

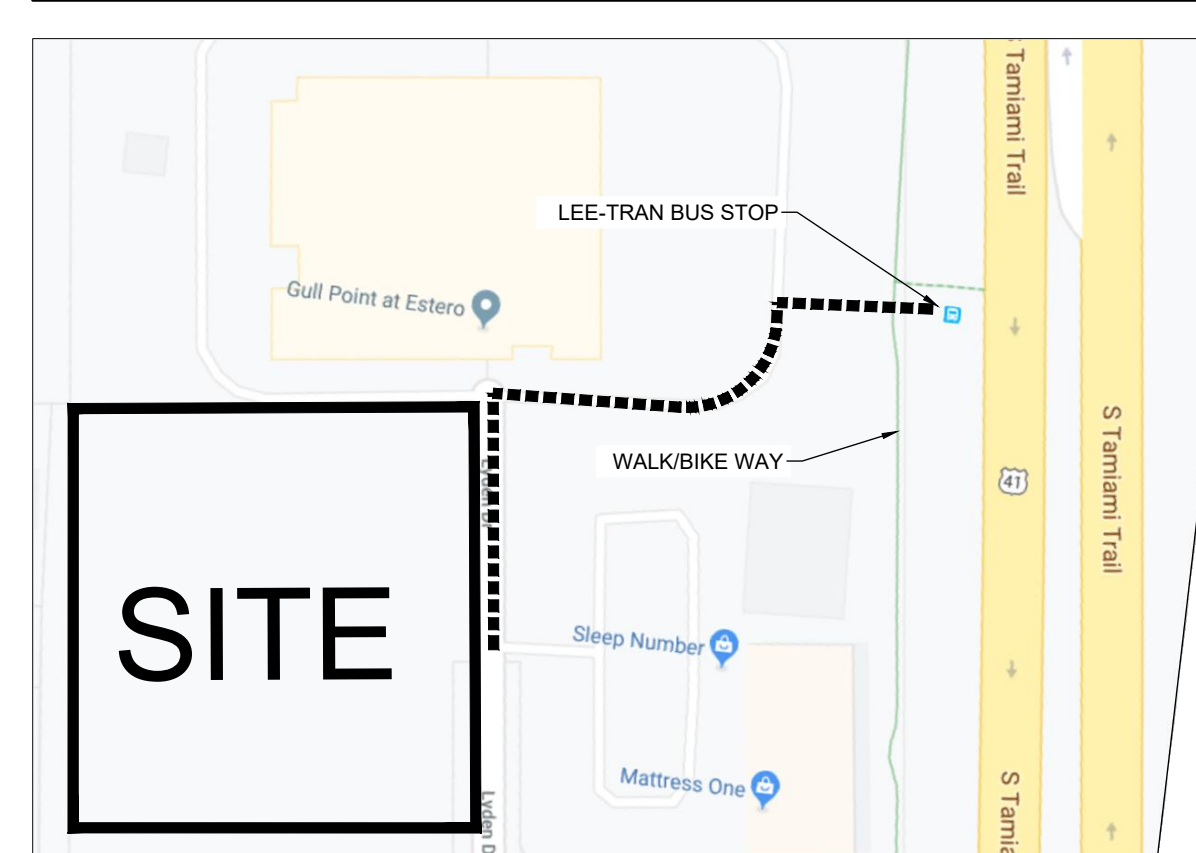
SITE DATA:	
MINIMUM PAVEMENT ELEV.	CONTROL ELEVATION:
ELEV. 13.55' NAVD	ELEV. 11.3' NAVD
MINIMUM FINISH FLOOR ELEVATION:	PERIMETER BERM ELEVATION:
ELEV. 15.55' NAVD	ELEV. 14.55' NAVD
AVERAGE EXISTING GROUND ELEVATION:	STRAP NUMBERS:
ELEV. 13.2' NAVD	04-47-25-E3-S100E.0000
ZONING:	
COM - COMMERCIAL	
PROPOSED USE:	
MEDICAL	
FEMA FLOOD ZONE:	
THIS PROPERTY IS LOCATED FLOOD ZONE X IN FIRM COMMUNITY * PANEL NO. * MAP # * BASE FLOOD ELEV. = N/A DATED: * ** = REFER TO TABLE ABOVE	

SITE DEVELOPMENT REGULATIONS:		
REQUIRED	PROVIDED	
<b>LOT AREA/DIMENSIONS:</b>		
AREA:	43,560 SF	52,299 SF
WIDTH:	100 FT	300 FT ±
DEPTH:	100 FT	500 FT ±
<b>SETBACKS</b>		
ROAD	20 FT	131.73 FT
SIDE YARD	15 FT	15.33 FT
REAR YARD	25 FT	40 FT
MAX. BUILDING HEIGHT	30' (3 STORIES)	<30 FT (1 STORY)
SIDE YARD (ANCLINARY)	15'	15'
MAX. LOT COVERAGE	55 %	50.25 %

REFUSE AND SOLID WASTE DISPOSAL FACILITIES: LDC 10-261	
1. A MINIMUM OVERHEAD CLEARANCE OF 22 FEET IS REQUIRED AND A 12' WIDE UNOBSTRUCTED ACCESS OPENING MUST BE PROVIDED TO ACCOMMODATE ALL STORAGE AREAS/CONTAINERS.	
2. ALL STORAGE AREAS / CONTAINERS MUST BE ADEQUATELY SHIELDED BY LANDSCAPED SCREEN OR SOLID FENCING ALONG AT LEAST THREE SIDES. USE OF CHAIN LINK FENCING TO MEET THIS REQUIREMENT IS PROHIBITED. REFER TO VILLAGE OF ESTERO LDC 10-610(c)(2) FOR GUIDELINES.	
3. COMMERCIAL, INDUSTRIAL & MULTIFAMILY DEVELOPMENT USING A COMPACTOR FOR GARBAGE COLLECTION MUST PROVIDE SUFFICIENT SPACE FOR THE COMPACTOR (INCLUDING RECEIVER) IN ADDITION TO SPACE REQUIRED FOR RECYCLABLE COLLECTION.	
4. ENCLOSURE SETBACKS. CONTAINER SPACE ENCLOSURES USES AS PROVIDED IN ACCORD WITH VILLAGE OF ESTERO LDC 10-416(d)(3) & (4). CONCRETE WALL ENCLOSURES MAY NOT BE LOCATED WITHIN A PUBLIC UTILITY OR DRAINAGE EASEMENT.	
0-5,000 SF REQUIRE 60 SF (GARBAGE) & 24 SF (RECYCLABLE), TOTAL = 84 SF	
5,001 - 10,000 SF REQUIRES 80 SF (GARBAGE) & 48 SF (RECYCLABLE), TOTAL = 128 SF	
10,001 - 25,000 SF REQUIRES 120 SF (GARBAGE) & 86 SF (RECYCLABLE), TOTAL = 216 SF	
25,000 SF + REQUIRES 216 SF FOR THE FIRST 25,000 SF PLUS 8 SF FOR EACH ADDITIONAL 1,000 SF.	
BUILDING USE: 10,760 SF COMMERCIAL BUILDING PROVIDE CALCULATIONS	
TOTAL REQUIRED DISPOSAL AREA (SF) =	216 SF
TOTAL PROVIDED DISPOSAL AREA (SF) =	216 SF

PARKING CALCULATIONS: LDC 34-2020	
<b>MEDICAL FACILITIES</b>	
PARKING SPACES REQUIRED: MEDICAL FACILITIES = 4.5 SPACES PER 1,000 SQ. FT.	
TOTAL FLOOR AREA	10,760 SF
TOTAL NUMBER OF SPACES REQUIRED	49
5% REDUCTION FOR BIKEWAYS / WALKWAYS (LDC 34-2020 (c)(3)) ADJUSTED PARKING PROVIDED	49 - 2 = 47 REQ.
TOTAL NUMBER OF SPACES PROVIDED	50
TOTAL NUMBER OF HANDICAP SPACES PROVIDED *	2
* HANDICAP SPACES ARE INCLUDED IN TOTAL SPACES PROVIDED	

PUBLIC TRANSIT: LDC 10-441	
DISTANCE TO NEAREST PUBLIC TRANSIT ROUTE:	500 LF, LEE TRAN ROUTE 140 / U.S. 41.



