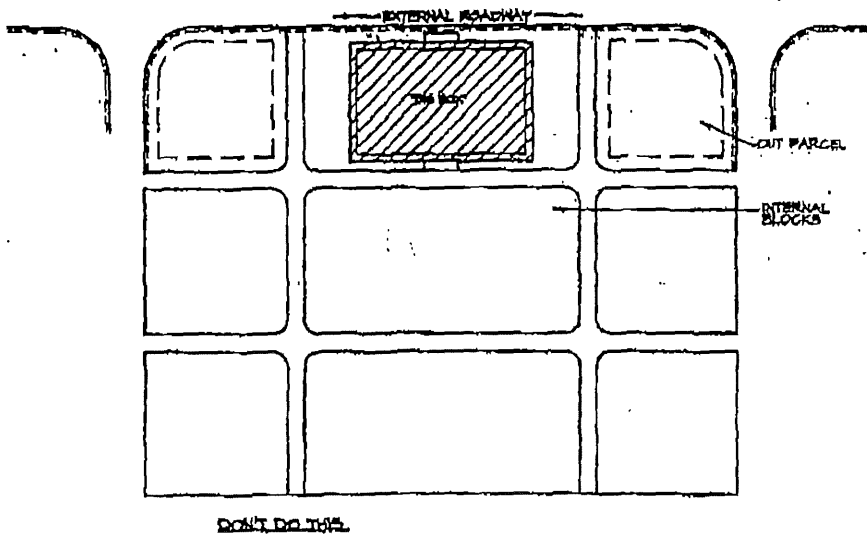
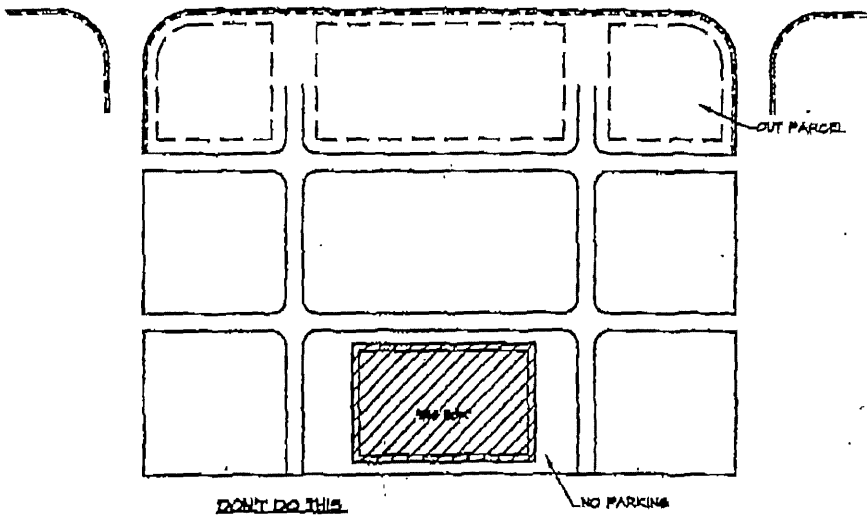
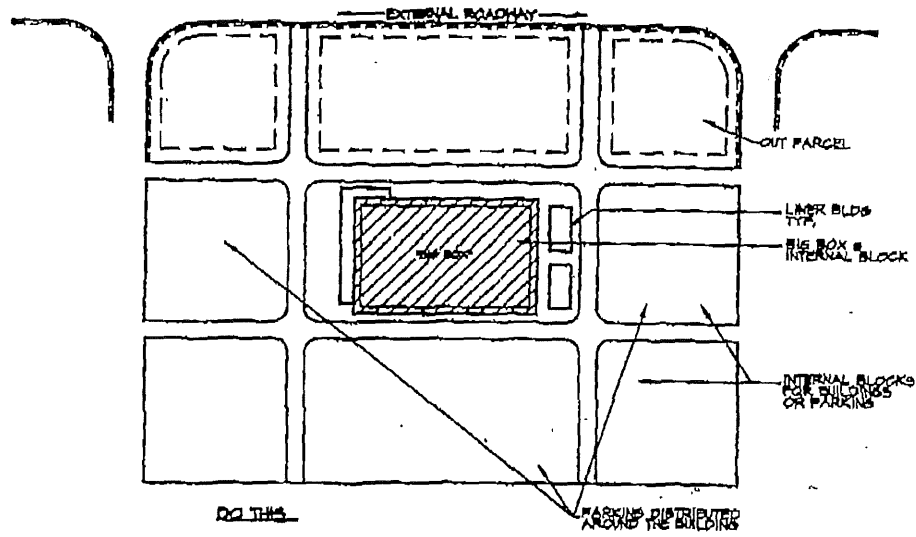
**PROPERTY DEVELOPMENT REGULATIONS**

