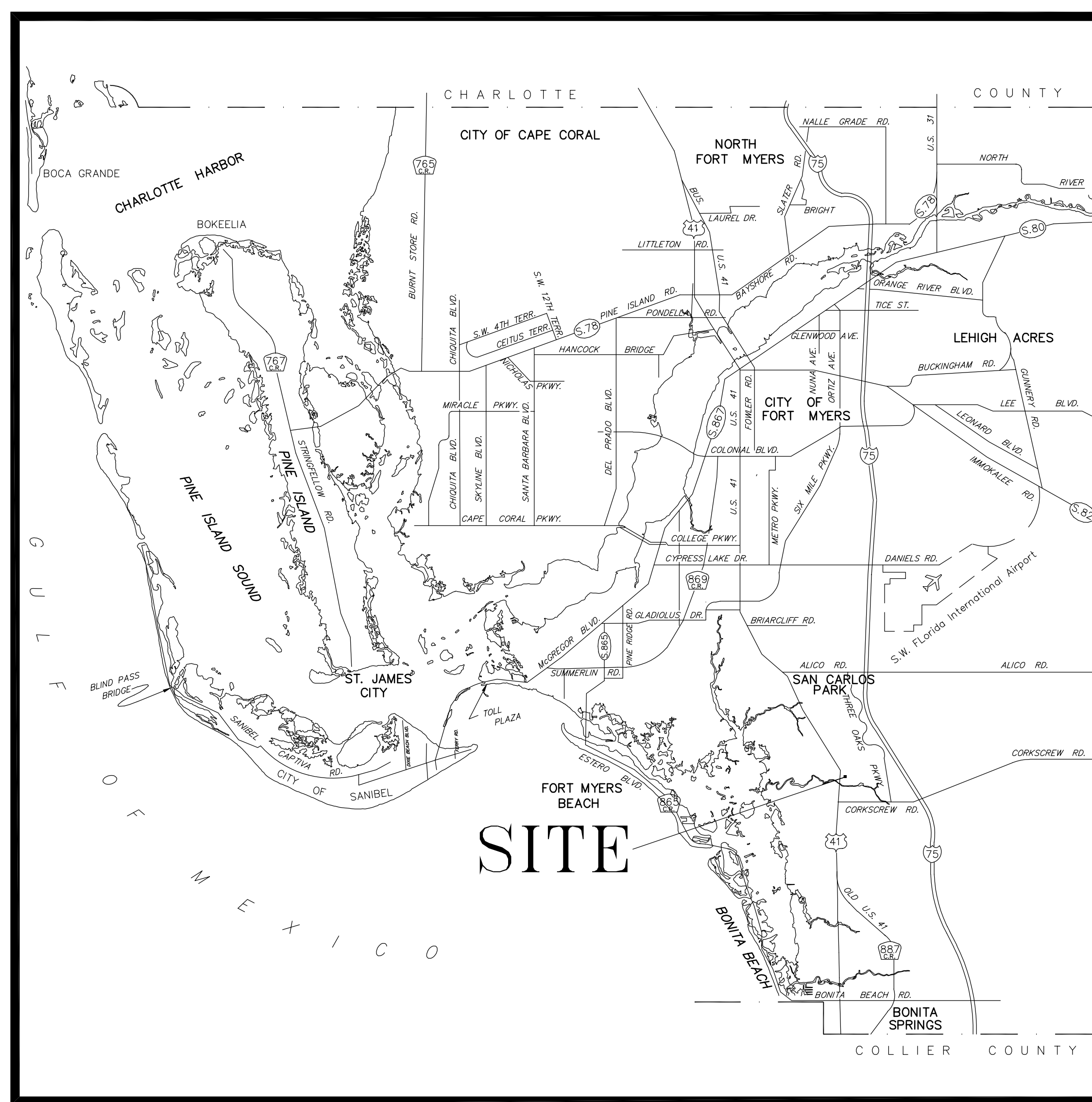


SITE CONSTRUCTION PLANS FOR 8111 BROADWAY EAST LEE COUNTY, FLORIDA SECTION 28, TOWNSHIP 46S, RANGE 25E

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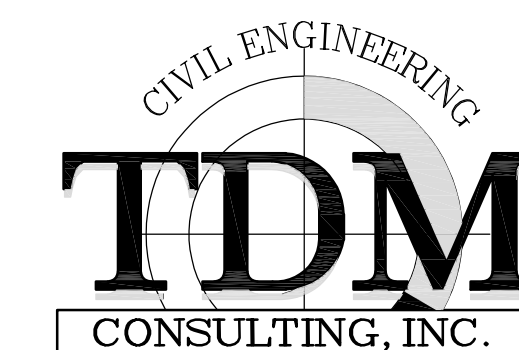


LOCATION SKETCH
N.T.S.

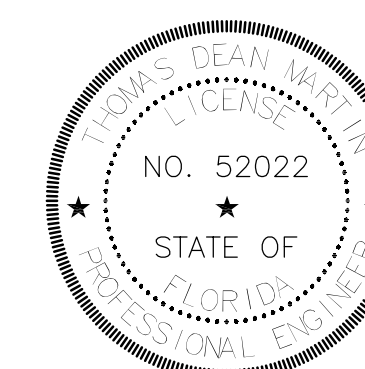
DEVELOPER/OWNER

YOSHIHIRO & SHARON SUZUKI
6054 Gold Spirit Street
Corona, CA 92880
Phone: (951) 232-1593

CIVIL ENGINEER

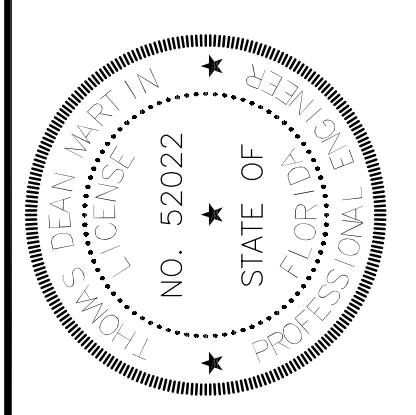
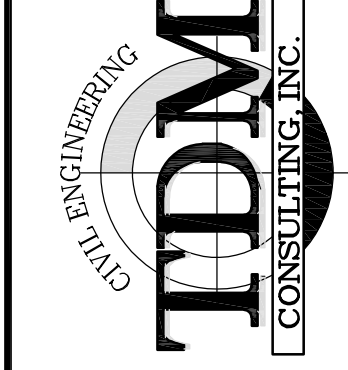
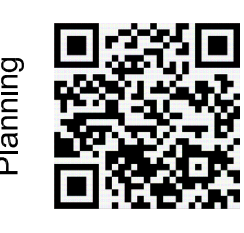


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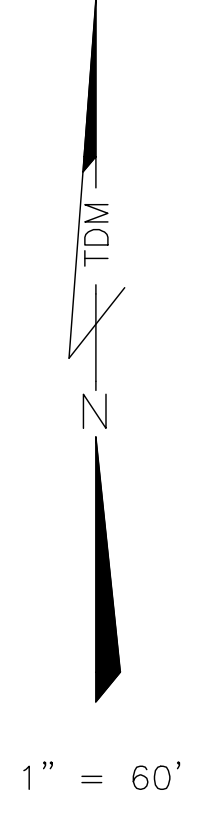
DEAN MARTIN
FLORIDA P.E. #52022
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BOUNDARY & TOPOGRAPHIC SURVEY SUBMITTED SEPARATELY

SHEET #	2 of 12	SCALE: NTS	DATE: 08/16/2018	DESIGNED BY: TDM	DRAWN BY: SLD	CHECKED BY: TDM	APPROVED BY: TDM
						<p style="font-size: small;">Civil Engineering and Planning dean@tdmconsulting.com www.tdmcivilengineering.com</p>	
<p style="font-size: x-small;">TDM ONLY WITH EMBOSSED SEAL</p>		<h2 style="margin: 0;">8111 BROADWAY EAST BOUNDARY & TOPOGRAPHIC SURVEY</h2>					
REVISIONS		DATE		DATE		DATE	

STREET ADDRESS
 8111 BROADWAY E
 ESTERO FL, 33928

STRAP NUMBERS
 28-46-25-E2-U1923.2494



DATE	REVISIONS
09/16/2019 <td>DESIGNED BY: TDM</td>	DESIGNED BY: TDM
	DRAWN BY: SLD
	CHECKED BY: TDM
	APPROVED BY: TDM

**8111 BROADWAY EAST
 AERIAL LOCATION MAP**

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DATE:

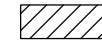
STREET ADDRESS

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ESTERO FL, 33928

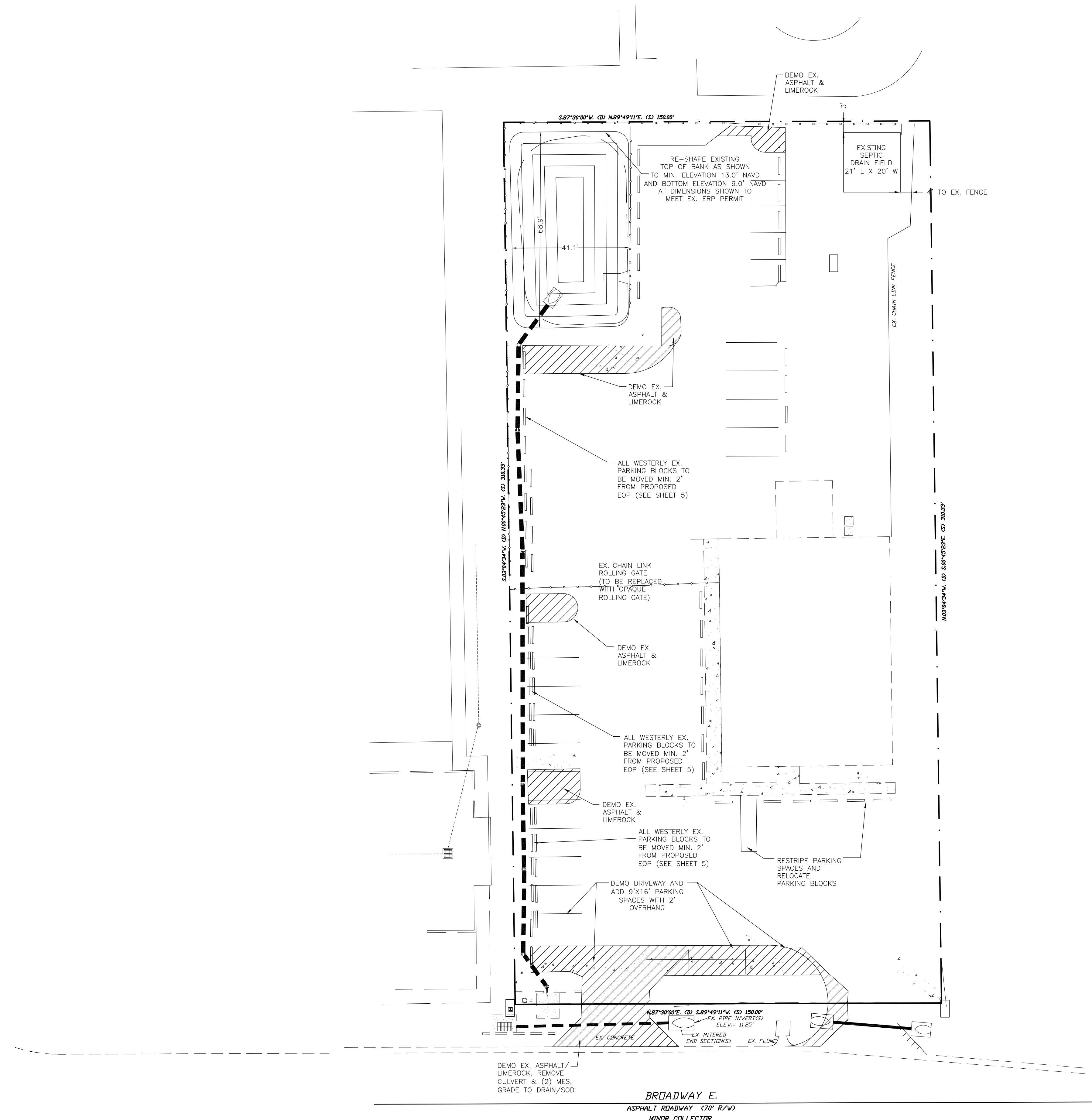
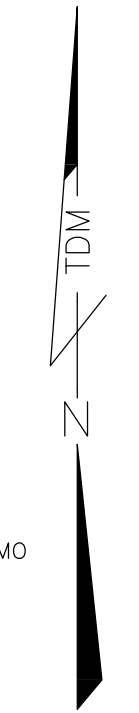
STRAP NUMBERS

28-46-25-E2-U1923.2494

LEGEND

- EX. EXISTING
- R/W RIGHT-OF-WAY
- E.O.P. EDGE OF PAVEMENT
- CONC. CONCRETE
- TYP. TYPICAL
- SF SQUARE FEET
- LF LINEAR FEET
- E.B. ELECTRICAL BOX
- L.P. LIGHT POLE
-  EX. PAVEMENT FOR DEMO


1" = 20'



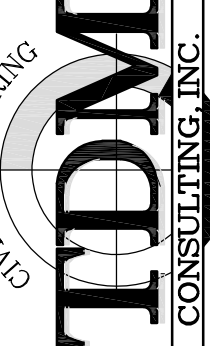
DATE	REVISIONS	DATE	REVISIONS
08/16/2019		01/2020	
DESIGNED BY:	TDM	DESIGNED BY:	TDM
DRAWN BY:	SJD	CHECKED BY:	TDM
APPROVED BY:	TDM	APPROVED BY:	TDM

8111 BROADWAY EAST EXISTING CONDITIONS AND DEMOLITION PLAN

Civil Engineering and Planning

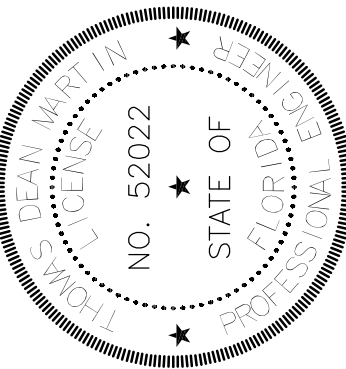


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Florida #52022

DATE:

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STREET ADDRESS

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ESTERO FL, 33928

STRAP NUMBERS

28-46-25-E2-U1923.2494

PRE-DEVELOPMENT SITE AREAS

TOTAL PARCEL AREA: (1.07 AC)	46,547 SF	100.0%
EXISTING BUILDING AREA:	4,800 SF	10.3%
EXISTING PAVEMENT AREA:	23,484 SF	50.5%
EXISTING CONCRETE AREA:	870 SF	1.9%
EXISTING TOTAL IMPERVIOUS AREA:	29,154 SF	62.7%
EXISTING DRY DETENTION AREA: (@ T.O.B.)	2,312 SF	5.0%
EXISTING OPEN GREEN AREA:	15,081 SF	32.3%
EXISTING TOTAL PERVIOUS AREA:	17,393 SF	37.3%

POST-DEVELOPMENT SITE AREAS

TOTAL PARCEL AREA: (1.07 AC)	46,547 SF	100.0%
PROPOSED PAVEMENT AREA:	22,042 SF	47.4%
PROPOSED CONCRETE AREA:	1,776 SF	3.8%
PROPOSED BUILDING (ROOF) AREA:	4,800 SF	10.3%
PROPOSED TOTAL IMPERVIOUS AREA:	28,618 SF	61.5%
PROPOSED OPEN GREEN AREA:	15,116 SF	32.5%
PROPOSED DETENTION AREA (@ T.O.B.):	2,813 SF	6.0%
PROPOSED TOTAL PERVIOUS AREA:	17,929 SF	38.5%

BUILDING SETBACK REQUIREMENTS

SOUTH (FRONT/STREET) = 25 FT
NORTH (REAR) = 20 FT
EAST (SIDE) = 16 FT*
WEST (SIDE) = 20 FT

* SEE DEVIATION

LANDSCAPE BUFFER REQUIREMENTS

NORTH: COM TO COM: 5' WIDE TYPE A BUFFER REQUIRED
4 TREES/100 LF
SOUTH: COM TO ROW: 20' WIDE TYPE D BUFFER REQUIRED
5 TREES/100 LF AND DOUBLE-STAGGERED HEDGE ROW
EAST: COM TO SFR: 20' WIDE TYPE C BUFFER *SEE DEVIATION #3
10 TREES AND 30 SHRUBS/100 LF WITH 8' HIGH WALL
WEST: COM TO COM: 5' WIDE TYPE A BUFFER
4 TREES/100 LF

