

KEYED NOTES

1	NEW BUILDING (SEE ARCHITECTURAL DRAWINGS).
2	NEW TRASH ENCLOSURE (SEE ARCHITECTURAL DRAWING).
3	NEW 6" CONCRETE PAVEMENT. SEE DETAILS, SHEET C05.01.
4	NEW ASPHALT PAVEMENT. SEE DETAILS, SHEET C05.01.
5	NEW ID SIGN 2'-4 3/8"W x 10'-5"L x 5'-3 5/16"H, TOTAL AREA = 55.01 SF. (PROVIDED AND INSTALLED BY FIFTH THIRD SIGN VENDOR) (DESIGNED AND PERMITTED BY OTHERS).
6	NEW 4" CONCRETE SIDEWALK. SEE PLAN FOR WIDTH. SEE DETAILS, SHEET C05.01.
7	NEW 6" X 18" VERTICAL CURB, 3-FOOT CURB TRANSITION AT PATHWAYS. SEE DETAILS, SHEET C05.01.
8	NEW ADA RAMP. SEE DETAILS, SHEET C05.01.
9	NEW BICYCLE RACK (TYP. OF) SEE DETAILS, SHEET C05.01.
10	NEW DETECTABLE WARNING. SEE DETAILS, SHEET C05.01.
11	NEW AREA LIGHT POLE. SEE ELECTRICAL SITE PLANS.
12	NEW 6-INCH "WHITE" PARKING/AISLE STRIPE (CONTINUOUS PAINT)
13	HANDICAP PARKING SPACES AND ACCESS AISLE. SEE DETAILS, SHEET C05.01.
14	NEW 6-INCH "DOUBLE YELLOW" LANE STRIPE (CONTINUOUS PAINT)
15	NEW 24-INCH "WHITE" STOP BAR (CONTINUOUS PAINT)
16	5-FOOT WIDE CROSSWALK, 12-INCH "WHITE" STRIPE @ 36" O.C. (CONTINUOUS PAINT)
17	NEW "WHITE" DIRECTIONAL ARROW (CONTINUOUS PAINT)
18	NEW HANDICAP PARKING SIGN (TYPICAL OF 1). SEE DETAILS, SHEET C05.02 (PROVIDED AND INSTALLED BY FIFTH THIRD SIGN VENDOR).
19	NEW 30" R1-1 "STOP" SIGN (TYPICAL OF 6). SEE DETAILS, SHEET C05.02. (PROVIDED AND INSTALLED BY FIFTH THIRD SIGN VENDOR)
20	NEW 30" R5-1 "DO NOT ENTER" SIGN (TYPICAL OF 4). SEE DETAILS, SHEET C05.02. (PROVIDED AND INSTALLED BY FIFTH THIRD SIGN VENDOR)
21	NEW CURB AND GUTTER (TYPE F) TO MATCH EXISTING. SEE DETAILS, SHEET C05.03.
22	INFILL SOIL FOR NEW CONCRETE SIDEWALK. SEE GRADING PLAN, SHEET C03.01.
23	NEW WAUSAU TF5021 BENCH (COLOR: W26 CHARCOAL). SEE DETAILS, SHEET C05.02.
24	PROPOSED AMENITY AREA (TOTAL 3,652 SF)
25	PROPOSED DECORATIVE LIGHT POLES. SEE ELECTRICAL SITE PLANS.
26	EXISTING GRATE INLET TO REMAIN (TYPICAL OF 2). SEE EROSION CONTROL PLAN FOR INLET PROTECTION.
27	NEW EXPANSION JOINT (TYPICAL). SEE DETAILS, SHEET C05.01.
28	NEW CONTROL JOINT (TYPICAL). SEE DETAILS, SHEET C05.01.