Land Use	Min. Lot Area (SF)	Min. Lot Width	Min. Lot Depth	Setbacks (FT)				Max. Ht. (FT)	Floors	Bldg. Separation (FT)
				Road	Side	Corner	Rear			
NEIGHBORHOOD COMMERCIAL										
Retail	30,000	100	100	Note 1	5	15	20	35	2	Note 2
Office	10,000	100	100	20	5	15	20	45	3	Note 2

Note 1: The setback of buildings from the Corkscrew Road right of way and the first 200' of Three Oaks Parkway ROW south of Corkscrew Road will be in accordance with LDC Sections 34-1047 Table 1 and 34-1046(a)(8); and the Corkscrew Road cross Section on the Master Concept Plan; For the remaining Three Oaks Parkway ROW, setback to be min 25'/max 100'.

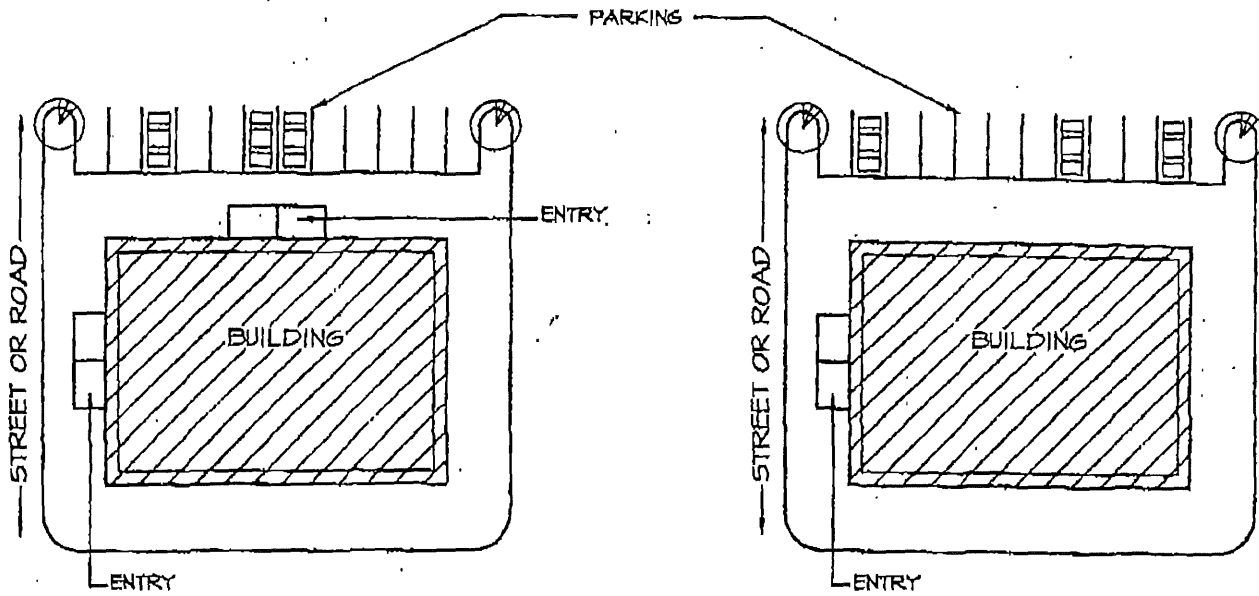
Note 2: Building separation and side setbacks will be in accordance with LDC Section 34-1047 Table 1, in order to create "Village" style commercial development.