LAND USE BREAKDOWN:			
TOTAL SITE AREA	52,299 SF	1.20 AC.	
BUILDING AREA	10,760 SF	0.25 AC.	20.57%
PAVEMENT AREA (ON-SITE)	19,510 SF	0.45 AC.	37.30%
CONCRETE AREA	2,484 SF	0.06 AC.	4.75%
OPEN SPACE	18,055 SF	0.41 AC.	34.52%
CONCRETE / PAVEMENT AREA (OFF-SITE)	496 SF	0.01 AC.	0.95%
TOTAL IMPERVIOUS AREA	32,754 SF	0.75 AC.	62.63%
TOTAL PERVIOUS AREA	19,545 SF	0.45 AC.	37.37%
			100.00%

- SIGNING AND PAVEMENT MARKING NOTES:**
- ALL SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE F.D.O.T. STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, THE F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND VILLAGE OF ESTERO DEPARTMENT OF TRANSPORTATION PUBLISHED STANDARDS.
  - PAVEMENT MARKINGS SHALL BE PERMANENT TRAFFIC PAINT IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS SECTION 710.
  - MATCH EXISTING PAVEMENT MARKINGS AT EXISTING ROADS.
  - REMOVE ANY EXISTING SIGNS OR PAVEMENT MARKINGS IN CONFLICT WITH THOSE SHOWN ON PLANS.
  - ALL STOP SIGN LOCATIONS SHALL INCLUDE A 24" PAINTED WHITE STOP BAR UNLESS NOTED OTHERWISE.
  - THE CONTRACTOR SHALL COMPLY WITH THE STATE OF FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS AND WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
  - THE CONTRACTOR SHALL FURNISH AND INSTALL STREET NAME SIGNS IN ACCORDANCE WITH VILLAGE OF ESTERO DEVELOPMENT STANDARDS.
  - ALL PAVEMENT MARKINGS WITHIN THE FDOT RIGHT OF WAY SHALL BE THERMO PLASTIC
  - ALL EXISTING PAVEMENT MARKINGS THAT ARE IN CONFLICT WITH PROPOSED MARKINGS SHALL BE REMOVED BY HYDRO BLASTING.

**VILLAGE OF ESTERO CONSISTENCY PLAN:**

THE PROPOSED PROJECT IS CONSISTENT WITH THE VILLAGE OF ESTERO LAND DEVELOPMENT CODE AND THE GOALS, OBJECTIVES & POLICIES SET FORTH IN THE VILLAGE OF ESTERO PLAN, INCLUDING BUT NOT LIMITED TO STANDARDS AND PROVISIONS, SITE LOCATION CRITERIA, ACREAGE ALLOCATION TABLE, LAND USE CATEGORY & LAND USE MAP.

- ADA ACCESSIBILITY NOTES:**
- ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (INCLUDES RUNNING SLOPE AND CROSS SLOPE).
  - AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
  - SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
  - IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE RW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
  - IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
  - ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.

**PROJECT PHASING PLAN:**

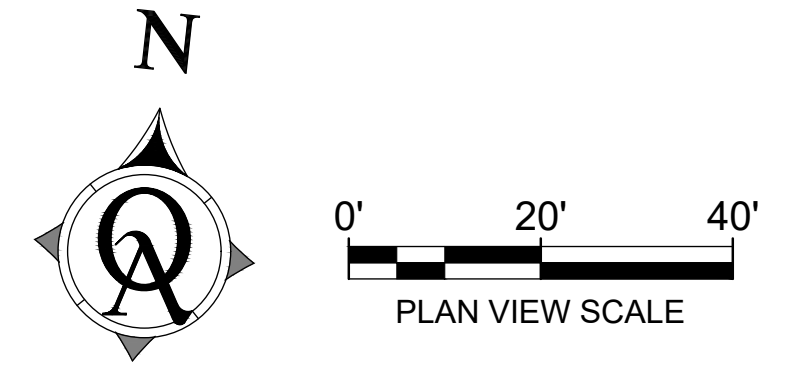
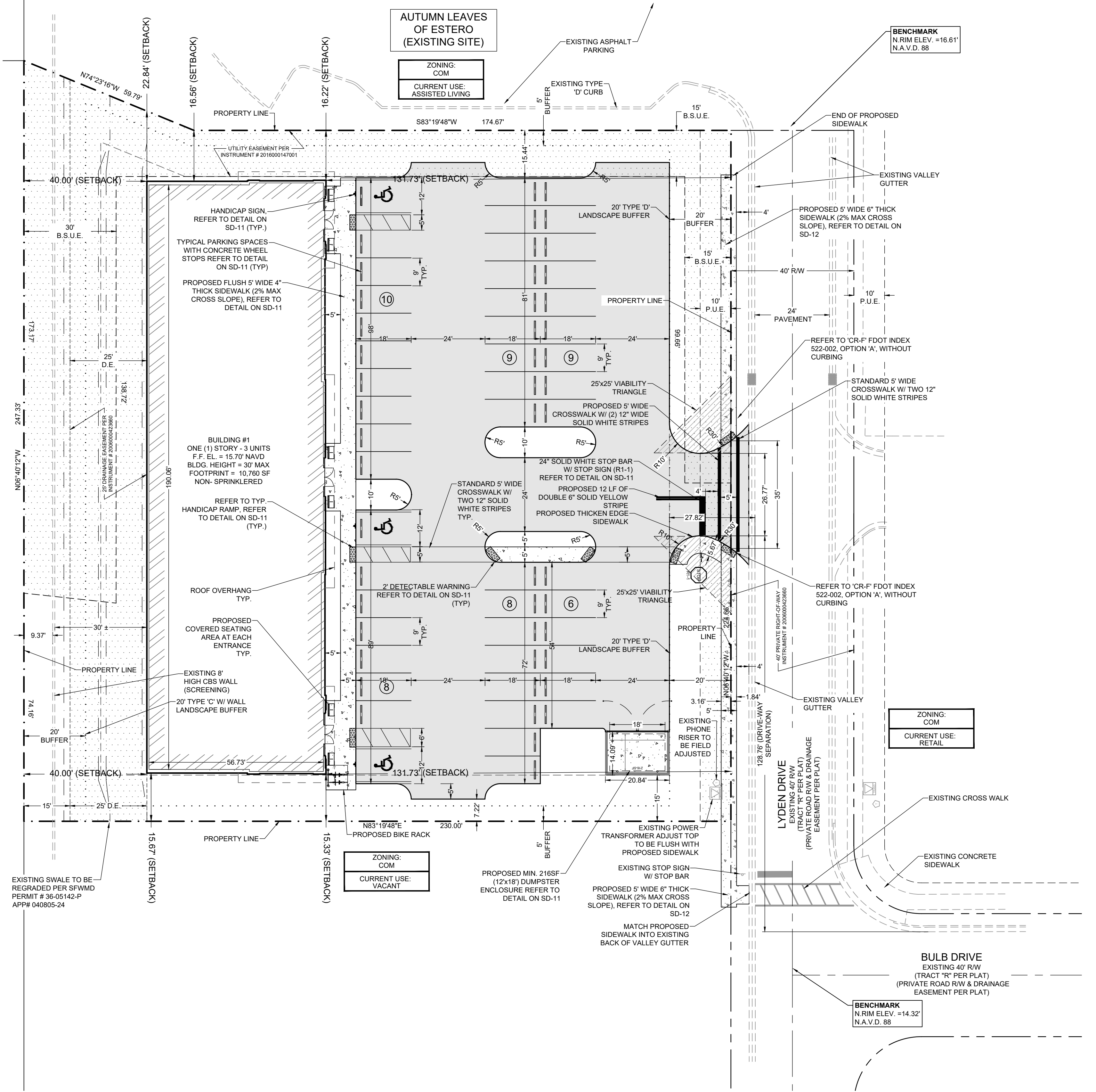
THE PROJECT INFRASTRUCTURE SHALL BE CONSTRUCTED IN 1 PHASE.

SITE PLAN LEGEND:			
	PROPOSED PAVEMENT		DUMPSITER W/ ENCLOSURE
	PROPOSED CONCRETE / WALKS		SIGN AND POST
	PROPOSED BUILDING LINE		
	PAINTED HANDICAP PARKING SYMBOL		
	PROPOSED STOP SIGN		
	NUMBER OF PARKING SPACES IN ROW		

**ZONING NOTES:**

THE PROPOSED DEVELOPMENT COMPLIES WITH THE COMMERCIAL SUBDIVISION APPROVED UNDER RESOLUTION NUMBER Z-00-010.

- THE PROPOSED USES OF HEALTH CARE FACILITIES (GROUP III), MEDICAL OFFICES AND OTHER USES FOR TRACTS "E" AND "F".