PROJECT INFORMATION

FUTURE LAND USE = URBAN COMMERCIAL
CURRENT ZONING = AG-2
PROPOSED ZONING = COMMERCIAL PLANNED DEVELOPMENT (CPD)
PROPOSED USE = COMMERCIAL/OFFICE/RETAIL
MIN. LOT SIZE = 46,547 SF/1.07 AC
MAXIMUM INTENSITY = 4,800 SF
MIXED USE OVERLAY = YES
EXIST. SOIL TYPES = #28 - IMMOKALEE SAND
IRRIGATION SERVICE = IRRIGATION WELL
ARCHAEOLOGICAL SENSITIVITY LEVEL = NONE

ZONING/ACTUAL USE

PROJECT SITE: CPD/COMMERCIAL
NORTH: CC/COMMERCIAL
SOUTH: BROADWAY E. ROW
EAST: AG-2/SFR
WEST: CC/COMMERCIAL

PARKING REQUIREMENTS

PER SECTION 34-2020(B) VILLAGE OF ESTERO LAND DEVELOPMENT CODE.
4,800 SF RETAIL AND BUSINESS ESTABLISHMENTS (SMALL PRODUCTS)
= 1.0 SPACES PER 250 SF OF TOTAL FLOOR AREA
= 4,800 SF/250 SF = 19.2 SPACES
REQUIRED PARKING = 20 SPACES (INCLUDING 2 SPACE FOR HC)
PROVIDED PARKING = 33 SPACES (INCLUDING 2 SPACES FOR HC)

BICYCLE PARKING REQUIREMENTS

PER SECTION 10-610(D)3 VILLAGE OF ESTERO LAND DEVELOPMENT CODE.
THE NUMBER OF SAFE AND SECURE BICYCLE PARKING SPACES MUST BE FIVE PERCENT OF THE NUMBER OF REQUIRED VEHICLE PARKING SPACES.

REQUIRED AUTOMOBILE PARKING SPACES = 20
= 20 AUTOMOBILE PARKING SPACES * 0.05
= MIN. 2 BICYCLE SPACES REQUIRED
= 1 BICYCLE RACK REQUIRED (ASSUME 3 BICYCLES)

OPEN SPACE REQUIREMENTS

SMALL COMMERCIAL DEVELOPMENTS = 20%
REQUIRED: 20% X 46,547 SF = 9,309 SF
PROVIDED: 17,929 SF / 33.7%

REFUSE AND SOLID WASTE CALCULATIONS

PER SECTION 10-261 VILLAGE OF ESTERO LAND DEVELOPMENT CODE.
FOR GARBAGE AND RECYCLABLE COLLECTION FOR BUILDING SIZE UP TO 5,000 SF,
84 SF FOR FIRST 5,000 SF.
THE PROPOSED LAWN AND GARDEN SUPPLY STORE HAS 4,800 SF.

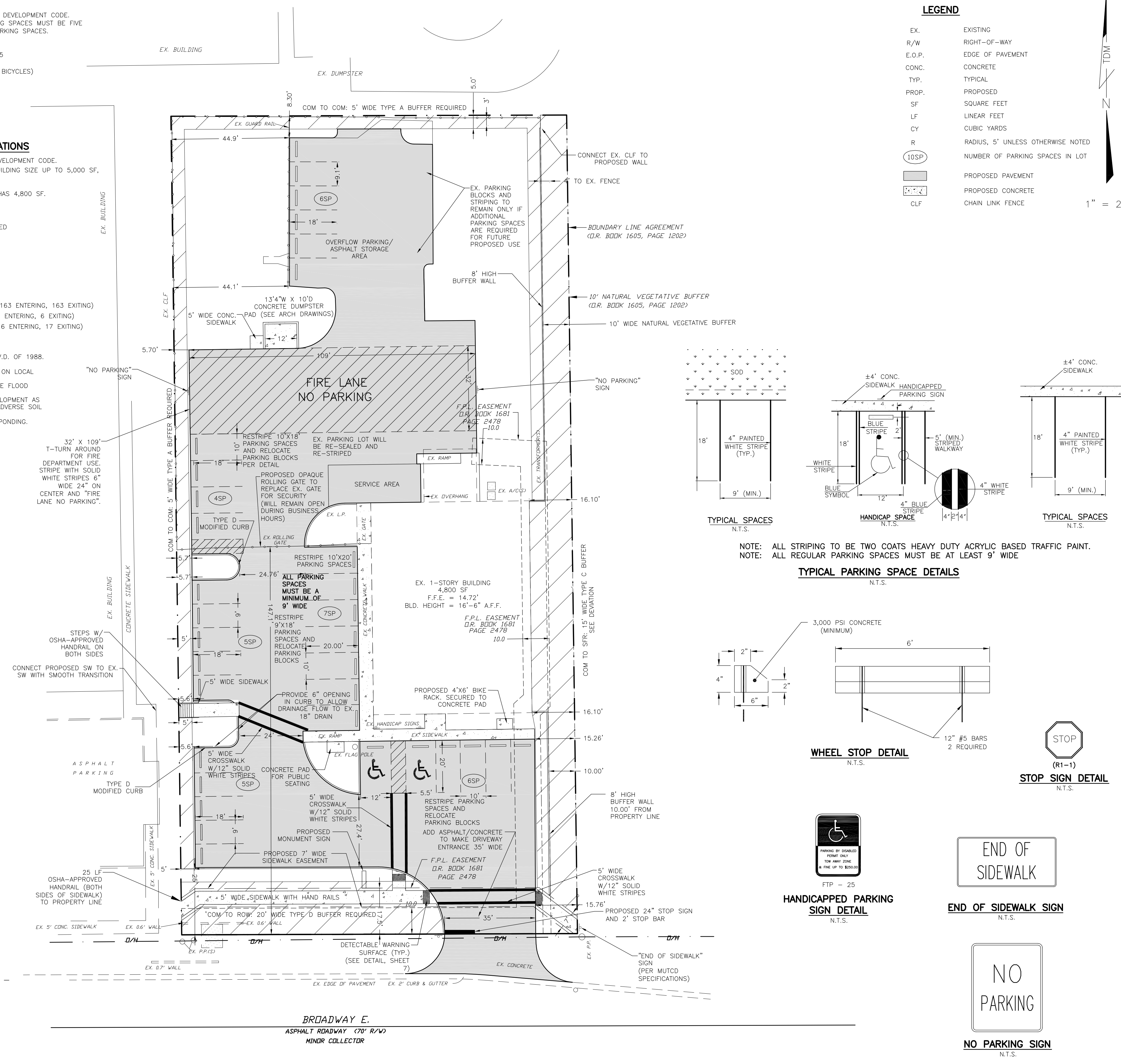
TOTAL REQUIRED = 84 SF
TOTAL PROVIDED = 120 SF (12' x 10')
MINIMUM OVERHEAD CLEARANCE OF 22 FEET REQUIRED

TRIP GENERATION CALCULATIONS

PER ITE TRIP GENERATION, 10TH EDITION,
USE LUC 817 (LAWN AND GARDEN SUPPLY STORE)
THE PROPOSED BUILDING HAS 4,800 SQUARE FEET.
RAW TRIP GENERATION TOTAL:
AVERAGE VEHICLE TRIP ENDS ON WEEKDAY = 326 (163 ENTERING, 163 EXITING)
AVERAGE VEHICLE TRIP ENDS - A.M. PEAK = 12 (6 ENTERING, 6 EXITING)
AVERAGE VEHICLE TRIP ENDS - P.M. PEAK = 33 (16 ENTERING, 17 EXITING)