EXHIBIT E

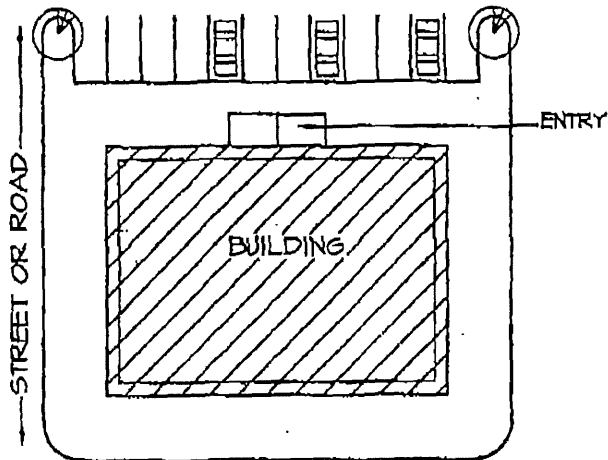


**BIG BOX PLACEMENT-DIAGRAM "B"**

N.T.S.



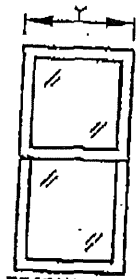
DO THIS OR THIS



DON'T DO THIS

ENTRY PLACEMENT-DIAGRAM "C"

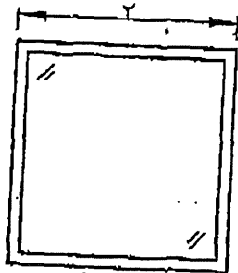
RTA



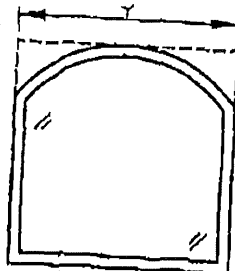
RECTANGULAR



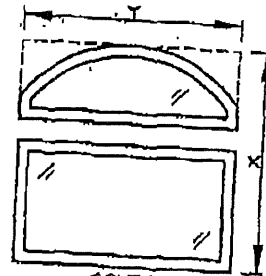
ARCH TOP



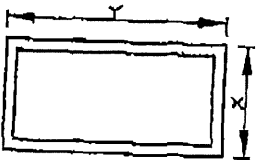
SQUARE



SEGMENTED ARCH



COMBO

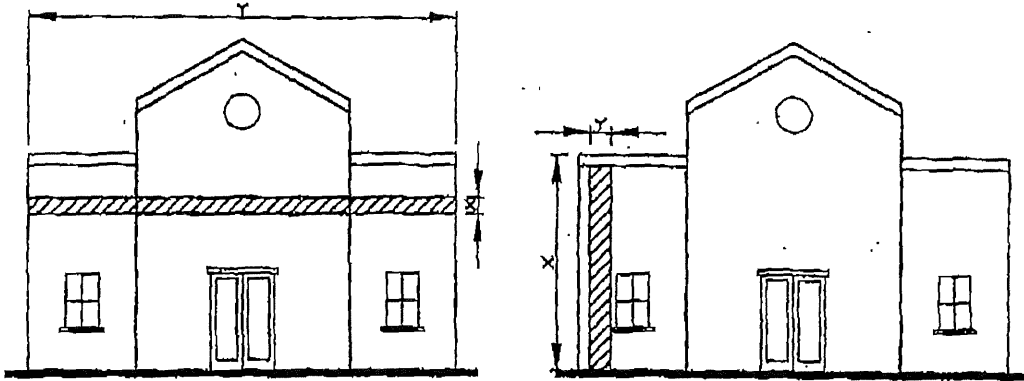


DON'T DO THIS

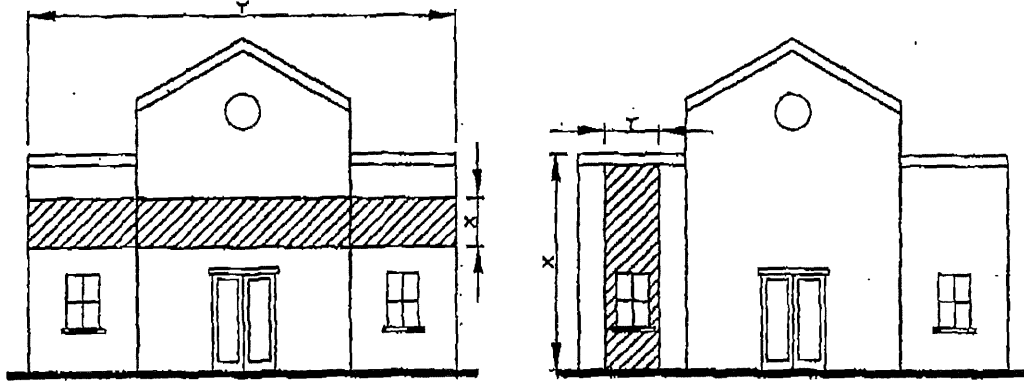
(X < Y)