JDM DEVELOPMENT		DATE
SITE PLAN		REVISION
22804 LYDEN DRIVE		REV
LEE COUNTY, FLORIDA		
<p><b>Quattrone &amp; Associates, Inc.</b>          Engineers, Planners, &amp; Development Consultants          4301 Veronica Shoemaker Blvd - Fort Myers, Florida 33916 - 239-936-5222          Certificate of Authorization Number: 9465</p>		
<p>VALE ONLY WITH STAMPED SEAL          SAVED BY: Rich          SAVED ON: 12/9/19</p>		
<p>SHEET          SD          06 OF 14</p>		

P:\2019 Projects\190902 COCONUT TRACE\ACTIVE\1-CADD FILES\01-CAD CADD - VERSION A\02-PRODUCTION PLANS\190902-SD



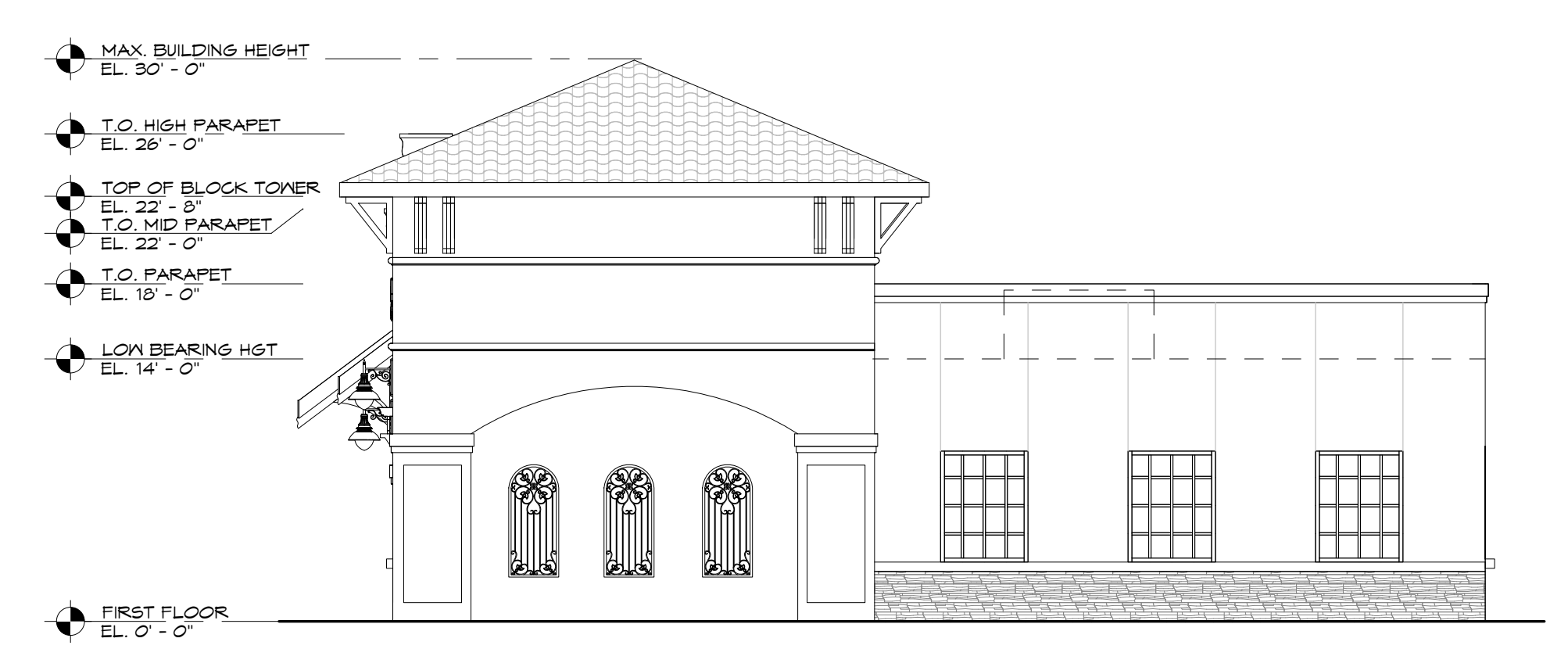
**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



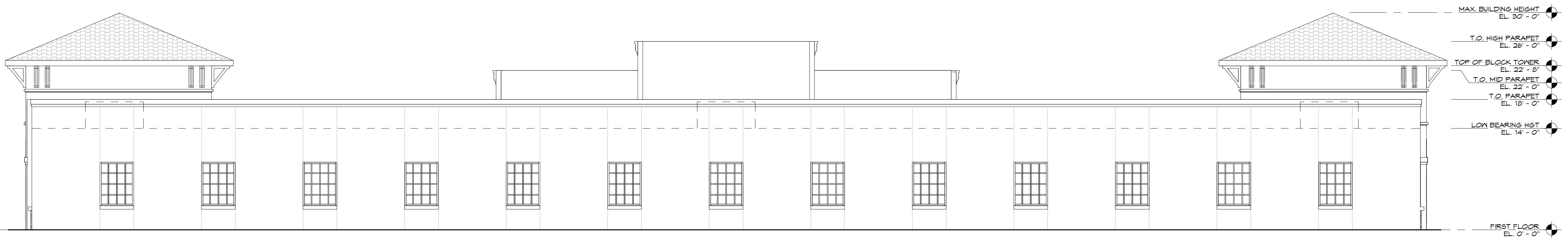
**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



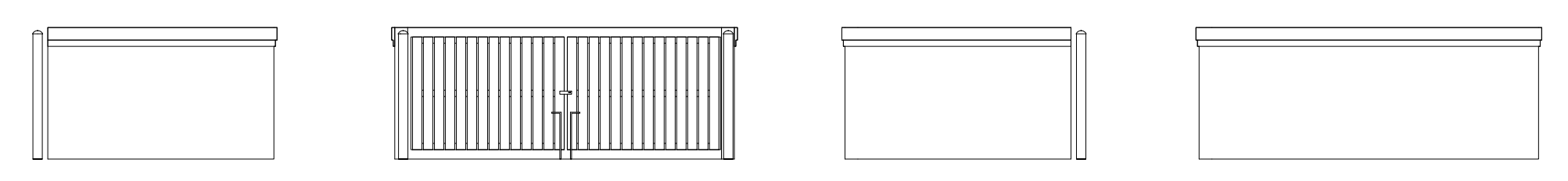
**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"

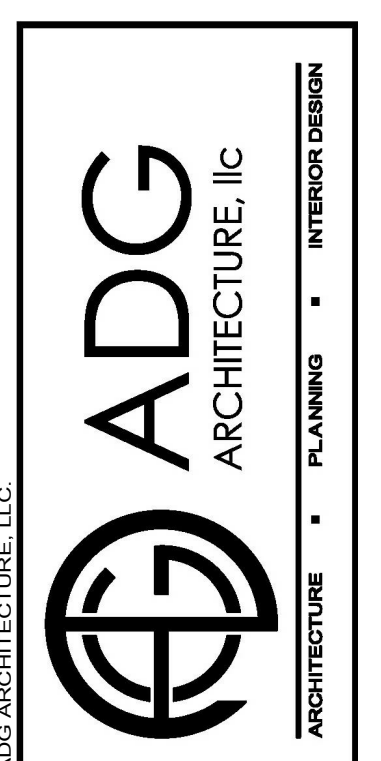


PROVIDE MIN. 216 SF (12X18) DUMPSTER ENCLOSURE. PAINTED STUCCO, COLOR AND FINISH TO MATCH BUILDING.

**DUMPSTER ENCLOSURE ELEVATIONS**

SCALE: 1/8" = 1'-0"

NEW OFFICE BUILDING SHELL FOR:  
**JDM DEVELOPMENT**  
 22904 Lyden Drive  
 Estero, FL 33428

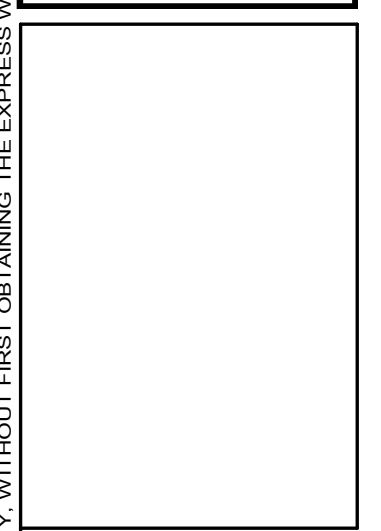


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AA-26002422

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ROBERT T. TAYLOR  
 AR0012668

00 - 00 - 2019

**A201**  
 PROJECT NO. 2019-143

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**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



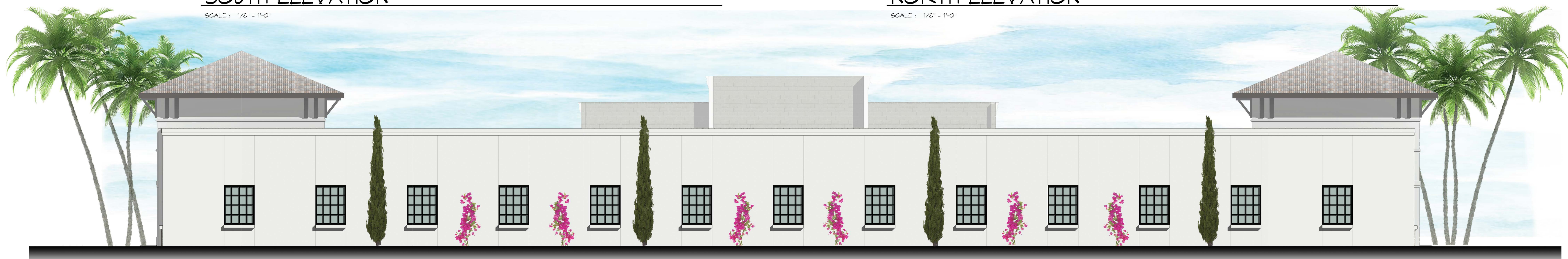
**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"