NOTES

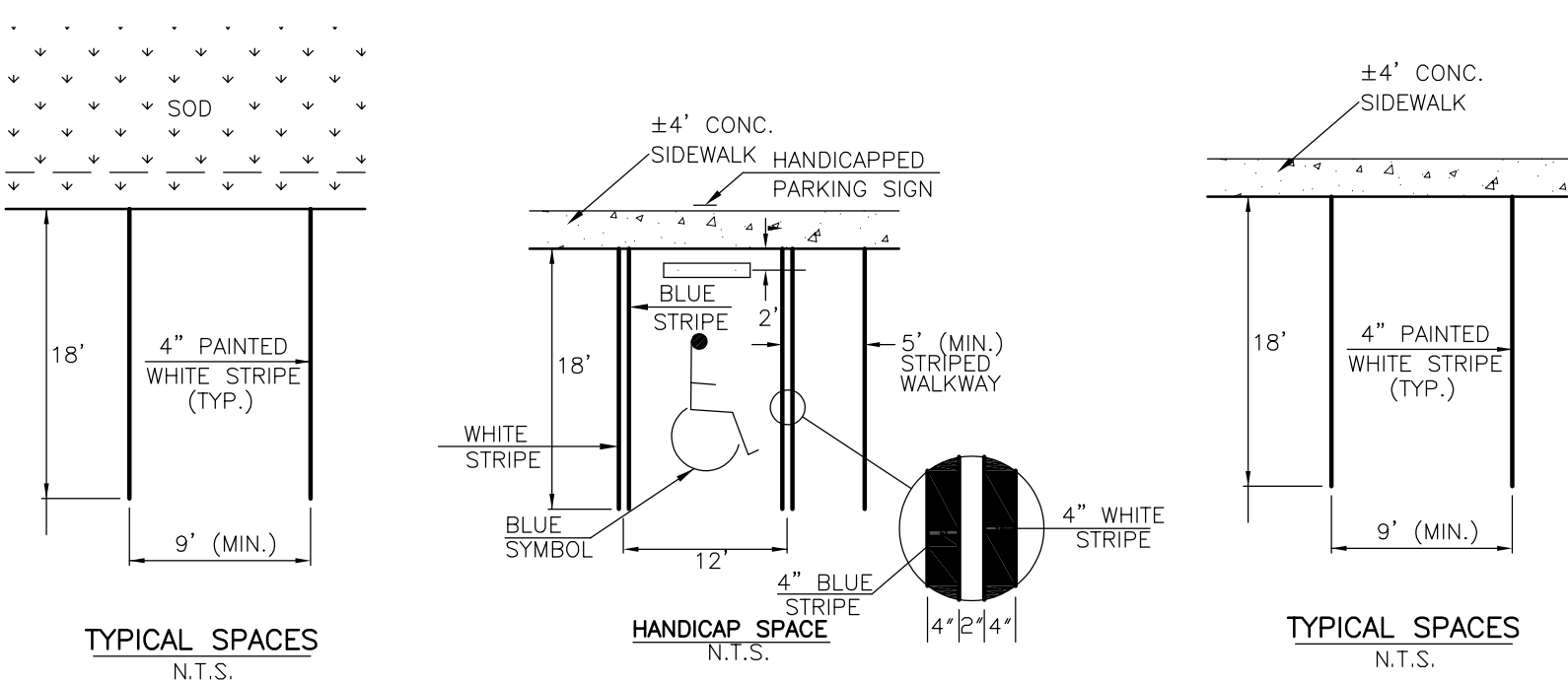
- ALL EXISTING AND PROPOSED GRADES ARE N.A.V.D. OF 1988.
- THIS PARCEL LIES IN FLOOD ZONES "X".
- THIS PROJECT PRESENTS NO ADVERSE IMPACTS ON LOCAL GROUND OR SURFACE WATERS.
- THIS PROJECT DOES NOT ADVERSELY IMPACT THE FLOOD PLAN OR ANY RIVERINE AREAS.
- THIS SITE CAN BE USED SAFELY FOR THE DEVELOPMENT AS SHOWN WITHOUT UNDUE DANGER FROM FLOOD OR ADVERSE SOIL AND/OR FOUNDATION CONDITIONS.
- THIS SITE DOES NOT EXHIBIT ANY SALT WATER PONDING.



LEGEND

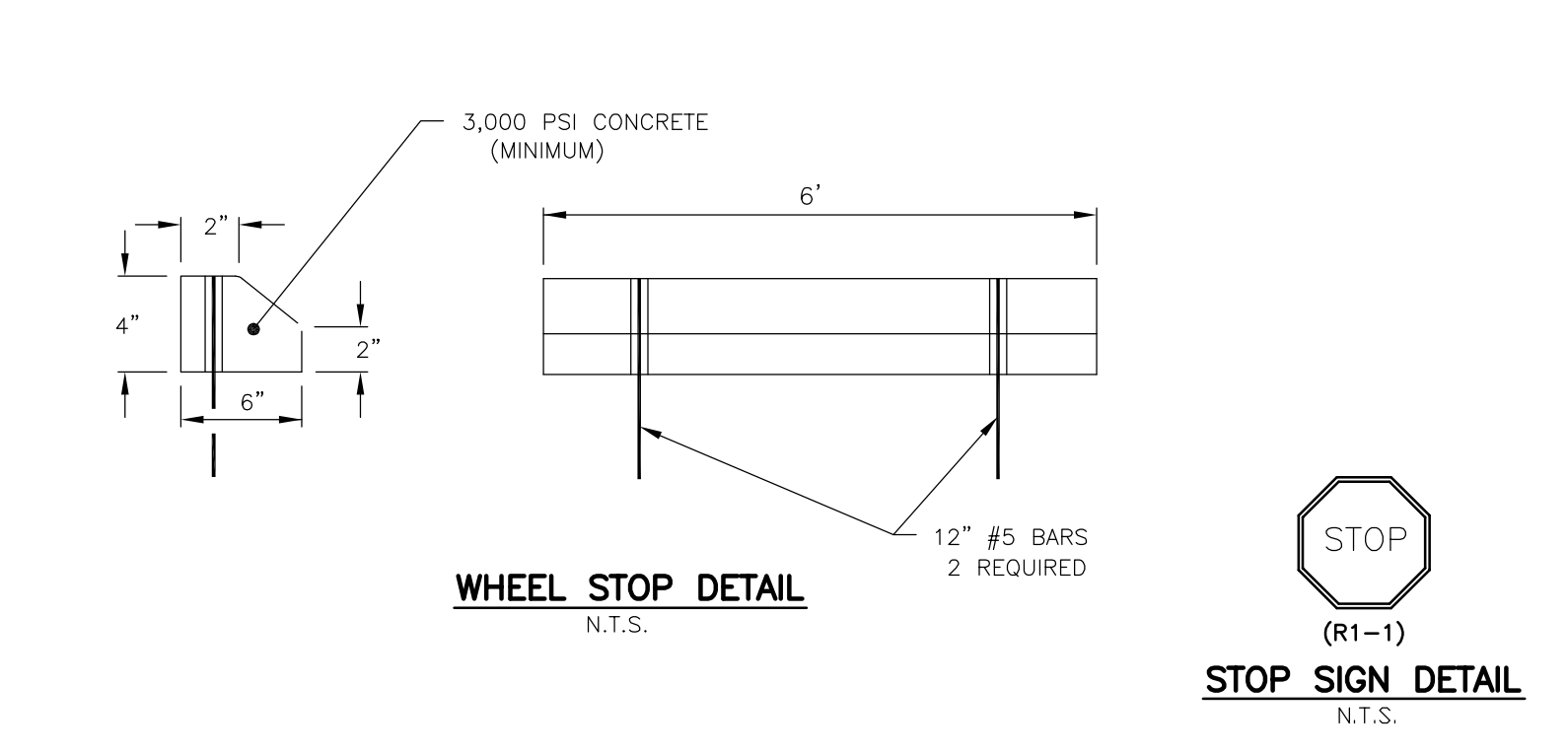
EX.	EXISTING
R/W	RIGHT-OF-WAY
E.O.P.	EDGE OF PAVEMENT
CONC.	CONCRETE
TYP.	TYPICAL
PROP.	PROPOSED
SF	SQUARE FEET
LF	LINEAR FEET
CY	CUBIC YARDS
R	RADIUS, 5' UNLESS OTHERWISE NOTED
(10SP)	NUMBER OF PARKING SPACES IN LOT
(Pavement symbol)	PROPOSED PAVEMENT
(Concrete symbol)	PROPOSED CONCRETE
CLF	CHAIN LINK FENCE

1" = 20'



NOTE: ALL STRIPING TO BE TWO COATS HEAVY DUTY ACRYLIC BASED TRAFFIC PAINT.
NOTE: ALL REGULAR PARKING SPACES MUST BE AT LEAST 9' WIDE

TYPICAL PARKING SPACE DETAILS



WHEEL STOP DETAIL

STOP SIGN DETAIL

HANDICAPPED PARKING SIGN DETAIL

END OF SIDEWALK SIGN

NO PARKING SIGN

8111 BROADWAY EAST
SITE DIMENSION PLAN

DATE	DESIGNED BY	REVISIONS
01/20/20	TDM	1
03/20/20	TDM	2
04/20/20	TDM	3

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FLORIDA PROFESSIONAL SEAL
 DEAN MARTIN, P.E.
 No. 52022
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 DATE: _____

STREET ADDRESS

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28-46-25-E2-U1923.2494

FLOOD ZONE

THE PARCEL IS LOCATED IN FLOOD ZONE "X", NO BASE FLOOD ELEVATION
THIS INFORMATION WAS TAKEN FROM FLOOD INSURANCE RATE
COMMUNITY NUMBER 120260 PANEL NUMBER 0583, REVISION DATE 8-28-08.
MAP NUMBER: 12071C0583F

DRAINAGE PIPE SCHEDULE

PIPE NUMBER	DESCRIPTION
P-1	83 LF 12"X18 ERCP

DRAINAGE STRUCTURE SCHEDULE

INLET NUMBER	INLET TYPE	GRATE ELEVATION	INVERT ELEVATIONS
D-1	C	+13.00'	+11.19' E (EXISTING), +11.50' W

SURFACE WATER MANAGEMENT SYSTEM INFORMATION

PER ERP 36-07147-P, DATE ISSUED: JULY 17, 2009
CONTROL ELEVATION = 12.0' N.A.V.D.
5 YEAR 1 DAY PEAK STAGE = 13.03' N.A.V.D.
25 YEAR 3 DAY PEAK STAGE = 13.36' N.A.V.D.
100 YEAR 3 DAY (ZERO DISCHARGE) PEAK STAGE = 13.42' N.A.V.D.
PER CONSTRUCTION PLANS:
EX. GRADE FOR FINISHED FLOOR = +14.72' N.A.V.D.

