

Presentation for the Village of Estero: Design Review Board

The Commons Club at The Brooks Fitness Center



The Commons Club
at The Brooks
Subject Property

This is an aerial satellite-style map of a residential development. The map shows a complex network of roads, including U.S. 41 on the left, I-75 on the right, and several winding roads like Via Coconut Pt., Coconut Road, Three Oaks Parkway, and Coconut Road. A specific property is marked with a white dot and a line pointing to it, labeled as the 'Subject Property'. The development features numerous houses, green spaces, and what appears to be a golf course or large park area. A north arrow and a scale bar are visible in the top right corner.

Coconut Road

Proximity Orientation Map

An aerial rendering of a resort campus. The scene is dominated by a large, multi-winged building with a complex, terracotta-tiled roof. To the left of this main building is a large, circular structure with a similar tiled roof, situated on a grassy area. In the center, a large, rectangular swimming pool is visible, surrounded by palm trees and other tropical vegetation. To the right of the main building, there is a parking lot with several cars parked. The entire campus is surrounded by dense greenery and trees. A body of water is visible in the upper left corner. The text labels are overlaid on the image in a white, sans-serif font.

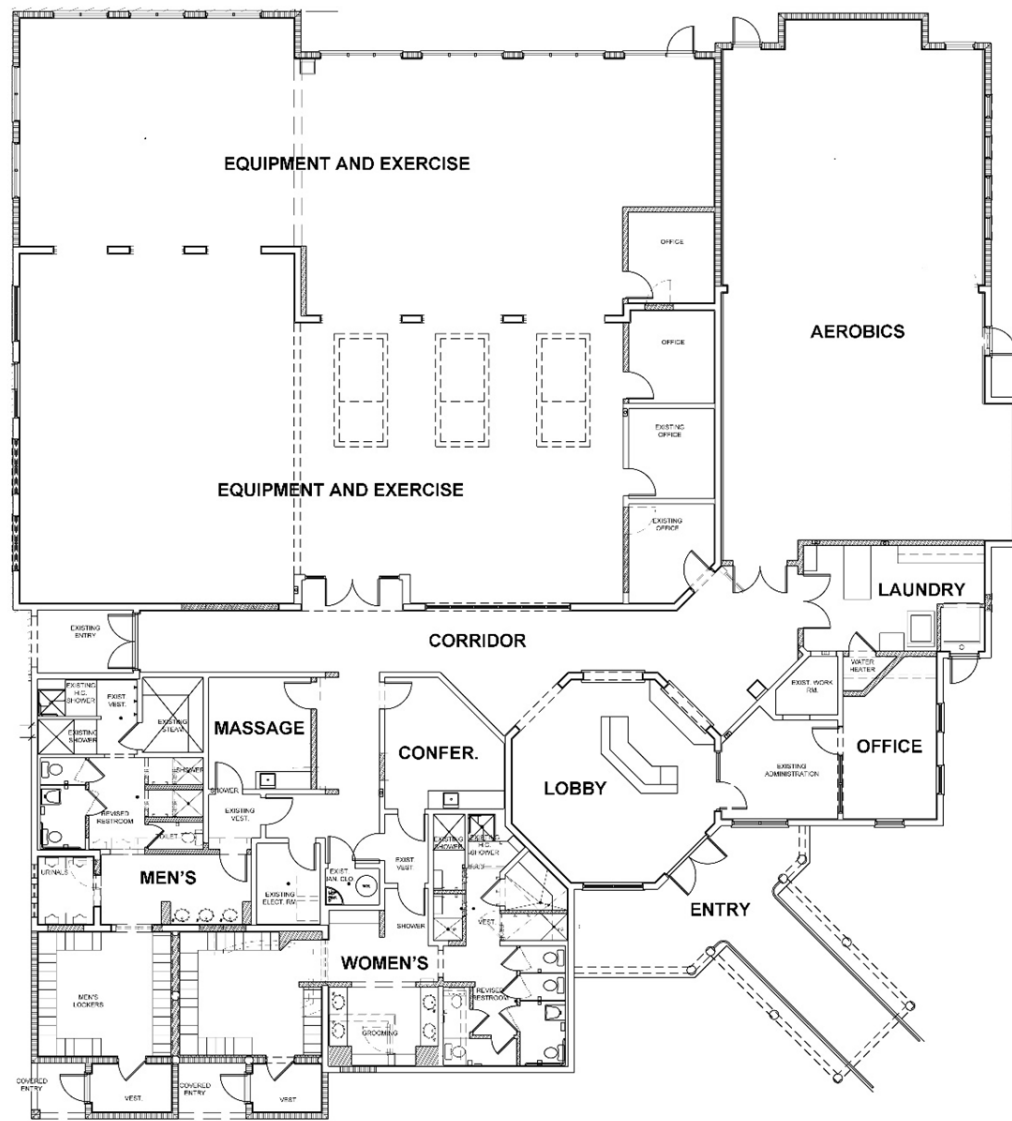
**Performance
Pavillion**

**The Rookery
Grille**

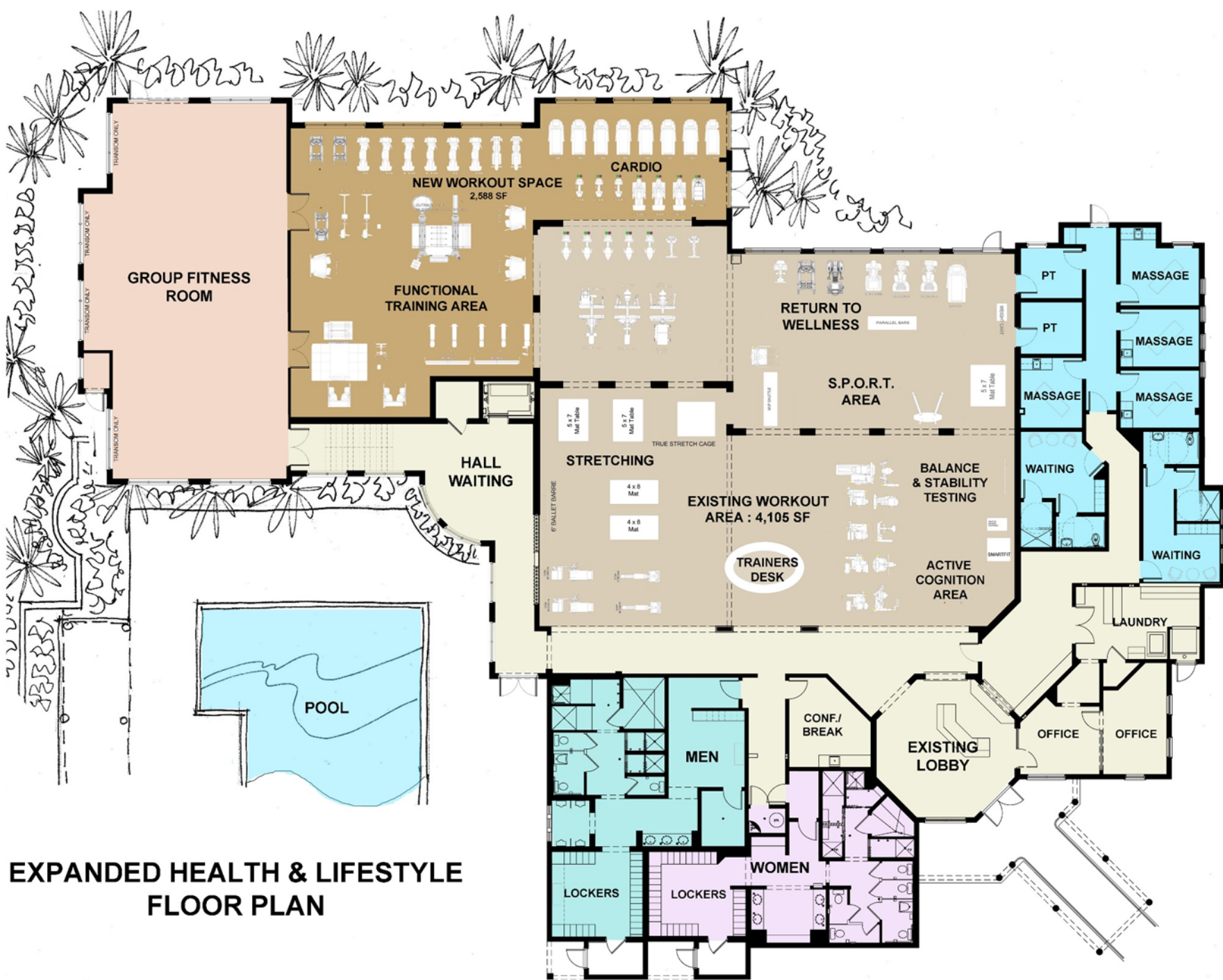
**Fitness
Center**

**Enrichment
Center**

Existing Amenity Campus



Existing Fitness Center Floor Plan



EXPANDED HEALTH & LIFESTYLE FLOOR PLAN



EXPANDED HEALTH & LIFESTYLE FLOOR PLAN





SITE PLAN SIDEWALK CONNECTIVITY/ DUMPSTER LOCATIONS



AGNOLI
BARBER &
BRUNDAGE, INC.
Professional Engineers, Planners,
Surveyors & Landscape Architects
Certificate of Authorization No. 10-20490-FC
10 South State Street, Suite 200
Miami, FL 33136
Phone: 305-581-3531
Fax: 305-581-2255