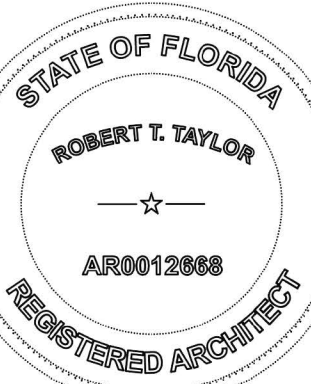
NEW OFFICE BUILDING SHELL FOR:  
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 22904 Lyden Drive  
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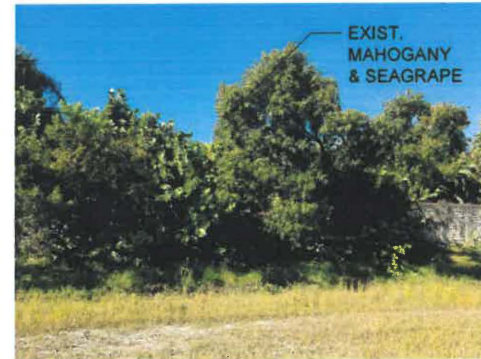
**A201**

PROJECT NO. 2019-143



COMPREHENSIVE FOOT & ANKLE CARE  
JAMES MONROE, D.P.M.

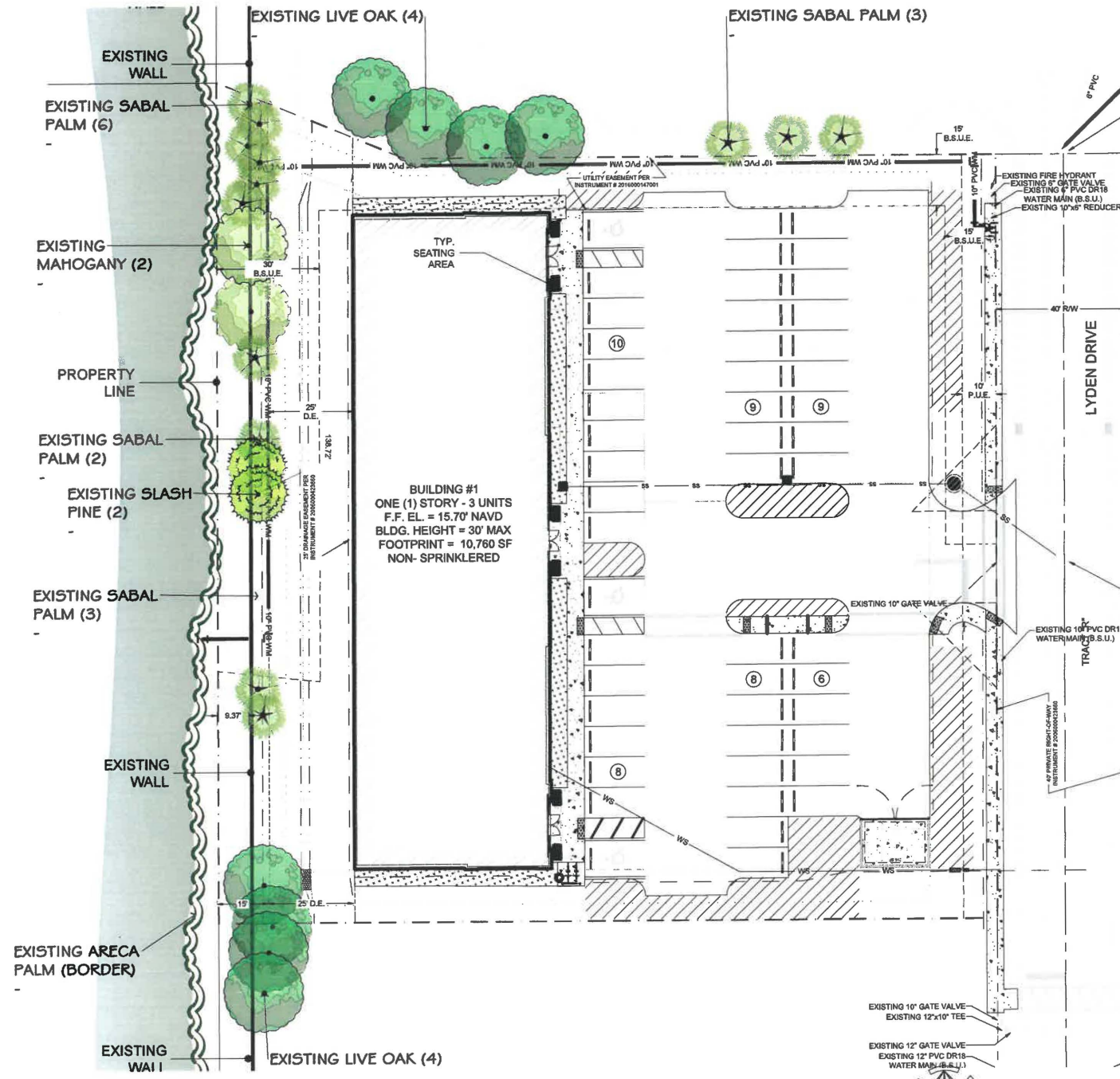
MEDICAL OFFICE BUILDING  
BENTON, LLC



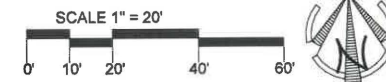
## EXISTING WEST PROPERTY LINE TREES & WALL PHOTOS LOOKING TOWARD RESIDENTIAL COMMUNITY