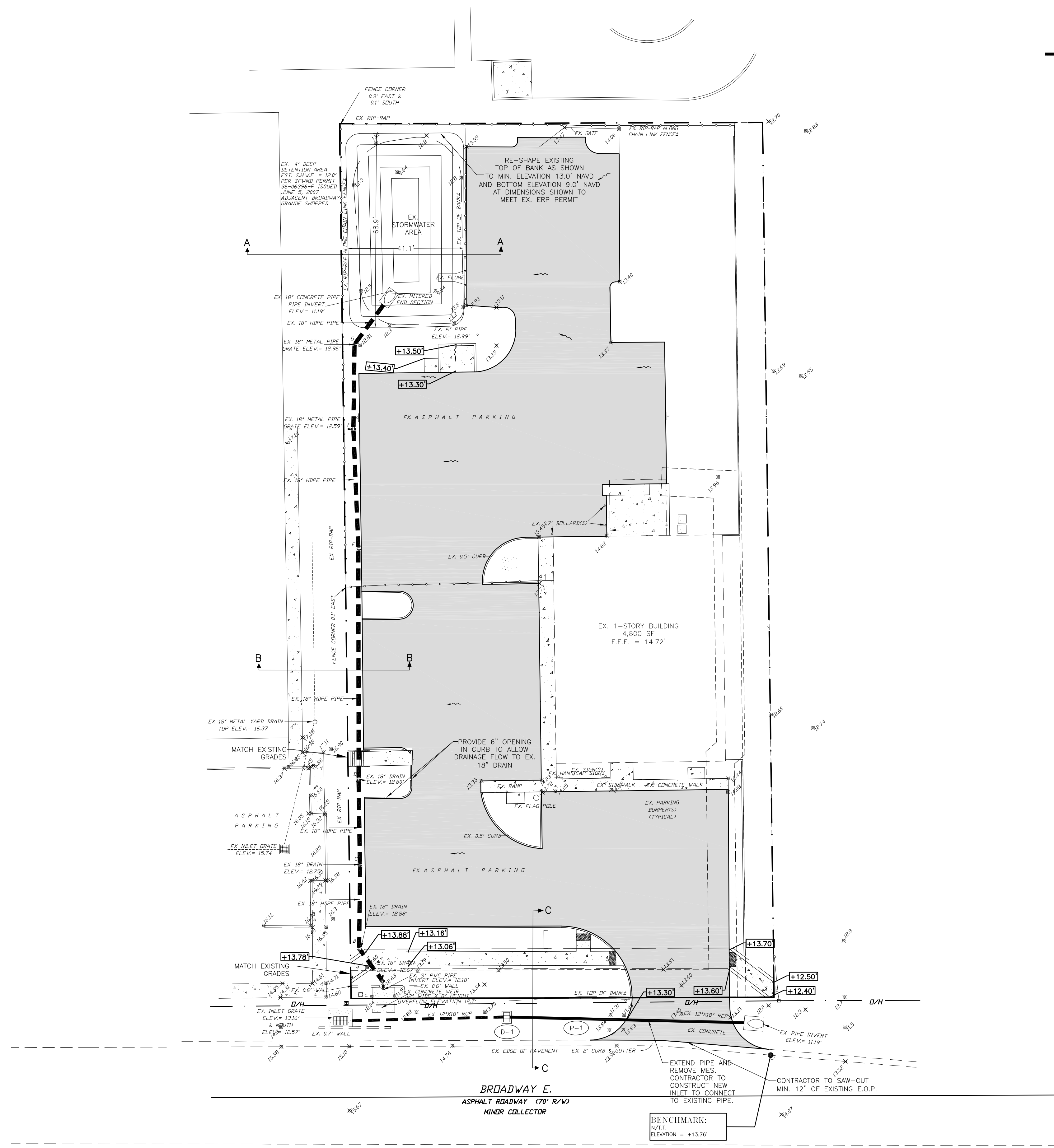
WATER QUALITY CALCULATIONS

PER ERP 36-07147-P, THE STORMWATER MANAGEMENT SYSTEM PROVIDES THE WATER QUALITY AND ATTENUATION, THE PROVIDED WATER QUALITY TREATMENT VOLUME = 0.04 AC-FT AT ELEVATION 12.7' NAVD.

LEGEND

- PROPOSED GRADE - SPOT
- FINISH FLOOR ELEVATION - SPOT
- EXISTING GRADE - SPOT
- PROPOSED STORMWATER CATCH BASIN
- PROPOSED PAVEMENT
- PROPOSED MITERED-END SECTION
- NEW REINFORCED CONCRETE PIPE
- DRAINAGE PIPE NUMBER
- DRAINAGE INLET NUMBER
- INTENDED DIRECTION OF STORMWATER FLOW
- EXISTING CATCH BASIN
- EXISTING REINFORCED CONCRETE PIPE
- RIGHT OF WAY
- PUBLIC UTILITY EASEMENT (TYP.)
- DRAINAGE EASEMENT
- EX.
- SF
- LF
- CF
- I.E.
- EL. OR ELEV.
- T.O.B.
- T.O.S.
- CONC.
- ELLIPTICAL REINFORCED CONCRETE PIPE
- ADS
- EOP
- F.D.O.T.
- N.A.V.D.

1" = 20'



**8111 BROADWAY EAST
PAVING, GRADING, AND
DRAINAGE PLAN**

Civil Engineering and Planning

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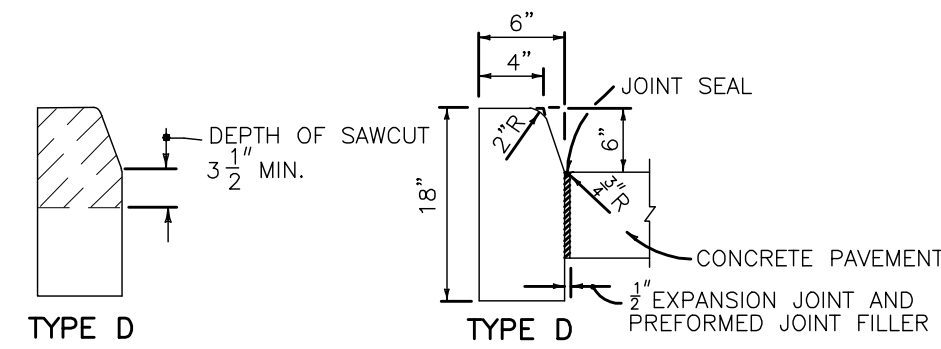
DEAN MARTIN, P.E.
Florida #52022

DATE	DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
09/16/2019	TDM	TDM	TDM	TDM