WINDOW PROPORTIONS-DIAGRAM "D"



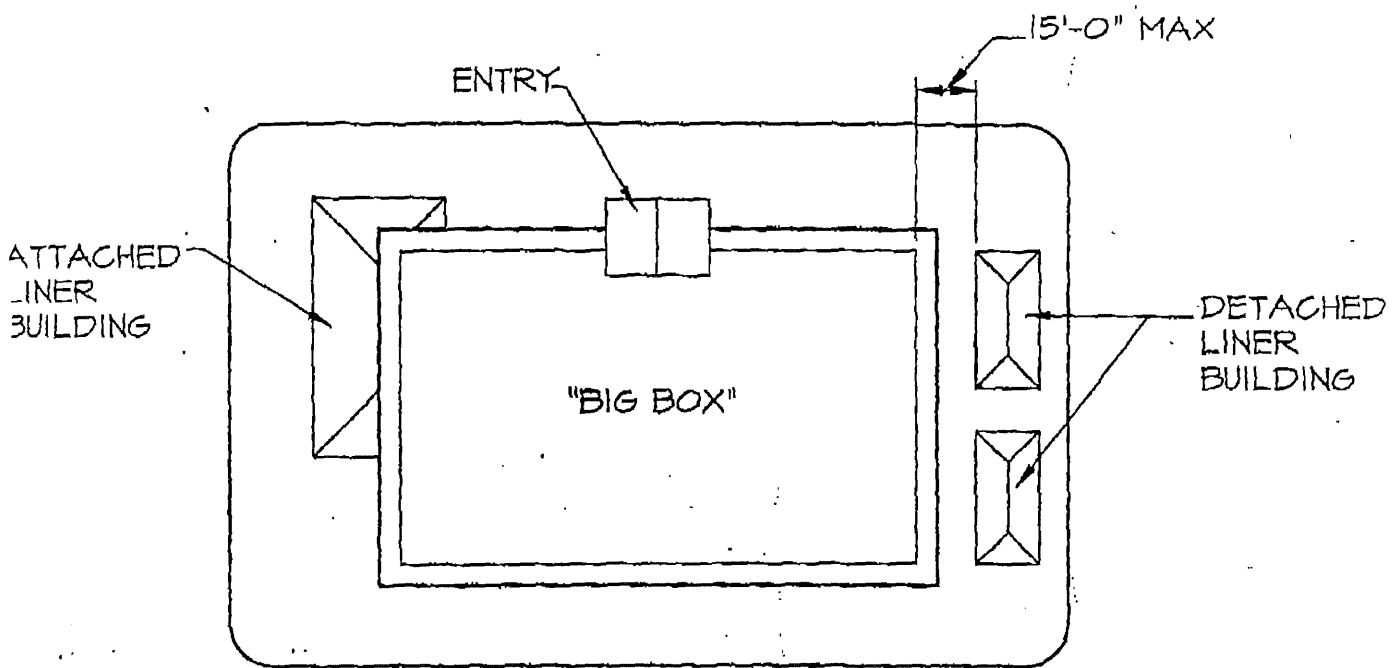


DO THIS  $(X < Y \ \& \ X < 2")$  OR  $Y < X \ \& \ Y < 2"$

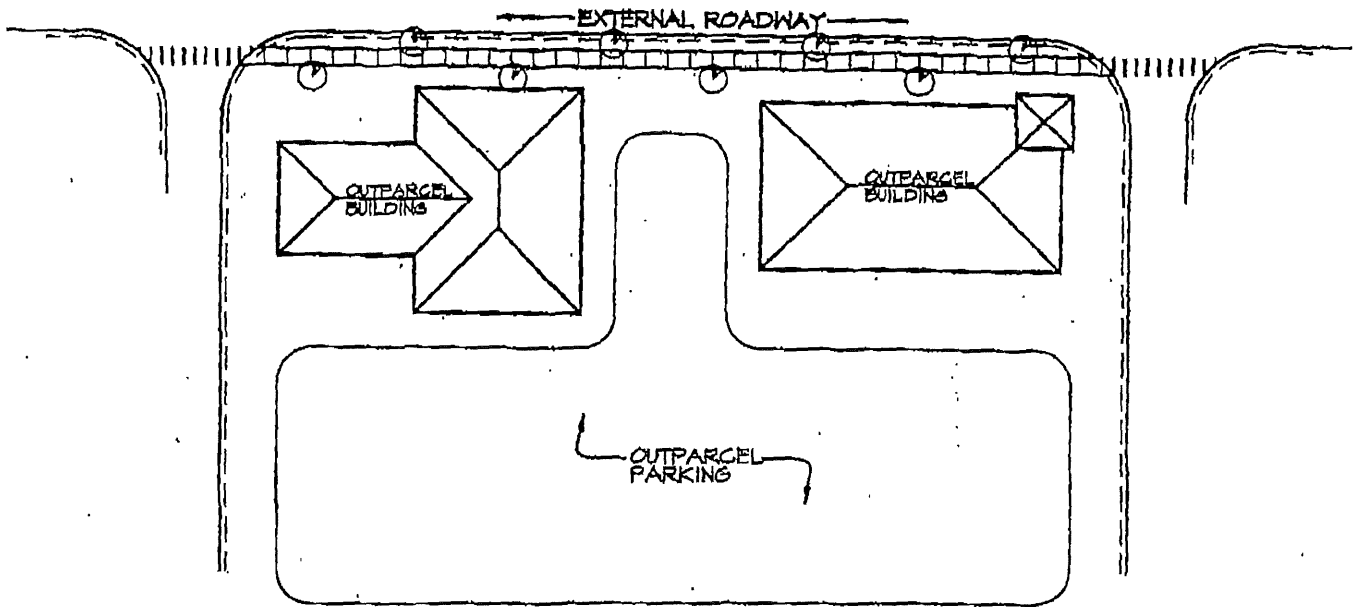