### GENERAL LANDSCAPE NOTES

1. THE QUALITY OF ALL PLANT MATERIAL WILL MEET THE STANDARDS FOR FLORIDA GRADE NO.1 (or better), AS GOVERNED IN "GRADES AND STANDARDS FOR NURSERY PLANTS".
2. ALL PLANTED TREES AND PALMS WILL HAVE A 3" DEEP SAUCER CONSTRUCTED FROM THE TRUNK OF THE TREE OR PALM. MINIMUM OF 4' DIAMETER.
3. ALL PLANTING BEDS SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF MULCH AND SHALL BE WEED FREE. MULCH SHALL BE GRADE B OR BETTER. CONTRACTOR SHALL REMOVE ANY VEGETATIVE GROWTH AND APPLY A PRE-EMERGENT WEED KILLER PER SPECIFICATIONS PRIOR TO MULCHING.
4. NO CODE REQUIRED PLANTINGS SHALL BE INSTALLED IN EASEMENTS. ABOVE CODE PLANTINGS SHALL BE REPLACED AT THE OPTION AND COST OF DEVELOPER SHOULD FUTURE UTILITY WORK REQUIRE REMOVAL.
5. ANY AND ALL EXOTIC VEGETATION INCLUDING: EARLEAF ACACIA, WOMAN'S TONGUE, BISHOPWOOD, AUSTRALIAN PINE, CARROTWOOD, ROSEWOOD, AIR POTATO, MURRAY RED GUM, WEEPING FIG, CUBAN LAUREL FIG, JAPANESE CLIMBING FERN, OLD WORD CLIMBING FERN, MELALEUCA, DOWNY ROSE MYRTLE, CHINESE TALLOW, BRAZILIAN PEPPER, FLORIDA HOLLY, TROPICAL SODA APPLE, JAVA PLUM, ROSE APPLE, CORK TREE AND WEDELIA, ON THE PROPERTY SHALL BE COMPLETELY REMOVED AND DISPOSED OF OFF SITE BY THE CONTRACTOR. THE SITE SHALL BE MAINTAINED FREE OF INVASIVE EXOTIC VEGETATION IN PERPETUITY.
6. TREES SHALL BE A MINIMUM OF 12'-14" IN HEIGHT WITH A 3" CALIPER MEASURED AT 1' ABOVE GROUND LEVEL WITH A SIX FOOT CANOPY UNLESS SPECIFIED AS 20' TALL TREES PER PLAN AND PLANT LIST.
7. A MINIMUM OF 100% OF THE CODE BUFFER TREES AND SHRUBS SHALL BE OF A NATIVE SPECIES.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE LOCATIONS OF ALL UTILITIES AND ALL SITE CONDITIONS PRIOR TO THE START OF LANDSCAPE INSTALLATION.
9. FERTILIZER SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND VILLAGES OF ESTERO OR LOCAL ORDINANCES
10. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINE GRADE ALL PLANTING AND SODDING AREAS PRIOR TO PLANT OR SOD INSTALLATION. CONTRACTOR SHALL OBTAIN OWNER APPROVAL OF FINAL GRADES.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE TAKEOFFS. PLANT LIST IS PROVIDED FOR REFERENCE ONLY.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE UNTIL FINAL ACCEPTANCE AND IN COMPLIANCE WITH SPECIFICATIONS.
13. CONTRACTOR SHALL REMOVE ALL TAGS, TAPE AND SUPPORTS (EXCEPT STAKING GUYS) FROM ALL PLANTINGS PRIOR TO FINAL ACCEPTANCE.
14. ALL AREAS OF THE SITE NOT PLANTED SHALL BE SODDED IN ACCORDANCE WITH PLANS. REFER TO ENGINEERING PLANS FOR ADDITIONAL SPECIFICATIONS.
15. THE REQUIRED PLANTINGS SHALL BE IRRIGATED IN ACCORDANCE WITH LDC REQUIREMENTS. REFER TO CONSTRUCTION DOCUMENTS FOR COMPLETE IRRIGATION PLANS.
16. THE PARKING LOTS SHALL BE SLEEVED FOR IRRIGATION BY THE LANDSCAPE CONTRACTOR. COORDINATE WITH CIVIL ENGINEERING PLANS.
17. ALL BASE ROCK SHALL BE REMOVED FROM LANDSCAPE PARKING ISLANDS.
18. PRIOR TO CERTIFICATE OF COMPLIANCE NO TREES SHALL BE PLANTED WHERE THEY INTERFERE WITH BUILDINGS, UTILITIES, SITE DRAINAGE, VIEWS, SIGNS, OR WHERE THEY WILL REQUIRE FREQUENT PRUNING TO AVOID POWER LINES AT MATURE HEIGHTS IN PERPETUITY UNLESS A WRITTEN STATEMENT IS PROVIDED PER LDC SEC.10-421.A.5.
19. THE CONTRACTOR SHALL PROVIDE (PRESSURE COMPENSATING SCREENS) AS NECESSARY TO REDUCE OR ELIMINATE OVERSPRAY INTO STREETS, WALKS OR OTHER AREAS AS DICTATED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
20. PLANS PREPARED FOR DEVELOPMENT ORDER APPROVAL. REFER TO ADDITIONAL LANDSCAPE CONSTRUCTION DOCUMENTS FOR PLANTING SPECIFICATIONS.
21. ALL TREES PLANTED IN BSU EASEMENT SHALL BE LOCATED A MINIMUM OF 7.5' FROM ALL BSU SERVICE INFRASTRUCTURE.



### SITE LANDSCAPE CALCULATIONS



### SITE DEVELOPMENT DATA

TOTAL SITE = 1.20 Ac. (52,299 S.F.)

#### OPEN SPACE REQUIREMENTS

35% OPEN SPACE REQUIRED  
52,290 X 20% = 10,458 SF REQUIRED.  
OPEN SPACE (PER HATCHING) = 13,750 SF PROVIDED PER HATCHING.

#### INDIGENOUS OPEN SPACE REQUIREMENTS

NOT APPLICABLE

#### HERITAGE TREES

NO HERITAGE TREES EXIST ON THE SITE

#### GENERAL TREE CREDITS

NO TREE CREDITS TAKEN

#### GENERAL TREE REQUIREMENTS (PARCEL G EAST)

1 TREE PER 3,500 SF OF SITE AREA  
52,290 / 3,500 = 15 TREES REQUIRED AND 15 PROVIDED.  
NOTE: 16' TREES MAY BE USED AT A 2:1 CREDIT FOR GENERAL TREES. GENERAL TREE REQUIREMENTS MAY NOT BE REDUCED MORE THE 50%. A MAXIMUM OF 7-16' TREES MAY BE USED AT 2:1 CREDIT TOWARDS GENERAL TREES (CREDIT TREES, IF ANY, DEPICTED IN PLANT LIST)

#### INTERNAL PARKING LANDSCAPE REQUIREMENTS

INTERNAL LANDSCAPE AREAS OF 10% OF THE PARKING AREA IS REQUIRED = 19,510 SF X 10% = 1,951 SF MINIMUM REQUIRED AND 1,960 SF PROVIDED PER HATCHING.  
MIN. 1 TREE PER 250 SF.  
1,951 / 250 = 8 TREES REQUIRED AND 8 PROVIDED  
NO MORE THAN 10% OF PLANTING AREA TO BE IN TURF. APPROXIMATELY 195 SHRUBS OR GROUNDCOVERS ARE PROVIDED.

#### WATER MANAGEMENT PLANTING REQUIREMENTS

PER SECTION 33-111(d) OF SUBDIVISION 1 OF ESTERO PLANNING COMMUNITY REGULATIONS:  
DETENTION BASINS MUST BE PLANTED WITH WETLAND SPECIES AT 36" OC THROUGHOUT THE BASIN.

#### BUILDING PERIMETER PLANTING REQUIREMENTS

10,760 SF. BLDG X 10% = 1,076 SF OF BUILDING PERIMETER PLANTING REQUIRED AND 1,100 PROVIDED PER HATCHING.

#### BUFFER REQUIREMENTS:

**PROJECT EAST BUFFER**  
COM TO R.O.W.  
20' MINIMUM WIDTH, TYPE 'D' BUFFER REQUIRED, W/ 5 TREES AND 66 SHRUBS PER 100 LINEAL FOOT.  
173 LF. (EXCLUDING EASEMENTS & ACCESS) / 100 X 5 = 9 TREES REQUIRED AND 9 PROVIDED.  
173 LF / 3 X 2 = 115 SHRUBS REQUIRED AND 115 PROVIDED. REQUIRED TREES AND SHRUBS LABELED AS (S.B.).

#### PROJECT SOUTH BUFFER

COM TO COM  
5' TYPE 'A' BUFFER REQUIRED, W/ 4 TREES PER 100 LINEAL FOOT.  
180 L.F. (EXCLUDING EASEMENTS) / 100 X 4 = 7 TREES REQUIRED AND 7 PROVIDED. REQUIRED TREES AND SHRUBS LABELED AS (S.B.).

#### PROJECT WEST BUFFER

COM TO S.F.  
20' MINIMUM WIDTH, TYPE 'C/F' BUFFER REQUIRED, W/ 10 TREES AND 30 SHRUBS PER 100 LINEAL FOOT.  
215 LF. (EXCLUDING EASEMENTS) / 100 X 10 = 22 TREES REQUIRED AND 22 PROVIDED THROUGH EXISTING AND PROPOSED.  
215 LF / 100 X 30 = 65 SHRUBS REQUIRED AND 65 PROVIDED. REQUIRED TREES AND SHRUBS LABELED AS (W.B.).

#### PROJECT NORTH BUFFER

COM TO COM  
5' TYPE 'A' BUFFER REQUIRED, W/ 4 TREES PER 100 LINEAL FOOT.  
184 L.F. (EXCLUDING EASEMENTS) / 100 X 4 = 7 TREES REQUIRED AND 7 PROVIDED. REQUIRED TREES AND SHRUBS LABELED AS (N.B.).

TYPICAL EASEMENT AREA REFER TO ENGINEERING PLANS FOR SPECIFIC EASEMENT INFORMATION



**DMJA**

DAVID M. JONES, JR.  
AND ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS  
AND PLANNERS

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Fort Myers, Florida 33901  
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Fax: (239) 337-4494

4161 Tamiami Trail, Bldg. 5,  
Unit 501  
Port Charlotte, Florida 33952  
Phone: (941) 235-2217  
Fax: (239) 337-4494

L.A. LICENSE: LC 000063

### PROJECT INFORMATION:

**JDM DEVELOPMENT**

22904 LYDEN DRIVE  
VILLAGES OF ESTERO,  
FLORIDA

PREPARED FOR:  
**Mr. Jeffrey Motto**  
JDM DEVELOPMENT  
14290 Metropolis Avenue  
Suite 1  
Fort Myers, FL 33912  
Tel: 239-275-1114

### CONSULTANT:

GREGORY J. DISERIO, RLA  
RLA NO. 940 DATE:  
STATE OF FLORIDA

### DESIGN PROFESSIONAL:

PROJECT NO. 219146  
PROJECT MGR: GREG DISERIO  
FILE NAME: JDM DEVELOPMENT L5.dwg  
DESIGNER: GJD  
CAD TECH: GJD  
CHECKED BY: GJD  
ISSUED FOR:  
DESIGN REVIEW BOARD

ISSUED DATE: DEC. 18, 2019  
REVISIONS:

SHEET TITLE:  
**SITE LANDSCAPE CALCULATIONS**

SHEET NUMBER:  
**L-1**





**DMJA**

DAVID M. JONES, JR.  
AND ASSOCIATES, INC.