CLIENT NAME:
**THE COMMONS CLUB
AT THE BROOKS
9930 COCONUT ROAD
ESTERO, FL 34135**

PROJECT NAME:
**THE COMMONS CLUB AT
THE BROOKS**

DRAWING TITLE:
MASTER SITE PLAN

DESIGNED BY: ABB
DRAWN BY: TMR
CHECKED BY: DAB
REVIEWED BY: JAC
HORIZ SCALE: 1" = 100'
VERT SCALE: 1" = 100'

DATE: October 2019
DATE: NOV2018

NO.	DATE	DESCRIPTION

ACAD FILE NAME:
12325-ME

ABB PROJECT #
19-0092

PLOT VIEW / LAYOUT
03-MSTSITE

SHEET **03**
OF **08**

ACAD FILE #
12325



Existing Front Entry



**Existing Front Entry
and Pool Wall**



Existing Entry Approach



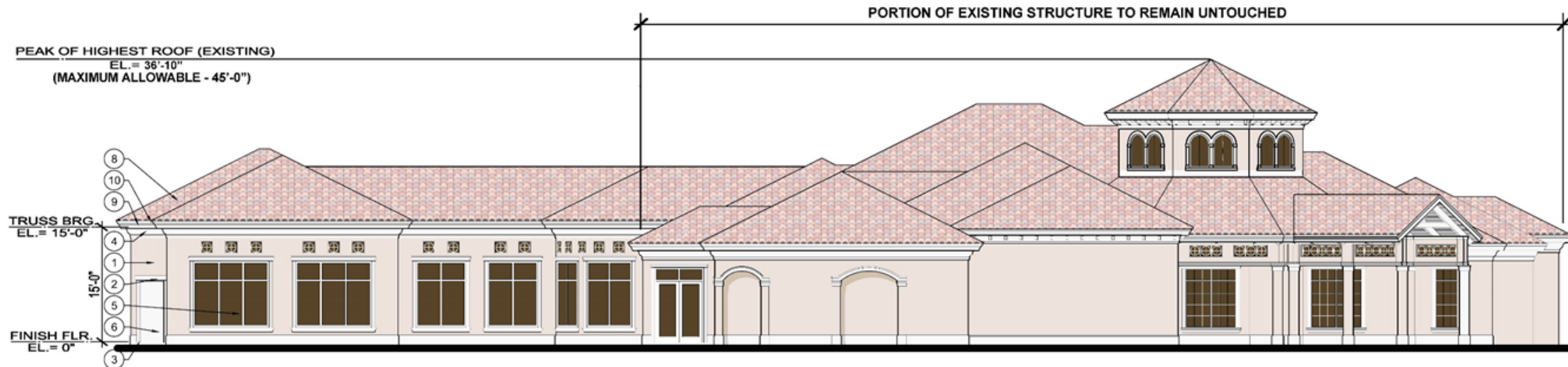
Existing Rear Elevation



Existing Side Elevation



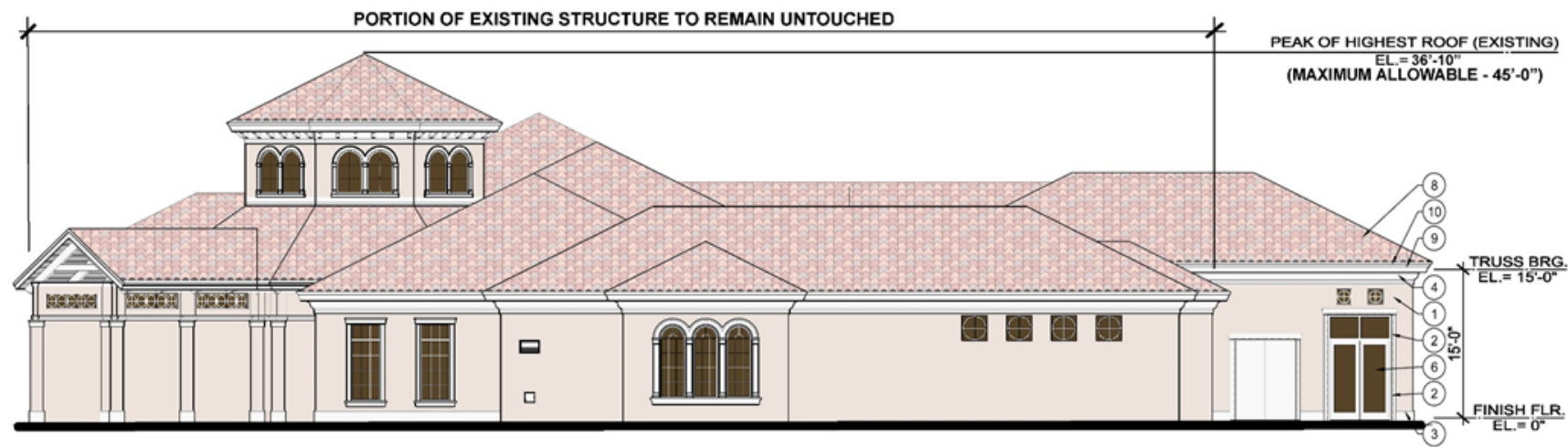
**Health and Lifestyle Center
Elevation Concept**