SITE PLAN GENERAL NOTES

- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF BUILDING.
- EXISTING IMPROVEMENTS SHOWN ARE TAKEN FROM BOUNDARY & TOPOGRAPHIC SURVEY.
- BUILDING AND SIDEWALK DIMENSIONS ARE TO OUTSIDE EDGE OF WALL
- ALL TIES TO THE PROPERTY LINE ARE BASED ON THE BOUNDARY & TOPOGRAPHIC SURVEY.
- ALL CURB RADIUS ARE 3' UNLESS OTHERWISE NOTED

LANDSCAPE NOTE

- CONTRACTOR TO RE-GRADE SURROUNDING GRADE ELEVATION AND RE-SOD AS NEED TO MEET PROPOSED TOP OF SIDEWALK ELEVATIONS.
- CONTRACTOR SHALL REPLACE ALL DISTURBED LANDSCAPING TO MATCH EXISTING.
- CONTRACTOR SHALL TIE INTO EXISTING IRRIGATION SYSTEM AND EXTEND NEW DRIP IRRIGATION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.

SITE AREAS

AREAS	SQUARE FEET (SF)	ACRE (AC)	PERCENT %
GROSS SITE	36,101	0.83	100.00%
BUILDING (FLOOR AREA RATIO)	2,020	0.05	5.60%
VEHICULAR USE (INCL. CURBLINE)	18,582	0.43	51.47%
SIDE WALK / PATIO	2,892	0.07	8.01%
WET POND (IMPERVIOUS)	0	0.000	0.00%
TOTAL IMPERVIOUS	23,495	0.54	65%
TOTAL PERVIOUS (LS + DRY POND AREA)	12,581	0.29	35%

LEGEND

	PROPERTY LINE
	EXISTING CONCRETE TO REMAIN
	EASEMENT
	EXISTING TO REMAIN
	PROPOSED CONCRETE LESS THAN 6"
	PROPOSED CONCRETE 6" OR GREATER
	NEW ASPHALT PAVEMENT
	PROPOSED AMENITY AREA
	SETBACK/BUFFER
	PROPOSED PAVEMENT
	PROPOSED CURB

SITE DATA

SITE ADDRESS: 10850 MIROMAR OUTLET DRIVE ESTERO, FLORIDA 33928

FOLIO NUMBER: 10450329

SITE AREA: 81,022 SF / 1.86 AC

BANK AREA: 36,106 SF / 0.829 AC

BUILDING AREA: 1,900 SF

EXISTING ZONING: CPD (COMMUNITY PLANNED DEVELOPMENT)

EXISTING LAND USE: PARKING LOT

PROPOSED USE: BANK WITH DRIVE THRU

PARKING REQUIREMENTS

BANK MIN. PARKING REQUIRED: 3 SPACES PER 1,000 SF OF G.F.A. 1,900 SF X (3 / 1,000 SF) = 6 SPACES

BANK MAX. PARKING ALLOWED: 20% OF REQ. PARKING 6 SPACES + (6.0 x 0.2) = 8 SPACES

TOTAL EXISTING PARKING: STANDARD PARKING = 79 SPACES
HANDICAP PARKING = 4 SPACES

TOTAL EXISTING REMOVED: STANDARD PARKING = 71 SPACES
HANDICAP PARKING = 3 SPACES

TOTAL PARKING PROVIDED: STANDARD PARKING = 9 SPACES
HANDICAP PARKING = 1 SPACE
TOTAL PARKING PROVIDED = 10 SPACES

PARKING SPACE SIZE: 9' X 18' MINIMUM

BICYCLE PARKING REQUIRED: 5% OF REQUIRED MOTOR VEHICLE SPACES = 1 SPACES

BICYCLE PARKING PROVIDED: = 4 SPACES

DRIVE THROUGH QUEUE: 5 SPACES PER ATM LANE
5 SPACES PER TELLER LANE
9' x 18' QUEUE SIZE

REQUIRED AMENITIES AREA = 10% OF LOT AREA (36,106 SF X 0.1) = 3,610 SF

PROPOSED AMENITIES AREA = 3,652 SF

LOADING ZONE: *NOTE-FINANCIAL INSTITUTIONS DO NOT USE LOADING ZONES FOR SECURITY PURPOSES DELIVERY TRUCK WILL PARK DIRECTLY IN FRONT OF MAIN ENTRANCE.