REVISIONS	DATE	REVISIONS
REVISED PER VILLAGE OF ESTERO COMMENTS	01/20/20	1
REVISED PER STRAP COMMENTS	02/20/20	2

GENERAL NOTES

- ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO N.A.V.D. OF 1988. ALL BOUNDARY, EXISTING CONDITIONS, AND TOPOGRAPHIC INFORMATION AS SHOWN WAS TAKEN FROM A SYSTEM FILE PROVIDED BY HARRIS-JORGENSEN, INC. MARKS ARE AS SHOWN ON BOUNDARY & TOPOGRAPHIC SURVEY.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH VILLAGE OF ESTERO LAND DEVELOPMENT STANDARDS.
- CONTRACTOR SHALL CONTACT ALL APPROPRIATE AGENCIES, UTILITIES, AND PROJECT ENGINEER A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTACT PROJECT ENGINEER PRIOR TO THE INITIATION OF ANY DEVIATION FROM THE APPROVED PLANS. NO SUCH DEVIATIONS SHALL BE AUTHORIZED WITHOUT PRIOR WRITTEN APPROVAL BY PROJECT ENGINEER.
- UTILITY AND FACILITY LOCATIONS, IF SHOWN HEREON, ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF LOCATIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL REMOVE ANY HARDPAN EXISTING BENEATH THE PROPOSED STORMWATER FACILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ANY AND ALL DEBRIS REMOVED FROM THE SITE.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- VERTICAL SAW CUTS THROUGH EXISTING LIMEROCK ARE REQUIRED WHERE NEW PAVEMENT MATCHES TO EXISTING PAVEMENT.
- CONTRACTOR SHALL SUPPLY SATISFACTORY DENSITY TESTS (3 EACH) OF SUB-BASE AND LIMEROCK AREAS TO PROJECT ENGINEER PRIOR TO PAYMENT AND/OR FINAL ACCEPTANCE.
- IF A REQUIRED DIMENSION IS NOT SHOWN OR A DISCREPANCY IS FOUND ON THE DRAWINGS, CONTRACTOR TO CONTACT PROJECT ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
- REINFORCED CONCRETE PIPE (RCP) CULVERTS SHALL CONFORM TO CLASS III (ASTM C76) FOR ROUND PIPE AND ALSO CONFORM TO TABLE 1 FOR CLASS HE-111 (ASTM C507) FOR ELLIPTICAL PIPE.
- ALL PARKING LOT EMBANKMENT SHALL BE CONSTRUCTED IN ONE (1) FOOT LIFTS TO A MINIMUM COMPACTION OF 95% AASHTO T-180. REFER TO ARCHITECT FOR BUILDING FOUNDATION REQUIREMENTS.
- CONTRACTOR SHALL MAINTAIN A CURRENT AND UPDATED SET OF ASBUILT DRAWINGS AT ALL TIMES AND PROVIDE ONE (1) COPY TO PROJECT ENGINEER UPON COMPLETION OF CONSTRUCTION.
- THIS PLAN IS FOR PERMITTING ONLY AND SHALL NOT BE UTILIZED FOR CONSTRUCTION UNLESS AUTHORIZED BY ENGINEER OF RECORD.
- ALL MITERED-END SECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH F.D.O.T. STANDARD INDEX 272. LOCATIONS SHALL BE AS SHOWN AND DIMENSIONED.
- CONTRACTOR SHALL COORDINATE ANY AND ALL WORK IN THE RIGHT-OF-WAY WITH VILLAGE OF ESTERO DEPARTMENT OF TRANSPORTATION.
- MAINTENANCE OF TRAFFIC SHALL FOLLOW F.D.O.T. STANDARD INDEX 600, INCLUDING FLAGGING.
- CONTRACTOR SHALL INSTALL EXPANSION JOINTS AT INTERVALS OF 100 FT. ON CENTER FOR ALL CURB, GUTTER AND SIDEWALK INSTALLED IN THE RIGHT-OF-WAY. CONTRACTION JOINTS ARE TO BE SAW CUT AT 5' ON CENTER FOR SIDEWALKS AND 10' ON CENTER FOR CURB. EXPANSION MATERIAL IS NOT TO BE PLACED BETWEEN THE BACK OF THE CURB AND THE SIDEWALK OR DRIVEWAY APRON. FOR ADDITIONAL DETAILS REFER TO F.D.O.T. INDEXES 300 AND 310.
- BLASTING FOR UTILITY CONSTRUCTION IS NOT ANTICIPATED AND, IF REQUIRED, WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM PROJECT ENGINEER.
- LIMEROCK BASE MATERIAL SHALL BE FROM AN F.D.O.T. APPROVED SOURCE
- ASPHALT PAVEMENT MATERIAL SHALL BE PRODUCED BY AN F.D.O.T. CERTIFIED SOURCE AND TESTED PER F.D.O.T. SPECIFICATIONS.
- ALL EXISTING MONUMENTATION SHALL BE PROTECTED. IF MONUMENTATION IS DISTURBED OR DESTROYED, IT SHALL BE REPLACED AFTER CONSTRUCTION IS COMPLETE, TO REQUIRED ACCURACY, BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER (P.S.M.) AT CONTRACTOR'S EXPENSE. IF MONUMENTATION IS IN DANGER OF BEING DISTURBED OR DESTROYED, IT SHALL BE REFERENCED AND REPLACED AFTER CONSTRUCTION IS COMPLETE, BY A FLORIDA LICENSED P.S.M., AT CONTRACTOR'S EXPENSE.
- DURING CONSTRUCTION, IF ANY FORTUITOUS (HISTORICAL OR ARCHAEOLOGICAL) FINDS ARE OBSERVED, ALL WORK SHALL CEASE IN THE AREA. DEVELOPER, OWNER, CONTRACTOR, OR AGENT THEREOF MUST NOTIFY VILLAGE OF ESTERO DIVISION OF NATURAL RESOURCES IMMEDIATELY IF HISTORIC OR PREHISTORIC ARTIFACTS, REMAINS, OR FEATURES ARE FOUND DURING CONSTRUCTION. EXAMPLES MAY INCLUDE FRAGMENTS OF STONE TOOLS, SHELLS, SHELL TOOLS, POTTERY, GLASS, BOTTLES, ANIMAL BONES, BUILDING FOUNDATIONS, SHELL MOUNDS, OR SAND MOUNDS. VILLAGE OF ESTERO DIVISION OF NATURAL RESOURCES WILL ASSESS THE SIGNIFICANCE OF THE FINDS IN A TIMELY MANNER. IF PREHISTORIC OR HISTORIC ARTIFACTS, SUCH AS POTTERY OR CERAMICS, PROJECTILE POINTS, DUGOUT CANDLES, METAL IMPLEMENTS, HISTORIC BUILDING MATERIALS, OR ANY OTHER PHYSICAL REMAINS THAT COULD BE ASSOCIATED WITH NATIVE AMERICAN, EARLY EUROPEAN, OR AMERICAN SETTLEMENT ARE ENCOUNTERED AT ANY TIME WITHIN THE PROJECT SITE AREA, THE PERMITTED PROJECT SHALL CEASE ALL ACTIVITIES INVOLVING SUBSURFACE DISTURBANCE IN THE VICINITY OF THE DISCOVERY. THE APPLICANT SHALL CONTACT THE FLORIDA DEPARTMENT OF STATE, DIVISION OF HISTORICAL RESOURCES, COMPLIANCE REVIEW SECTION AS (850)-245-6333. PROJECT ACTIVITIES SHALL NOT RESUME WITHOUT VERBAL AND/OR WRITTEN AUTHORIZATION. IN THE EVENT THAT UNMARKED HUMAN REMAINS ARE ENCOUNTERED DURING PERMITTED ACTIVITIES, ALL WORK SHALL STOP IMMEDIATELY AND THE PROPER AUTHORITIES NOTIFIED IN ACCORDANCE WITH SECTION 872.05, FLORIDA STATUTES.
- NO DEWATERING IS ANTICIPATED DURING CONSTRUCTION OF THIS PROJECT, THEREFORE, DEWATERING MAY NOT BE CONDUCTED WITHIN THE PROPOSED PROJECT. SHOULD THE CONTRACTOR DISCOVER A NEED FOR DEWATERING, ALL REQUIRED PERMITS MUST BE IN-HAND PRIOR TO COMMENCEMENT OF DEWATERING.



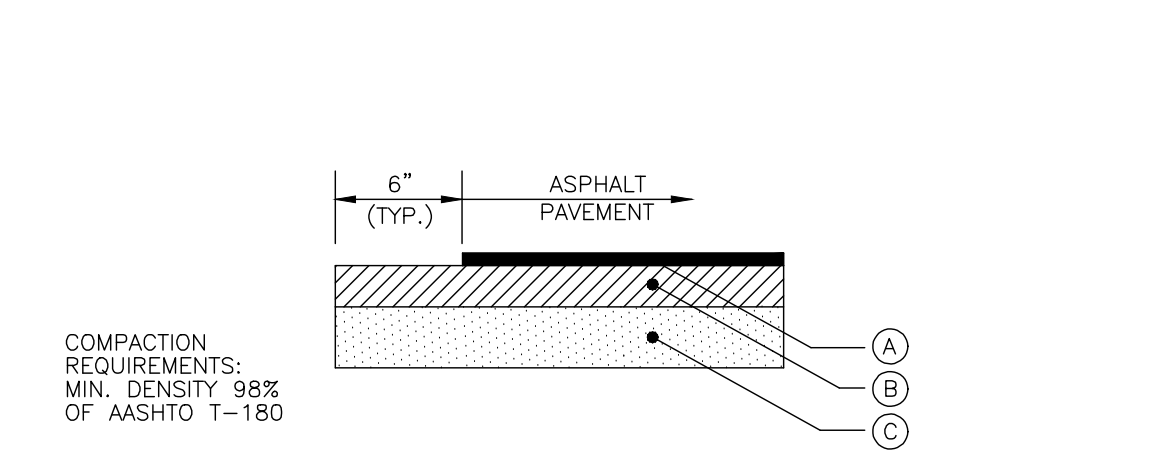
CONTRACTION JOINT IN CURB
EXPANSION JOINT, PREFORMED JOINT FILLER AND JOINT SEAL ARE REQUIRED BETWEEN CURBS AND CONCRETE PAVEMENT ONLY.
NOTE: FOR USE ADJACENT TO CONCRETE OR FLEXIBLE PAVEMENT, CONCRETE SHOWN.