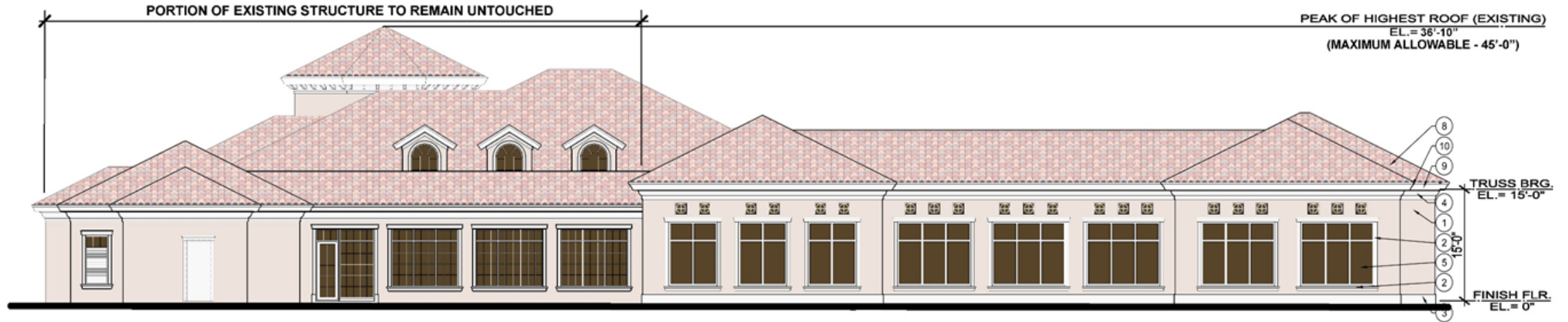
SOUTHEAST ELEVATION

MATERIALS LEGEND

- ① STUCCO: 3/4" THICK IN SMOOTH (SAND) FINISH OVER CONCRETE OR CONCRETE MASONRY CONSTRUCTION USE "LINK" BONDING AGENT OVER CAST CONCRETE SURFACES LATH (5" WIRE BOND AT) ALL MASONRY TO CONCRETE TRANSITIONS
- ② WINDOW/DOOR TRIM: RAISED SMOOTH (SAND) FINISH STUCCO TRIM IN PROFILES AS SHOWN
- ③ BASE TRIM: RAISED SMOOTH (SAND) FINISH STUCCO TRIM IN PROFILES AS SHOWN
- ④ CORNICE TRIM: "REGULSTONE" IMITATION STONE OF 1/2" MIN. PRECAST STUCCO OVER HIGH DENSITY POLYSTYRENE
- ⑤ WINDOWS: SEE SCHEDULE FOR SIZE, TYPE, FRAME, AND OTHER PERTINENT INFO. INCLUDING REQUIRED IMPACT PROTECTION OF EXTERIOR OPENINGS (SEE SPECS FOR COATINGS AND GLASS PERFORMANCE REQ'S)
- ⑥ DOORS: SEE SCHEDULE FOR SIZE, TYPE, FRAME, JAMB, DETAILS AND OTHER PERTINENT INFO. INCLUDING REQUIRED IMPACT PROTECTION OF EXTERIOR OPENINGS
- ⑦ DOGS: SEE SCHEDULE FOR SIZE, TYPE, FRAME, JAMB, DETAILS AND OTHER PERTINENT INFO. INCLUDING REQUIRED IMPACT PROTECTION OF EXTERIOR OPENINGS
- ⑧ PAUSE LOWER: DECORATIVE PAUSE LOWER OF POLYURETHANE WITH SMOOTH FINISH AND TO BE FIELD PAINTED
- ⑨ CONCRETE ROOF TILES: BARREL CONCRETE ROOF TILES OVER PLAINFACED STEEL AND OTHER SMOOTH MODIFIED BITUMEN SINGLE PLY UNDERLAYMENT OVER PLYWOOD SHEATHING
- ⑩ CASCA: 1x4 (S&S) CEDAR CASCA WITH 3/4" MIN LAP OVER 1x2 (S&S) CEDAR CASCA OVER 2x FUR CASCA
- ⑪ OSP: EDGE FLASHING: METAL, GIMP-ON FLASHING AND GLEAT