LANDSCAPE ARCHITECTS  
AND PLANNERS

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22904 LYDEN DRIVE  
VILLAGES OF ESTERO,  
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PREPARED FOR:  
**Mr. Jeffrey Motto  
JDM DEVELOPMENT  
14290 Metropolis Avenue  
Suite 1  
Fort Myers, FL 33912  
Tel: 239-275-1114**

CONSULTANT:

DESIGN PROFESSIONAL:

GREGORY J. DISERIO, RLA  
FLA. NO. 540 DATE:  
STATE OF FLORIDA

PROJECT NO. 219146

PROJECT MGR: GREG DISERIO

FILE NAME: JDM DEVELOPMENT L8

DESIGNER: GJD

CAD TECH: GJD

CHECKED BY: GJD

ISSUED FOR:  
DESIGN REVIEW BOARD

ISSUED DATE: DEC. 18, 2019

REVISIONS:

SHEET TITLE:

**LANDSCAPE  
PLAN**

SHEET NUMBER:

**L-2**



**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	ACE RE5	6	Acer rubrum	Red Maple	Min. 16' Ht., 6' Sprd.
	ADO C32	1	Adoridia merrilli	Christmas Palm	Min. 10' Clear Trunk
	COC DIV	14	Coccoloba diversifolia	Pigeon Plum	Min. 2" Cal., 10' Ht., 4' Sprd.
	CON ERE	11	Conocarpus erectus	Green Buttonwood	Min. 2" Cal., 10' Ht., 4' Sprd.
	SAB SAB	39	Sabal palmetto	Cabbage Palmetto	Min. 10' Clear Trunk
	TAX DIS	3	Taxodium distichum	Bald Cypress	Min. 2" Cal., 10' Ht., 4' Sprd.

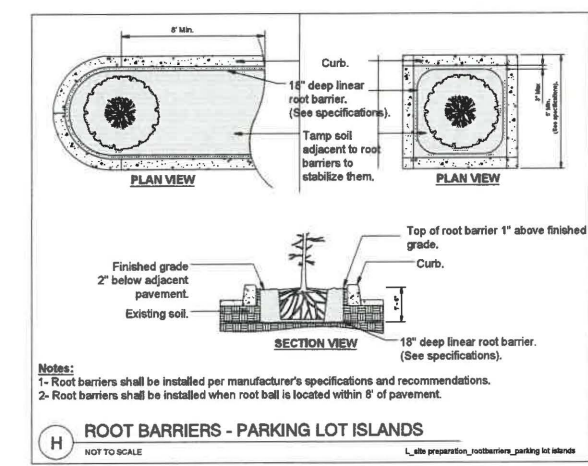
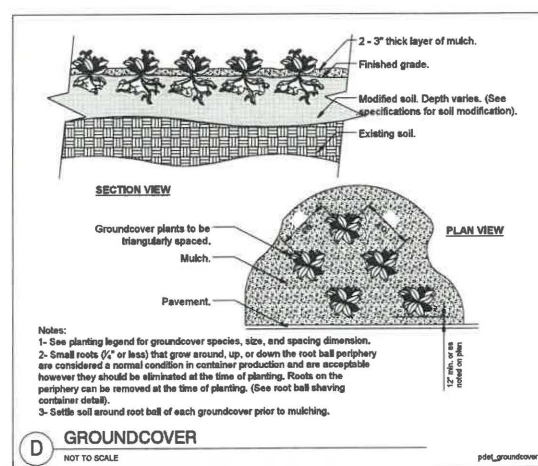
  

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	Clu aut	11	Clusia rosea	Pitch Apple	Min. 24" Ht., 3 Gallon
	Em li2	91	Emodea littoralis	Golden Creeper	Min. 1 Gallon, 16"-18" Ht.
	Fic gr7	15	Ficus microcarpa 'Green Island'	Green Island Ficus	Min. 24" Ht., 3 Gallon
	Muh ca2	52	Muhlenbergia capillaris	Pink Muhly Grass	Min. 18" Ht., 3 Gallon
	Myr fr2	60	Myrcianthes fragrans	Simpson's Stopper	Min. 24" Ht., 3 Gallon
	Spa bak	86	Spartina bakeri	Sand Cordgrass	Min. 18" Ht., 3 Gallon
	Vib ob2	35	Viburnum obovatum	Walter's Viburnum	Min. 24" Ht., 3 Gallon
	Vib ml2	23	Viburnum obovatum 'Miss Shillers Delight'	Small-Leaf Arrowwood	Min. 24" Ht., 3 Gallon

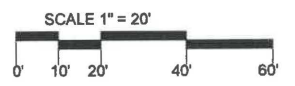
PLANT LIST IS FOR REFERENCE ONLY. QUANTITIES SHOWN ON PLAN SUPERCEDE QUANTITIES PROVIDED IN THE ABOVE LIST.

**EXISTING TREE LEGEND**

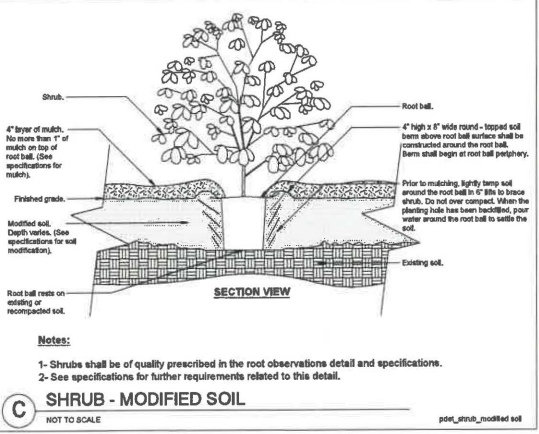
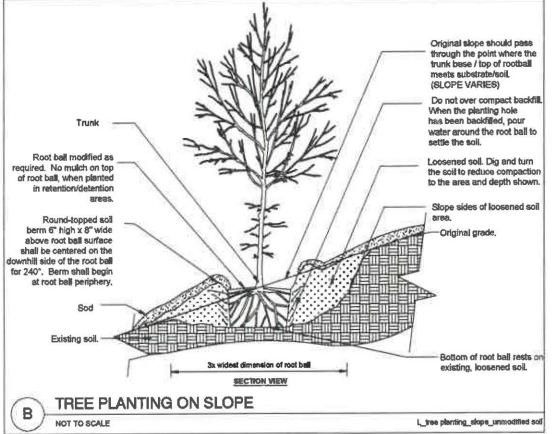
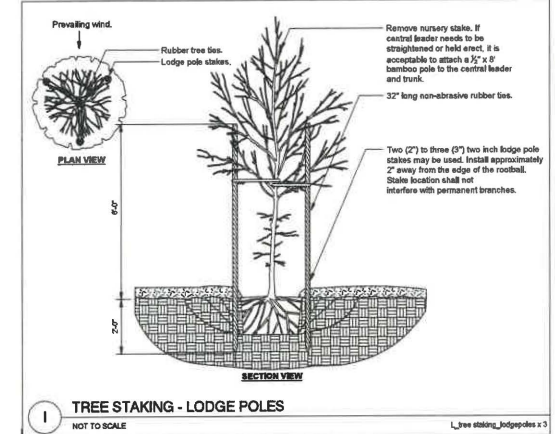
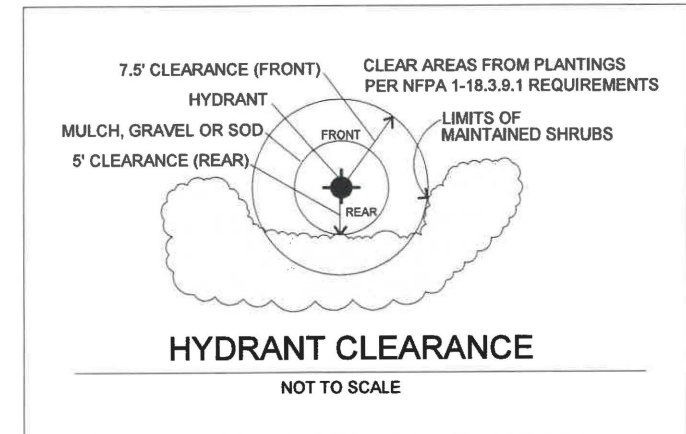
	EXISTING MAHOGANY	2
	EXISTING SABAL PALM	14
	EXISTING LIVE OAK	8
	EXISTING SLASH PINE	2