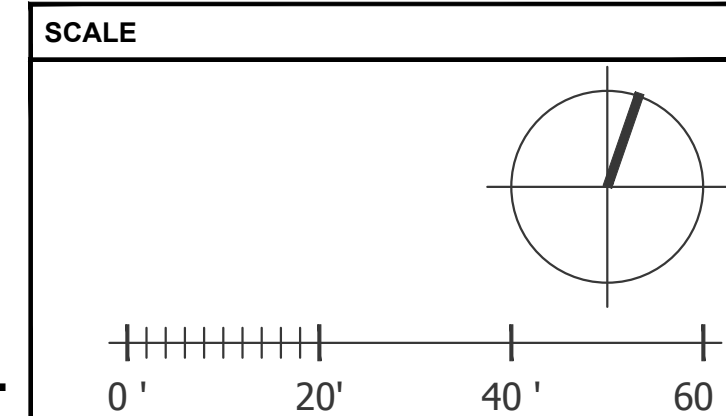
BUILDING REQUIREMENTS

BUILDING SETBACK - EAST (BEN HILL GRIFFIN PKWY.) = 25'
BUILDING SETBACK - NORTH (MIROMAR OUTLET DR.) = 15'
BUILDING SETBACK - WEST (INTERNAL ACCESS) = 25'
BUILDING SETBACK - SOUTH (WELLS FARGO) = 15'
MAXIMUM BUILDING HEIGHT = 45'

LANDSCAPE REQUIREMENTS

LANDSCAPE SETBACK - EAST (BEN HILL GRIFFIN PKWY.) = 40' (PER PLAT)
LANDSCAPE SETBACK - NORTH (MIROMAR OUTLET DR.) = 20' (TYPE D)
LANDSCAPE SETBACK - WEST (INTERNAL ACCESS) = 20' (TYPE A)
LANDSCAPE SETBACK - SOUTH (WELLS FARGO) = 5' (TYPE A)