NORTHEAST ELEVATION



NORTHWEST ELEVATION



SOUTHWEST ELEVATION

MATERIALS LEGEND

- ① STUCCO 3/4" THICK IN SMOOTH (SAND) FINISH
-OVER CONCRETE OR CONCRETE MASONRY CONSTRUCTION USE "LINK" BONDING AGENT OVER CAST CONCRETE SURFACES LATH BY WIRE BOND AT ALL MASONRY TO CONCRETE TRANSITIONS
-OVER 1/2" PLYWOOD CONSTRUCTION USE GALVANIZED METAL LATH OVER BUILDING PAPER OVER PLYWOOD SURFACES
- ② WINDOW/DOOR TRIM SAVED SMOOTH (SAND) FINISH STUCCO TRIM IN PROFILES AS SHOWN
- ③ BASE TRIM SAVED SMOOTH (SAND) FINISH STUCCO TRIM IN PROFILES AS SHOWN
- ④ GORGE TRIM "ARGUSTONE" IMITATION STONE OF 1/2" MIN PRECAST STUCCO OVER HIGH DENSITY POLYSTYRENE
- ⑤ WINDOW: SEE SCHEDULE FOR SIZE, TYPE, FRAME, AND OTHER PERTINENT INFO, INCLUDING REQUIRED IMPACT PROTECTION OF EXTERIOR OPENINGS (SEE SIFCS FOR COATINGS AND GLASS PERFORMANCE REQ'S)
- ⑥ DOOR: SEE SCHEDULE FOR SIZE, TYPE, FRAME, JAMB DETAILS AND OTHER PERTINENT INFO, INCLUDING REQUIRED IMPACT PROTECTION OF EXTERIOR OPENINGS
- ⑦ DOOR: SEE SCHEDULE FOR SIZE, TYPE, FRAME, JAMB DETAILS AND OTHER PERTINENT INFO, INCLUDING REQUIRED IMPACT PROTECTION OF EXTERIOR OPENINGS
- ⑧ FALSE LAMBS: DECORATIVE FALSE LAMBS OF POLYURETHANE WITH SMOOTH FINISH AND TO BE FIELD PAINTED
- ⑨ CONCRETE ROOF TILES: BARREL CONCRETE ROOF TILES OVER "PLANTASTIC" FEEL AND STICK SMOOTH MODIFIED BITUMEN SINGLE PLY UNDERLAYMENT OVER PLYWOOD SHEATHING
- ⑩ FASCIA: 1x4 (S4S) CEDAR FASCIA WITH 3/4" MIN LAP OVER 1x2 (S4S) CEDAR FASCIA OVER 2x GYP/FASCIA
- ⑪ DEEP EDGE FLASHING: METAL, SNAP-ON FLASHING AND GLEAT.

Project Material & Color Palette

Boral Roof Tile:
Galena Smooth
Spanish Clay w/ Black Antique

Body Color
Sherwin Williams

SW 6077
Everyday White

Interior / Exterior
Locator Number: 260-C5

SW 7757
High Reflective White

Interior
Locator Number: 256-C1

Trim Color



Tremron: Old Town Paver Series
Autumn Blend



YKK Aluminum Windows
Bone White

**SITE ENGINEERING
AND
LANDSCAPING**



24x36 SCALE: 1" = 40'
 11x17 SCALE: 1" = 80'