**LANDSCAPE PLAN**



TYPICAL EASEMENT AREA  
REFER TO ENGINEERING PLANS FOR  
SPECIFIC EASEMENT INFORMATION







CHRISTMAS PALM



PIGEON PLUM



GREEN BUTTWOOD



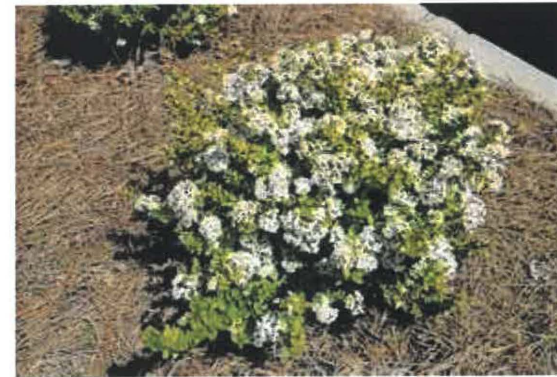
BALD CYPRESS



SIMPSON STOPPER



PITCH APPLE



MRS. SCHILLER'S DELIGHT VIBURNUM



WALTER'S VIBURNUM



RED MAPLE



MUHLY GRASS



GREEN ISLAND FICUS



GOLDEN CREEPER



SPARTINA / CORD GRASS



**DMJA**

DAVID M. JONES, JR.  
AND ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS  
AND PLANNERS

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L.A. LICENSE: LC 000063

PROJECT INFORMATION:

JDM  
DEVELOPMENT

22904 LYDEN DRIVE  
VILLAGES OF ESTERO,  
FLORIDA

PREPARED FOR:  
Mr. Jeffrey Motto  
JDM DEVELOPMENT  
14290 Metropolis Avenue  
Suite 1  
Fort Myers, FL 33912  
Tel: 239-275-1114

CONSULTANT:

DESIGN PROFESSIONAL:

GREGORY J. DISERIO, RLA  
RLA NO. 846 DATE:  
STATE OF FLORIDA

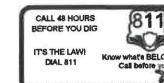
PROJECT NO.:	219146
PROJECT MGR.:	GREG DISERIO
FILE NAME:	JDM DEVELOPMENT LS
DESIGNER:	GJD
CAD TECH:	GJD
CHECKED BY:	GJD
ISSUED FOR:	DESIGN REVIEW BOARD

ISSUED DATE: DEC. 18, 2019

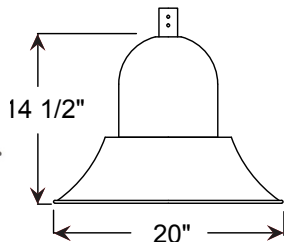
REVISIONS:

SHEET TITLE:  
PLANT IMAGE  
BOARD

SHEET NUMBER:  
**IMAGES**







Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_  
 Customer: \_\_\_\_\_

### Specifications

**Material:**  
 All parts are durable 356 cast aluminum and high strength aluminum spinings. All hardware provided shall be stainless steel or zinc plated steel.

**Fixture Mounting:**  
 Pendant Mount: Pin mount to tenon. Fits 3" and 4" poles.

**Drivers:**  
 Universal voltage 120-277 is standard. 0-10V dimming is standard for LED platforms.

See page 2 for LED engine and driver specifications.

**Electrical:**  
 Approximately 12" of pull wire extends from luminaire. Additional pull wire provided for post mount arms and wall mounts.



**Finish:**  
 A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.

Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

**Modifications:**  
 Consult factory for custom or modified designs.

## BVF2001 - LED

Dark Sky Friendly.

Weight: 8.5 lbs

EPA: 0.86

BUG: \*See table below

### Catalog Logic

<b>BVF2001</b>	<b>P078LD4</b>	<b>D</b>	<b>T5</b>	<b>40K</b>	<b>- PC</b>	<b>- PA1613</b>	<b>- 72</b>
Luminaire Series	Light Source & Wattage	Dimming	Optic	CCT	Accessories	Mounting	Finish

Catalog Number	1	2	3	4	5	6	7
<b>BVF2001</b>		<b>D</b>					

1 LIGHT SOURCE & WATTAGES
<b>P029LD4</b> (29w Platform; 400ma Driver)
<b>P046LD4</b> (46w Platform; 400ma Driver)
<b>P078LD4</b> (78w Platform; 400ma Driver)
<b>P117LD4</b> (117w Platform; 400ma Driver)

2 DIMMING
<b>D</b> (Dimming)
See page 2 table for LED engine and driver specs, voltage and dimming protocols.

3 OPTICS
<b>T2</b> (Type II)
<b>T3</b> (Type III)
<b>T5</b> (Type V)

4 COLOR TEMPERATURE (CCT)
<b>27K</b> (2700K)
<b>30K</b> (3000K)
<b>35K</b> (3500K)
<b>40K</b> (4000K)

*BUG RATING TABLE	
<b>B1-U0-G1</b>	<b>P046LD4NT340K</b>
<b>B1-U0-G1</b>	<b>P046LD4NT540K</b>
<b>B3-U0-G1</b>	<b>P078LD4NT340K</b>
<b>B2-U0-G2</b>	<b>P078LD4NT540K</b>
<b>B3-U0-G2</b>	<b>P117LD4NT340K</b>
<b>B4-U0-G2</b>	<b>P117LD4NT540K</b>

5 ACCESSORIES
<b>HSS90</b> (90° House Side Shield, polished)
<b>HSS120</b> (120° House Side Shield, polished)
<b>4ST36</b> (3 Ft, 1 1/4" Ridged Stem & Canopy)
<b>PEND-CH3</b> (3 Ft Pendant Chain & Canopy)
<b>*EMG-LED20HV</b> (20w, High Voltage LED Emergency Driver, remote placement, for use with Platforms and Towers, 78w or less)
<b>HLMSPC-06</b> (High-Low Motion Sensor/Photocell; 15' - 30' Sensor Mounting Height)
<b>HLMSPC-10</b> (High-Low Motion Sensor/Photocell; 8' - 15' Sensor Mounting Height)
<b>PA-BF</b> (Post Arm Ball Fitter)
<b>PA-BFS</b> (Post Arm Ball Fitter w/Swivel)
<b>PC</b> (Button Photo Cell)
<b>SP</b> (Surge Protector, 10kA & 10kV)
<b>TLPC</b> (Twist Lock photo cell & receptacle)
<b>TL</b> (Twist Lock receptacle only)
<b>TL5</b> (5-pin Twist Lock receptacle)
<b>TL7</b> (7-pin Twist Lock receptacle)

\*For Emergency lumen output data, see Resources section at [www.ANPLighting.com](http://www.ANPLighting.com).

6 MOUNTING SOURCE			
Post Mount Arms		Wall Mount Arms	
*See Page 3 for Style/Size		*See Page 3 for Style/Size	
<b>PA0413</b>	<b>PA6213</b>	<b>WM0413</b>	<b>WM5163</b>
<b>PA1613</b>	<b>PA8453</b>	<b>WM1613</b>	<b>WM5603</b>
<b>PA1753</b>		<b>WM1763</b>	
<b>PA2023</b>		<b>WM1773</b>	
<b>PA2313</b>		<b>WM2313</b>	
<b>PA2613</b>		<b>WM3003</b>	
<b>PA3113</b>		<b>WM3203</b>	
<b>PA3213</b>		<b>WM3553</b>	
<b>PA3533</b>		<b>WM4513</b>	
<b>PA5153</b>		<b>WM5143</b>	
Column Mount			
*See Page 3 for Style/Size			
<b>CM</b>	Column Mount		

7 FINISHES					
Standard Grade	Marine Grade		Standard Grade	Marine Grade	
<b>40</b>	<b>NA</b>	Raw Unfinished	<b>53</b>	<b>100</b>	Copper Clay
<b>41</b>	<b>101</b>	Black	<b>56</b>	<b>109</b>	Silver
<b>42</b>	<b>102</b>	Forest Green	<b>61</b>	<b>106</b>	Black Verde
<b>43</b>	<b>114</b>	Bright Red	<b>70</b>	<b>118</b>	Painted Chrome
<b>44</b>	<b>107</b>	White	<b>71</b>	<b>105</b>	Painted Copper
<b>45</b>	<b>112</b>	Bright Blue	<b>72</b>	<b>108</b>	Textured Black
<b>46</b>	<b>123</b>	Sunny Yellow	<b>73</b>	<b>125</b>	Matte Black
<b>47</b>	<b>120</b>	Aqua Green	<b>76</b>	<b>121</b>	Textured Architectural Bronze
<b>49</b>	<b>NA</b>	Galvanized	<b>77</b>	<b>127</b>	Textured White
<b>50</b>	<b>111</b>	Navy	<b>78</b>	<b>124</b>	Textured Silver
<b>51</b>	<b>103</b>	Architectural Bronze	<b>10</b>	<b>130</b>	Aspen Green
<b>52</b>	<b>104</b>	Patina Verde	<b>11</b>	<b>131</b>	Cantaloupe
<b>12</b>	<b>133</b>	Lilac	<b>13</b>	<b>132</b>	Putty