GENERAL NOTES

- FOR CURB, GUTTER, AND CURB AND GUTTER PROVIDE JOINTS AT 10' CENTERS (MAX.). CONTRACTION JOINTS ADJACENT TO CONCRETE PAVEMENT ON TANGENTS AND FLAT CURVES ARE TO MATCH THE PAVEMENT JOINTS, WITH INTERMEDIATE JOINTS NOT TO EXCEED 10' CENTERS. CURB, GUTTER, AND CURB AND GUTTER EXPANSION JOINTS SHALL BE LOCATED IN ACCORDANCE WITH SECTION 520 OF THE STANDARD SPECIFICATIONS.
- ENDS OF CURBS SHALL TRANSITION FROM FULL TO ZERO HEIGHTS IN 3'.

MODIFIED CONCRETE CURB TYPE "D"

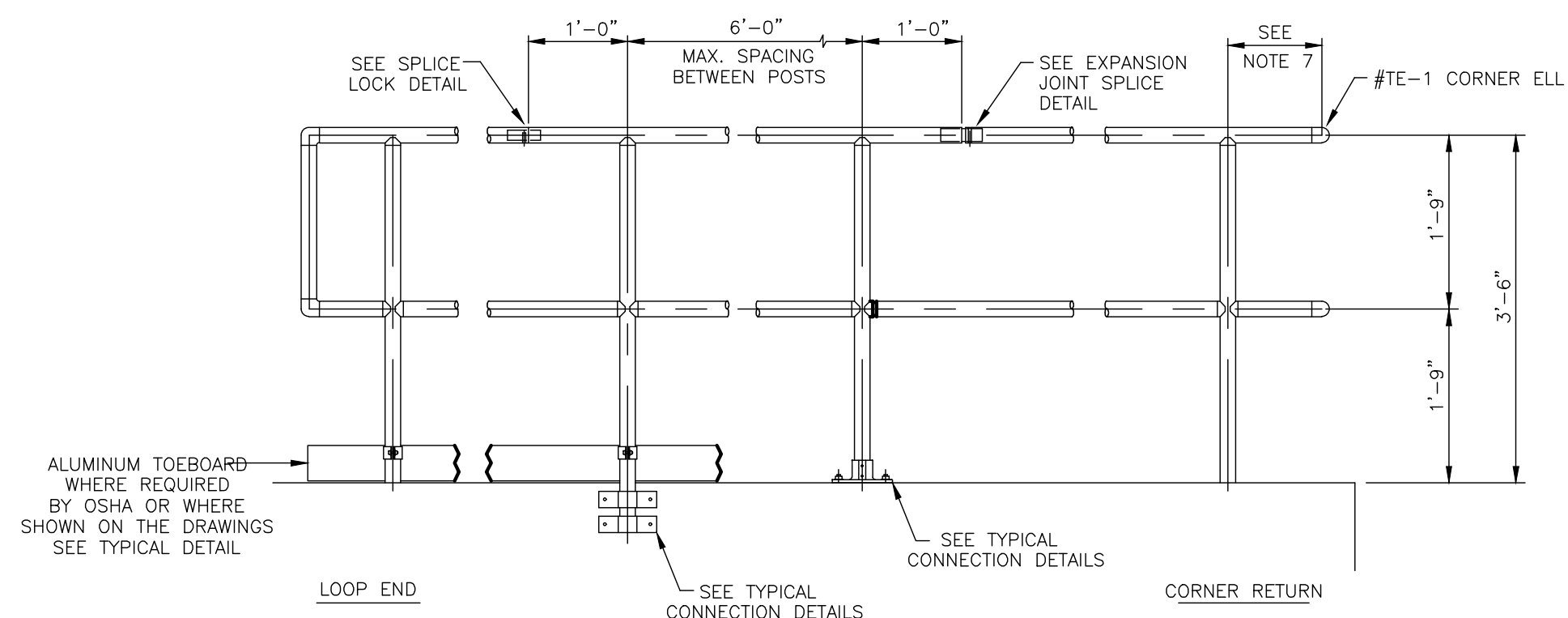
N.T.S.



- TYPICAL ON-SITE PAVEMENT**
- (A) 1-1/2" TYPE III ASPHALT*
 - (B) 6" LIMEROCK BASE LBR 100
 - (C) 6" STABILIZED SUBGRADE LBR 40
- * IN TWO (2) SEPARATE 3/4" LIFTS
- TYPICAL OFF-SITE PAVEMENT**
- (A) 1 1/2" TYPE 5-III ASPHALT** ***
 - (B) 8" LIMEROCK BASE LBR 100***
 - (C) 12" STABILIZED SUBGRADE LBR 40
- ** IN TWO (2) SEPARATE 3/4" LIFTS
*** MATCH ROADWAY SECTION
IF DIFFERENT FROM THAT SHOWN

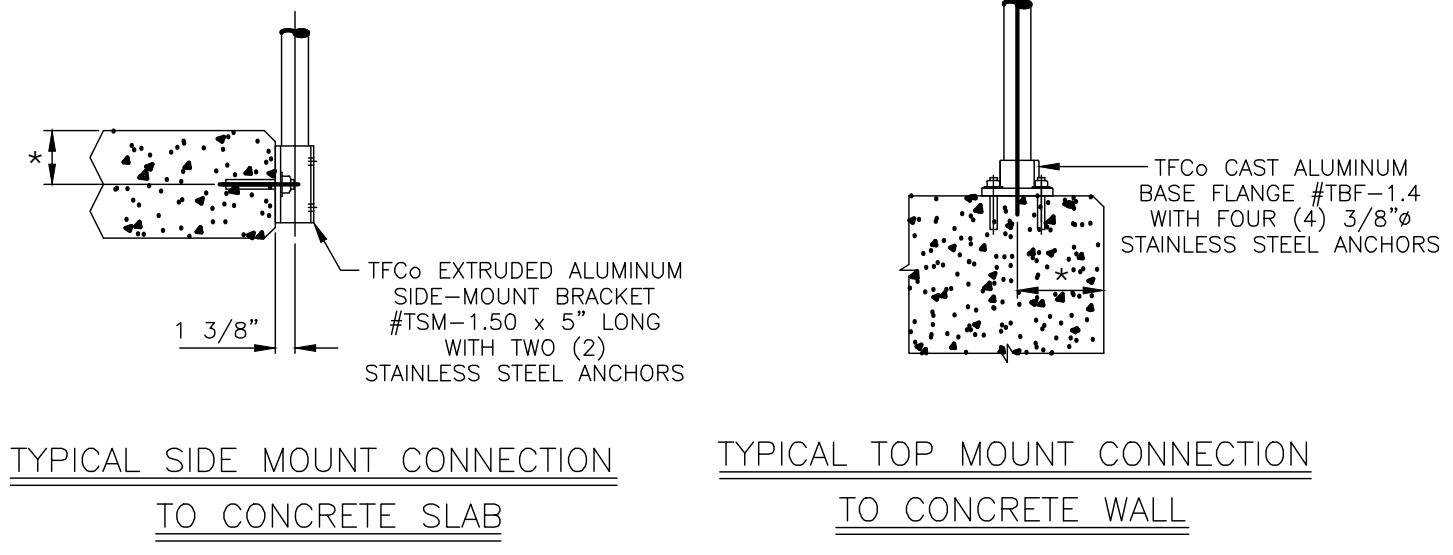
PROPOSED ASPHALT PAVEMENT CROSS-SECTION

N.T.S.