PARKING CALCULATIONS:		
LAND USE	CODE RATIO (1*)	PARKING REQUIRED
RESTAURANT (9,536 SF)	14 SPACES/1,000 SF	140 SPACES
BAR WITH RESTAURANT (558 SF)	7 SPACES/1,000 SF	4 SPACES
OUTDOOR SEATING (1,687 SF)	1 SPACE/50 SF	34 SPACES
PROP. HEALTH CLUB (2) (16,264 SF)	4.5 SPACES/1,000 SF	74 SPACES
COMMUNITY ENRICHMENT CENTER (4,843 SF)	4.5 SPACES/1,000 SF	22 SPACES
OFFICE BUILDING (40,000 SF)	1 SPACE/300 SF	134 SPACES
SPORTS COURTS (3.8 COURTS)	3 SPACES/COURT	11 SPACES
REQUIRED	TOTAL SPACES	419 SPACES
	HANDICAP SPACES	9 SPACES
	BICYCLE SPACES	21 SPACES
PROVIDED:	TOTAL SPACES	419 SPACES
	HANDICAP SPACES	21 SPACES
	BICYCLE SPACES	28 SPACES

NOTES:
 (1*) - PARKING SPACE REQUIREMENT PER DO 98-10-173.000 AND THE VILLAGE OF ESTERO IDC SEC. 34 - 2020.
 (2*) - PROP. HEALTH CLUB AREA INCLUDES 5,153 SF FOR THE NEW ADDITION.
 (3*) - 29 SPACES (11 HANDICAP SPACES) PROPOSED.



**AGNOLI
 BARBER &
 BRUNDAGE, INC.**
 Professional Engineers, Planners,
 Surveyors & Landscape Architects
 Certificate of Registration No. 12
 18 State P.E. No. 12128
 18 State P.L. No. 12128
 18 State P.S. No. 12128

CLIENT NAME:
**THE COMMONS CLUB
 AT THE BROOKS**
 9930 COCONUT ROAD
 ESTERO, FL 34135

PROJECT NAME:
**THE COMMONS CLUB AT
 THE BROOKS**
 DRAWING TITLE:
MASTER SITE PLAN

DESIGNED BY: ABB
DRAWN BY: TMR
CHECKED BY: DAR
REVIEWED BY: JAC
HORIZ. SCALE: 1" = 330'
VERT. SCALE: 1" = 330'
DATE: October 2019
DATUM: NAVD83

ACAD FILE NAME:	12325-ME
ABB PROJECT #:	19-0092
PLOT VIEW / LAYOUT:	03-MSTSITE
SHEET	03
OF	08
ACAD FILE #:	12325

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24x36 SCALE: 1" = 20'
11x17 SCALE: 1" = 40'

PLANT SCHEDULE PARKING

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	NATIVE	SPACING	REMARKS
	QV3	14	Quercus virginiana	Southern Live Oak	65 gal	3" CAL	16" oah	Native		
PALMS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	NATIVE	SPACING	REMARKS
	SP2	5	Sabal palmetto	Cabbage Palmetto	FG		12'-14' oah	Native		
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	NATIVE	SPACING	REMARKS
	DD	64	Duranta repens 'Dwarf Golden'	Golden Dewdrop	3 gal.		24" x 24"	Native	36" o.c.	36" o.c.
	ICS	41	Ixora coccinea 'Nora Grant'	Red Ixora	3 gal					36" o.c.
	JAS	202	Jasminum volubile	Wax Jasmine	3 gal		15'x18'			30" o.c.

GENERAL LANDSCAPE NOTES

- The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
- All recommended trees and plant materials will be graded as Nursery Grade No. 1 or better as outlined by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry "Grades and Standards for Nursery Plants" (as amended).
- All planting shall be done in accordance with the Florida Nurserymen's and Grower's Associations approved practices.
- All plants shall be fertilized with Agriform 20-10-5 tablets as per the manufacturers specifications in conjunction with note # 5.
- The planting soil shall be the approximate proportions as follows: 30% sand and 50% organic material consisting of native peat, well-decomposed sawdust, leaf mold and top soil. It shall provide a good pliable and thoroughly mixed medium with adequate aeration, drainage and water-holding capacity. It shall also be free of all extraneous debris, such as roots, stones, weeds, etc.
- All planting areas shall receive a 2" layer of eucalyptus or approved mulch, which is to be watered-in after installation.
- The plant material schedule is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant key, the plan shall prevail.
- Plants shall meet size, container, and spacing specifications. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
- All tree and shrub locations are subject to change. All locations shall be approved by Agnoli, Barber, & Brundage, Inc. (ABB) prior to planting.
- The Landscape Contractor shall be responsible for examining fully both the site and the bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of discovery. No account shall be made after contract completion for failure to report such condition, or for errors on the part of the Landscape Contractor at the time of bidding.
- The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth in this plan set and the specifications.
- Plant material shall be bid as specified unless unavailable, at which time the Landscape Architect will be notified by telephone and in writing of intended changes.
- Any and all questions concerning the plan set and/or specifications shall be directed to Agnoli, Barber, & Brundage, Inc. (ABB) (239) 597-3111.
- There shall be no additions, deletions or substitutions without the written approval of the Landscape Architect.
- The Landscape Contractor shall guarantee, in writing, plant survivability for a period of twelve (12) months from final acceptance by the Landscape Architect.
- All dimensions to be field-checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the Landscape Architect.
- All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the Landscape Architect with proper installation carried out by Landscape Contractor at no additional cost.
- All permits necessary are to be provided by the installing contractor unless otherwise specifically stated in the specifications.
- No contractor identification signs shall be permitted on the project, except for the project information signs.
- Existing sod shall be removed as necessary to accommodate new plantings.
- Any existing sod areas that are unnecessarily disturbed during the landscape installation shall be reseeded to match existing.
- The Landscape Contractor will be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.