Consult factory for additional paint charges and availability

Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_  
 Customer: \_\_\_\_\_

## LED PERFORMANCE

### PLATFORM

LED Wattage	CCT	Typical Luminous Flux	System Wattage	Typical Efficacy
29W	2700K	2670	30w	89
	3000K	2670	30w	89
	3500K	3209	30w	107
	4000K	3465	30w	116
46W	2700K	4004	46w	87
	3000K	4004	46w	87
	3500K	4814	46w	105
	4000K	5197	46w	115
78W	2700K	7041	80w	88
	3000K	7041	80w	88
	3500K	8464	80w	106
	4000K	9138	80w	114
117W	2700K	10561	120w	88
	3000K	10561	120w	88
	3500K	12696	120w	106
	4000K	13707	120w	114

### PLATFORM SPECIFICATION:

- Efficacy ranges from 80-116 lumens per watt
- Customized lens precisely directs the light
- Operating temperature of -30C to 55C
- Life: L70 is 60,000 hours
- PLATFORM CCT: 2700K, 3000K, 3500K, and 4000K
- TOWER CCT: 4000K
- CRI: >70
- Parallel circuitry ensures consistent light output in the event of single LED failure

### PLATFORM LISTINGS

- Fully compliant with the RoHS Directive
- Certifications: ETL
- Rated IP65 with an optional IP66 rating

### PLATFORM DRIVER SPECIFICATION:

- Operates at 400mA
- Dimmable down to 10%
- Built in surge protection
- Constant current output 50/60HZ
- Driver Efficiency > 90% power factor above 99%
- 120 – 277 volts
- 0-10V dimming protocol is standard

## WARRANTY

See [www.ANPLighting.com](http://www.ANPLighting.com) for complete fixture warranty.

LED warranty information

- 7 year limited warranty\* on Platform LED engines
- 5 year limited warranty\* on Platform Drivers

\*Limited Warranty: A typical year is defined as 4380 hours of operation. Failure defined as more than 10% of the total platform LED's not operating.

## ACCESSORIES



HSS90 & HSS120



4ST36



PEND-CH3



EMG-LED20HV



HLMSPC-06 & HLMSPC-10



PA-BF



PA-BFS



PC



TLPC



TL



TL5 & TL7

Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_  
 Customer: \_\_\_\_\_

**POST MOUNTS** | See Post Arm Section on Website for Specification Sheets and additional post arms.



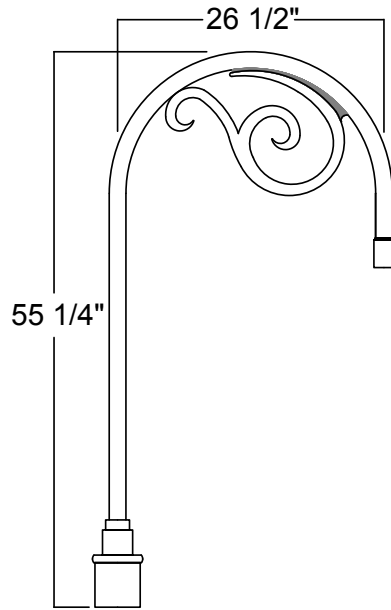
**COLUMN MOUNT**



**CM** 5 3/4" SQ x 3 1/2" H

**WALL MOUNTS** | See Wall Mount Section on Website for Specification Sheets and additional wall mount arms.





Project: \_\_\_\_\_

Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_

Customer: \_\_\_\_\_



Illuminating  
ENGINEERING SOCIETY

Weight: 13.0 lbs

EPA: 1.1

### Specifications

**General:**

Due to size or weight, arms mounts may not accommodate all ANP luminaires.

**Material:**

All parts are durable 356 cast aluminum and high strength extruded aluminum. All hardware provided shall be stainless steel or zinc plated steel.

**Fixture Mounting:**

Pin mount to tenon.

**Post Arm Mounting:**

Slip tenon to accommodate 3", 4" and 5" pole. Pole section of arm matches pole diameter and style.

**Electrical:**

Pull wire provided.

**Finish:**

A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.

Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

**Modifications:**

Consult factory for custom or modified designs.

## PA164 - POST ARM

Extruded aluminum post arm for pendant fixture.

### Catalog Logic

**PA164** - **3** - **4** - **N/A** - **3** - **S** - **72**

Post Arm Style

Pendant Post

Number of Arms

Center Mount

Pole Diameter

Pole Style

Finish

### Catalog Number

**PA164**

1

**3**

2

3

**N/A**

4

5

6

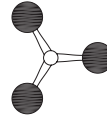
#### 1 Arm Configuration



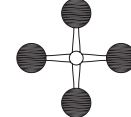
#### 2 Arm Configuration



#### 3 Arm Configuration



#### 4 Arm Configuration



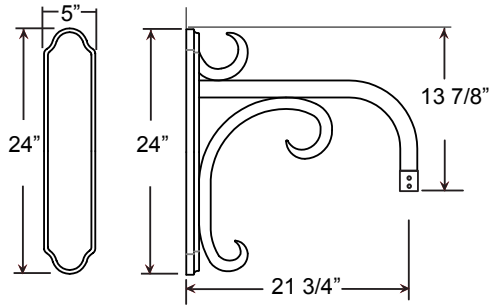
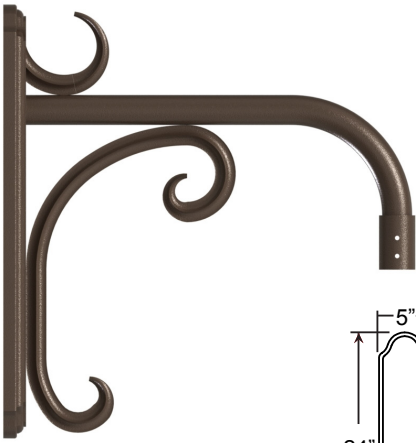
1	POST ARM ORIENTATION
3	Pendant

3	CENTER MOUNT OPTIONS
N/A	

6	FINISHES			
	Standard Grade	Marine Grade	Standard Grade	Marine Grade
	40	NA Raw Unfinished	53	100 Copper Clay
	41	101 Black	56	109 Silver
	42	102 Forest Green	61	106 Black Verde
	43	114 Bright Red	70	118 Painted Chrome
	44	107 White	71	105 Painted Copper
	45	112 Bright Blue	72	108 Textured Black
	46	123 Sunny Yellow	73	125 Matte Black
	47	120 Aqua Green	76	121 Textured Architectural Bronze
	49	NA Galvanized	77	127 Textured White
	50	111 Navy	78	124 Textured Silver
	51	103 Architectural Bronze	10	130 Aspen Green
	52	104 Patina Verde	11	131 Cantaloupe
	12	133 Lilac	13	132 Putty

2	NUMBER OF ARMS
1	One Arm Configuration
2	Two Arm Configuration
3	Three Arm Configuration
4	Four Arm Configuration

4	POLE DIAMETER
3	3 - 3 Inch
4	4 - 4 Inch
5	5 - 5 Inch
5	POLE STYLE
S	Smooth
F	Fluted



Project: \_\_\_\_\_

Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_

Customer: \_\_\_\_\_



**Weight:** 8.5 lbs  
**EPA:** 0.83

**Specifications**

**General:**  
Due to size or weight, arms mounts may not accommodate all ANP luminaires.

**Material:**  
All parts are durable 356 cast aluminum and high strength extruded aluminum. All hardware provided shall be stainless steel or zinc plated steel.

**Wall Mount:**  
Mounting hardware by others.

**Fixture Mounting:**  
Pin mount to tenon.

**Electrical:**  
Pull wire provided.

**Finish:**  
A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.

Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

**Modifications:**  
Consult factory for custom or modified designs.

**WM031 - WALL MOUNT**

Wall mount for pendant fixture.

Catalog Logic

**WM031 - 3 - 72**

Wall Mount Style      Pendant Post      Finish

Catalog Number

1

2

**WM031**

**3**

**1 MOUNTING TYPE**

3- Pendant

**2 FINISHES**

Standard Grade	Marine Grade		Standard Grade	Marine Grade	
40	NA	Raw Unfinished	53	100	Copper Clay
41	101	Black	56	109	Silver
42	102	Forest Green	61	106	Black Verde
43	114	Bright Red	70	118	Painted Chrome
44	107	White	71	105	Painted Copper
45	112	Bright Blue	72	108	Textured Black
46	123	Sunny Yellow	73	125	Matte Black
47	120	Aqua Green	76	121	Textured Architectural Bronze
49	NA	Galvanized	77	127	Textured White
50	111	Navy	78	124	Textured Silver
51	103	Architectural Bronze	10	130	Aspen Green
52	104	Patina Verde	11	131	Cantaloupe
12	133	Lilac	13	132	Putty

Consult factory for additional paint charges and availability