DON'T DO THIS  $(X < Y \ \& \ X > 2")$  OR  $Y < X \ \& \ Y > 2"$

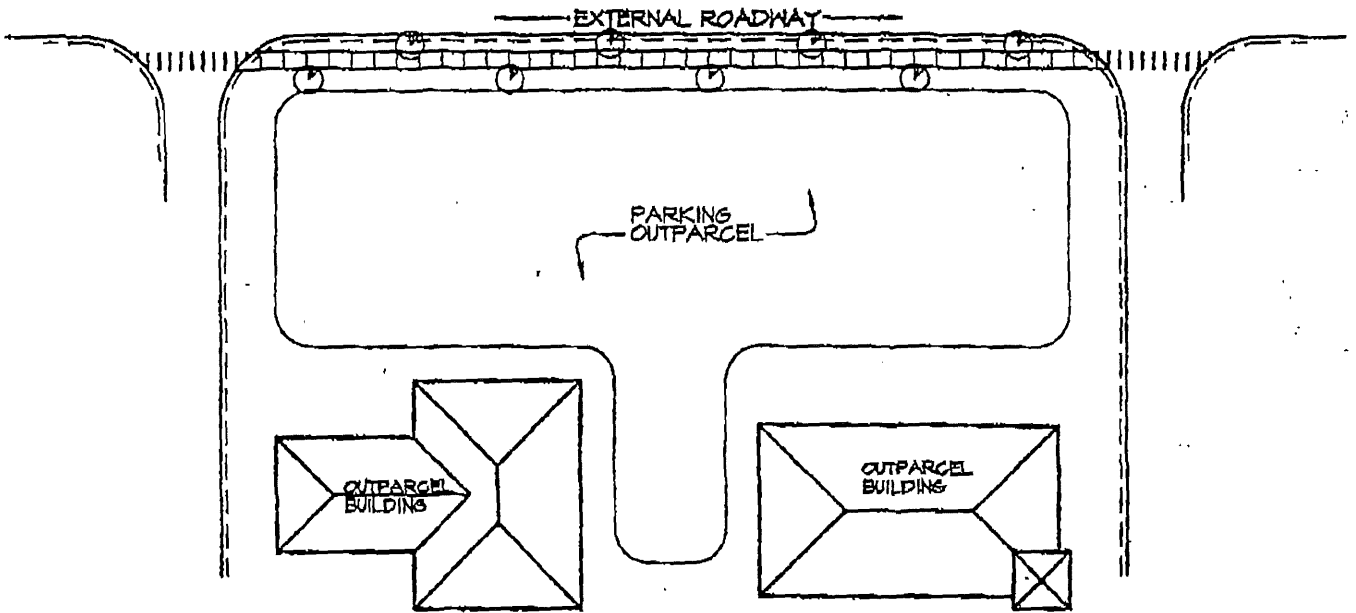
PRIMARY & SECONDARY ACCENT COLORS-DIAGRAM "E"



LINEAR BUILDING-DIAGRAM "F"  
RTS.