LDC Compliance Schedule

Sec. 10-416 (a)(5) - One tree must be provided per each 3,500 square feet of Development area

TOTAL PLANNED DEVELOPMENT	=	0 Square Feet
TOTAL TREES REQUIRED	=	0
TOTAL TREES/PALMS PROVIDED	=	0

Sec. 10-420 (b) Native varieties - At least 75 percent of the trees and 50 percent of the shrubs used to fulfill the LDC requirements must be native Florida species.

TOTAL TREES	=	0
NATIVE TREES PROVIDED	=	0
PERCENTAGE NATIVE	=	0%
TOTAL SHRUBS	=	0
NATIVE SHRUBS PROVIDED	=	0
PERCENTAGE NATIVE	=	0%

Sec. 33-353 (c) Trees and palms - Code required trees must be a minimum of forty-five gallon container, twelve feet planted height, three inch caliper, and six foot spread.

Sec. 10-416 (b) Building perimeter plantings - Provide perimeter plantings equal to 10% of proposed building gross ground level area.

TOTAL BUILDING AREA	=	0 Square Feet
TOTAL PLANTINGS REQUIRED	=	0 Square Feet
TOTAL PLANTINGS PROVIDED	=	0 Square Feet

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10/08/2019 1:31:04 PM



CLIENT NAME:
THE COMMONS CLUB AT THE BROOKS
9930 COCONUT ROAD
ESTERO, FL 34135

PROJECT NAME:
THE COMMONS CLUB AT THE BROOKS
DRAWING TITLE:
PICKLEBALL PARKING LANDSCAPE PLAN

DESIGNED BY: ABB	
DRAWN BY: BCG	
CHECKED BY: BCG	
REVIEWED BY: ABB	
HOR. SCALE: 1"=20'	
VERT. SCALE: N/A	
DATE: October 2019	
PROJECT NO.	
DWG. NO.	
DATE	
SCALE	
ACAD FILE NAME:	

LANDSCAPE
ABB PROJECT #
19-0024
PLOT VIEW / LAYOUT
L5 LANDSCAPE
SHEET **05**
OF **09**
ACAD FILE #
11988



PLANT SCHEDULE CLUBHOUSE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	NATIVE	SPACING	REMARKS
	QV3	6	Quercus virginiana	Southern Live Oak	65 gal	3'Cal	16' oah	Native		
PALMS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	NATIVE	SPACING	REMARKS
	SP2	10	Sabal palmetto	Cabbage Palmetto	FG		12' - 14' oah	Native		
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	NATIVE	SPACING	REMARKS
	IC3	10	Ixora coccinea 'Nora Grant'	Red Ixora	7 gal		24"x24"			
	PM2	26	Podocarpus macrophyllus	Yew Pine	7 gal.		24"x48"			
	VS2	23	Viburnum suspensum	Sandankwa Viburnum	10 gal.		24"x48"		48" o.c.	
ACCENTS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	NATIVE	SPACING	REMARKS
	CT3	9	Cordyline terminalis 'Aunt Lou'	Red Sister Ti Plant	7 gal		48"x36"			
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	NATIVE	SPACING	REMARKS
	HP2	119	Hamelia patens	Dwarf Fire Bush	3 gal.		24" x 24"	Native		40" o.c.
	JAS	250	Jasminum volubile	Wax Jasmine	3 gal		15"x18"			30" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SIZE	NATIVE	SPACING	REMARKS
	NX3	4	Neoregelia x 'Fireball'	Fireball Bromeliad	1 gal.				18" o.c.	18" o.c.