FLOOD ZONE:
FLOOD ZONE X



bdg architects²⁰

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FIFTH THIRD BANK

**FIFTH THIRD BANK
CORKSCREW ROAD
BRANCH**

10870 MIROMAR OUTLET DRIVE
ESTERO, FL 33928

INFINITY

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SEAL

NISIT SAPPAKHAO, P.E.
FL REG. NO. 64085

DATE
08/17/20

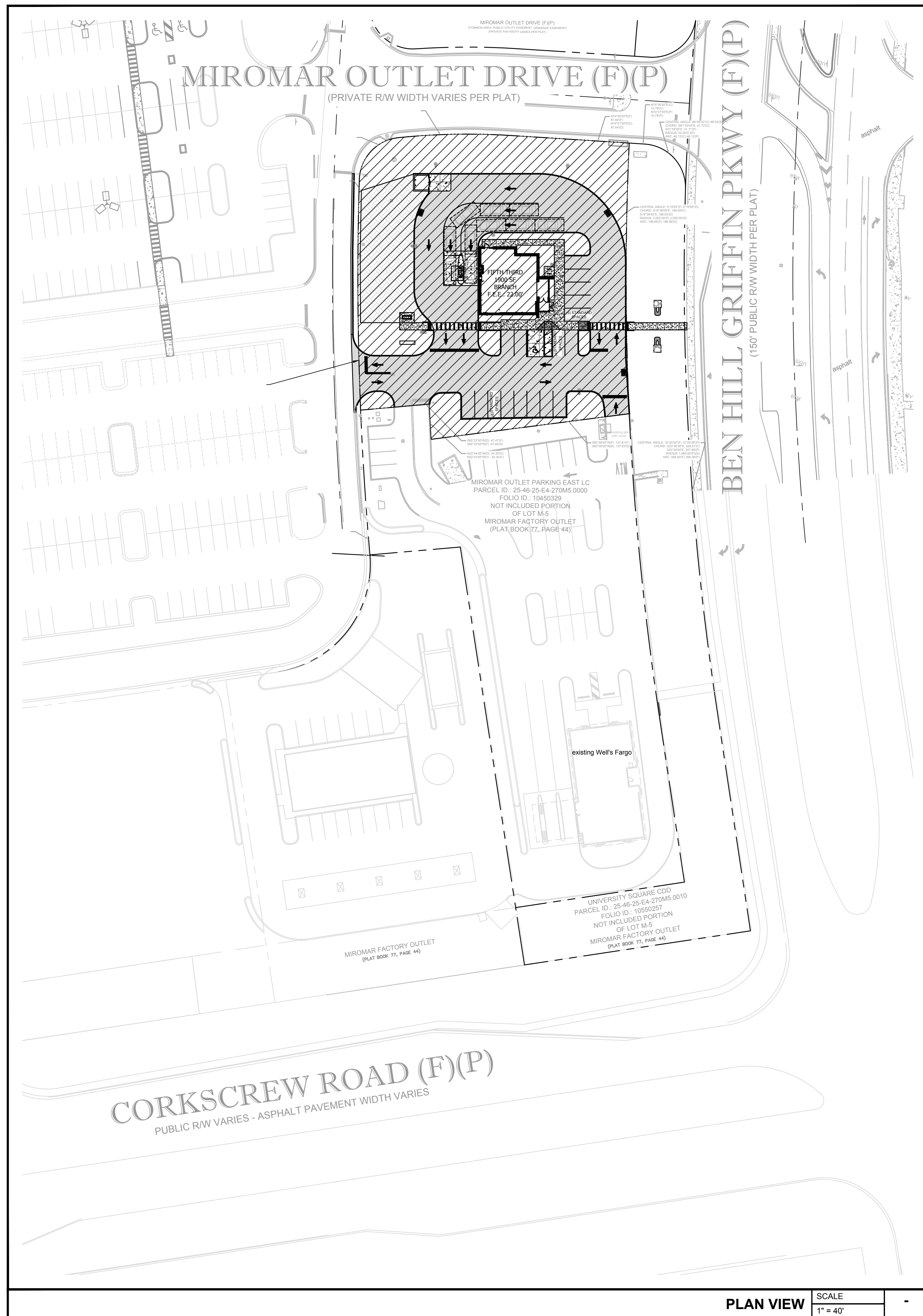
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01	08.17.20	PERMIT SET

PROJECT INFORMATION BLOCK

JOB #: 193504
DATE: 08-17-2020
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CHECKED BY: VC

SHEET TITLE
SITE PLAN

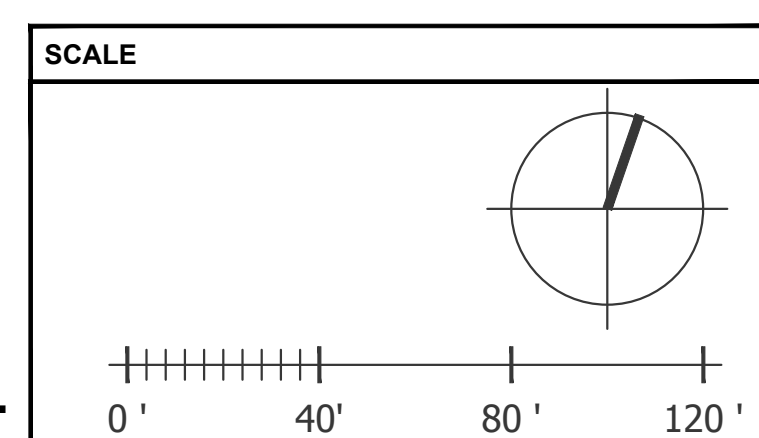
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C02.01



PLAN VIEW SCALE 1" = 40'



Know what's below.
Call before you dig.



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STATE OF FLORIDA
PROFESSIONAL ENGINEER
08/17/20
DATE

ISSUE/BY	DATE	DESCRIPTION
	08.17.20	PERMIT SET

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JOB #: 193504
DATE: 08-17-2020
DRAWN BY: PT
CHECKED BY: VC

SHEET TITLE
OVERALL SITE PLAN
SHEET NUMBER

C02.02