DO THIS



DON'T DO THIS

OUT PARCEL PLACEMENT-DIAGRAM "A"  
 RT3

Please return to:  
Courthouse Box 94

This instrument prepared by:  
Thomas B. Hart, Esquire  
Kriott, Consoer, Ebelini, Hart & Swett, P.A.  
1625 Hendry Street, Third Floor  
Fort Myers, Florida 33901  
(239) 334-2722

**AFFIDAVIT**

STATE OF FLORIDA        )  
  )  
COUNTY OF LEE         )

Before me, the undersigned authority, personally appeared Dwight S. Baird Jr.  
who first being sworn on oath, deposes and says:

1. The Affiant is the Owner, or authorized principle of the Owner, of the real property located at 10250 Corkscrew Road, Estero, Florida 33928 in Section 35, Township 46 South, Range 25 East, Lee County containing 32.96 acres, more or less (the "Subject Property").
2. The Subject Property is the subject of the Application by Courtelis Company for CPD zoning in Case No. DCI 2002-00071, pending in Lee County.
3. The Subject Property is currently zoned AG-2 and is currently in use as cattle grazing land.
4. FURTHER, AFFIANT SAYETH NOT.

Dwight S. Baird Jr.  
/s/

Sworn to and subscribed before me this 24th day of MAY, 2003, by Dwight S. Baird Jr., who is personally known to me.

FL D.L. # B630-177-48-413-0

Jean C. Hill  
Notary Public, State of Florida  
Jean C. Hill  
Printed Name

My Commission expires:

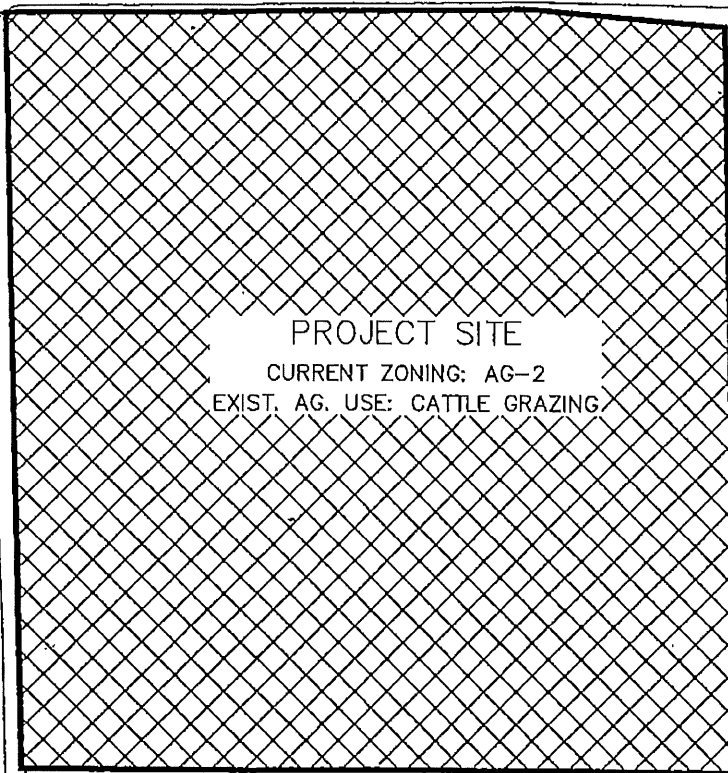


REFERENCE NO.  
02107BAG

PROJECT NO.  
02.107-B

CORKSCREW ROAD

THREE OAKS PARKWAY



PROJECT SITE  
CURRENT ZONING: AG-2  
EXIST. AG. USE: CATTLE GRAZING



SCALE: 1" = 300'



6202-F Presidential Court  
Fort Myers, FL. 33919  
Phone : (941) 985-1200  
Professional Registration No.1772  
Naples · Fort Myers · Venice · Englewood

ESTERO TOWN CENTER

BONA FIDE AG USES

FIGURE NO.

EX 1