- GENERAL LANDSCAPE NOTES**
- The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
 - All recommended trees and plant materials will be graded as Nursery Grade No. 1 or better as outlined by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry "Grades and Standards for Nursery Plants" (as amended).
 - All planting shall be done in accordance with the Florida Nurserymen's and Grower's Associations approved practices.
 - All plants shall be fertilized with Agriform 20-10-5 tablets as per the manufacturer's specifications in conjunction with note # 5.
 - The planting soil shall be the approximate proportions as follows: 50% sand and 50% organic material consisting of native peat, well-decomposed sawdust, leaf mold and top soil. It shall provide a good pliable and thoroughly mixed medium with adequate aeration, drainage and water-holding capacity. It shall also be free of all extraneous debris, such as roots, stones, weeds, etc.
 - All planting area shall receive a 2" layer of eucalyptus or approved mulch, which is to be watered in after installation.
 - The plant material schedule is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant key, the plan shall prevail.
 - Plants shall meet size, container, and spacing specifications. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
 - All tree and shrub locations are subject to change. All locations shall be approved by Agnoli, Barber & Brundage, Inc. (ABB) prior to planting.
 - The Landscape Contractor shall be responsible for examining fully both the site and the bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of discovery. No account shall be made after contract completion for failure to report such condition, or for errors on the part of the Landscape Contractor at the time of bidding.
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 - The Landscape Contractor shall guarantee, in writing, plant survivability for a period of twelve (12) months from final acceptance by the Landscape Architect.
 - All dimensions to be field-checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the Landscape Architect.
 - All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the Landscape Architect with proper installation carried out by Landscape Contractor at no additional cost.
 - All permits necessary are to be provided by the installing contractor unless otherwise specifically stated in the specifications.
 - No contractor identification signs shall be permitted on the project, except for the project information signs.
 - Existing soil shall be removed as necessary to accommodate new plantings.
 - Any existing soil areas that are unnecessarily disturbed during the landscape installation shall be reseeded to match existing.
 - The Landscape Contractor will be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.

LDC Compliance Schedule

Sec. 10-416 (a)(5) - One tree must be provided per each 3,500 square feet of Development area

TOTAL PLANNED DEVELOPMENT	=	0 Square Feet
TOTAL TREES REQUIRED	=	0
TOTAL TREES/PALMS PROVIDED	=	0

Sec. 10-420 (b) Native varieties - At least 75 percent of the trees and 50 percent of the shrubs used to fulfill the LDC requirements must be native Florida species.

TOTAL TREES	=	0
NATIVE TREES PROVIDED	=	0
PERCENTAGE NATIVE	=	0%
TOTAL SHRUBS	=	0
NATIVE SHRUBS PROVIDED	=	0
PERCENTAGE NATIVE	=	0%

Sec. 33-353 (c) Trees and palms - Code required trees must be a minimum of forty-five gallon container, twelve feet planted height, three inch caliper, and six foot spread.

Sec. 10-416 (b) Building perimeter plantings - Provide perimeter plantings equal to 10% of proposed building gross ground level area.

TOTAL BUILDING AREA	=	0 Square Feet
TOTAL PLANTINGS REQUIRED	=	0 Square Feet
TOTAL PLANTINGS PROVIDED	=	0 Square Feet



AGNOLI BARBER & BRUNDAGE, INC.
Professional Engineers, Planners, Surveyors,
& Landscape Architects
Certificate of Landscape No. 18-0000000-01
& State of Fla. and D.C. (200402)

Office: 1400 East Road, Suite 200 Naples, FL 34109
Phone: (239) 439-1111
Fax: (239) 439-2291

CLIENT NAME: THE COMMONS CLUB AT THE BROOKS
PROJECT NAME: THE COMMONS CLUB AT THE BROOKS
9930 COCONUT ROAD ESTERO, FL 34135

DRAWING TITLE: LIFESTYLE CENTER LANDSCAPE PLAN

DESIGNED BY: ABB
DRAWN BY: BCG
CHECKED BY: BCG
REVIEWED BY: ABB
HOR. SCALE: 1"=20'
VERT. SCALE: N/A
DATE: October 2019

ACAD FILE NAME: Landscape
ABB PROJECT #: 19-0024
PLOT VIEW \ LAYOUT: L6 LANDSCAPE
SHEET OF: 06 OF 09
ACAD FILE #: 11988

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A photograph of the Aurora Borealis (Northern Lights) over a rocky coastline at night. The sky is dark blue and black, filled with stars and a bright, glowing star-like object. The aurora appears as vibrant green and yellow-green bands of light, some of which are reflected in the water below. The foreground shows a rocky shore with large, dark rocks and a body of water that reflects the light from the aurora and the stars.

Thank You