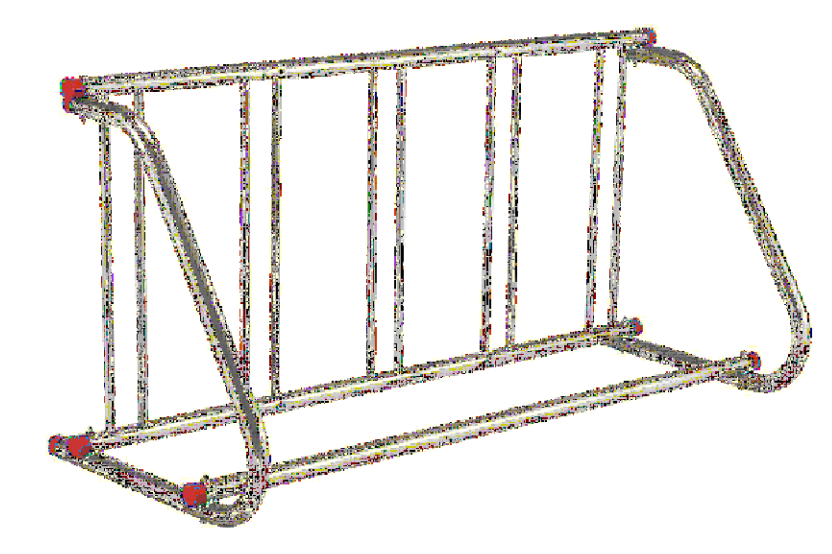
OSHA GUARDRAIL DETAIL

N.T.S.



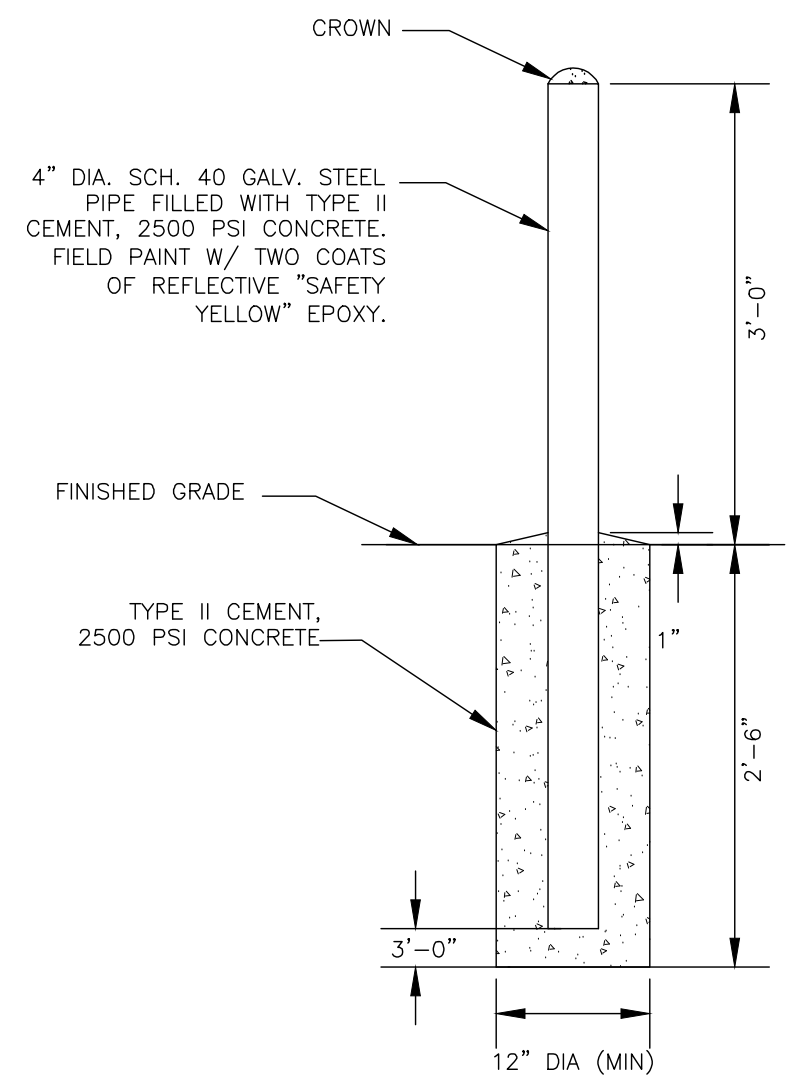
TYPICAL SIDE MOUNT CONNECTION TO CONCRETE SLAB

TYPICAL TOP MOUNT CONNECTION TO CONCRETE WALL



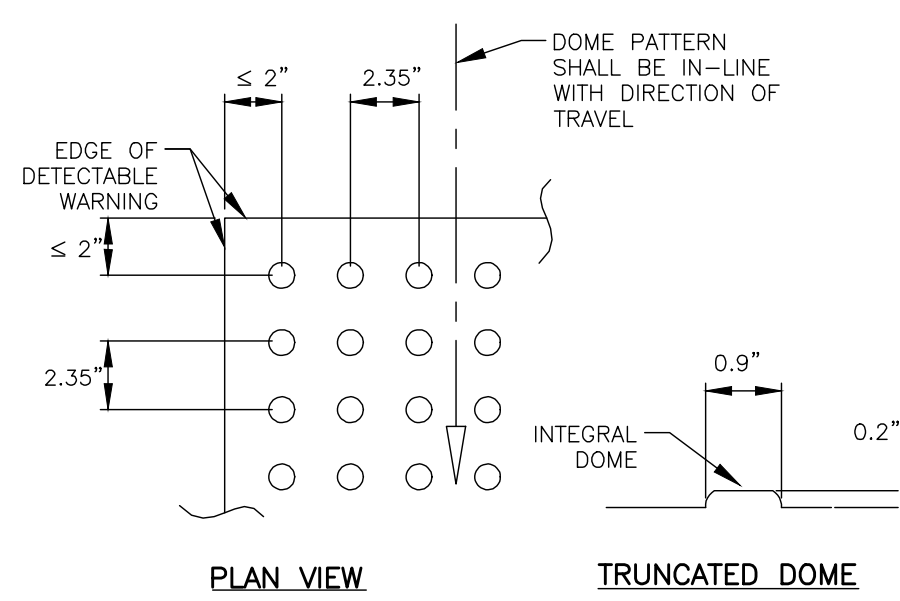
GRID BIKE RACK, 3-BIKE, SINGLE SIDED, POWDER COATED GALVANIZED STEEL

N.T.S.



BOLLARD DETAIL

N.T.S.



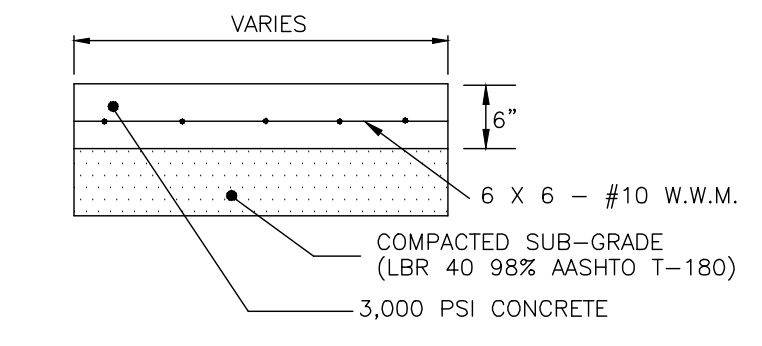
PLAN VIEW

TRUNCATED DOME

ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24 INCHES (610 MM) FROM THE BACK OF CURB.

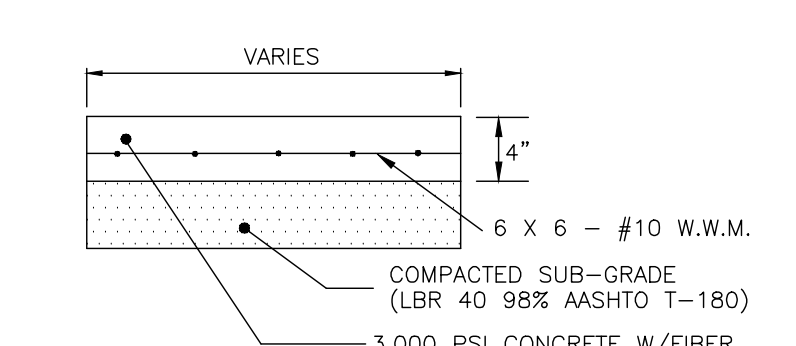
DETECTABLE WARNING SURFACE

N.T.S.



CONCRETE SIDEWALK DETAIL

N.T.S.



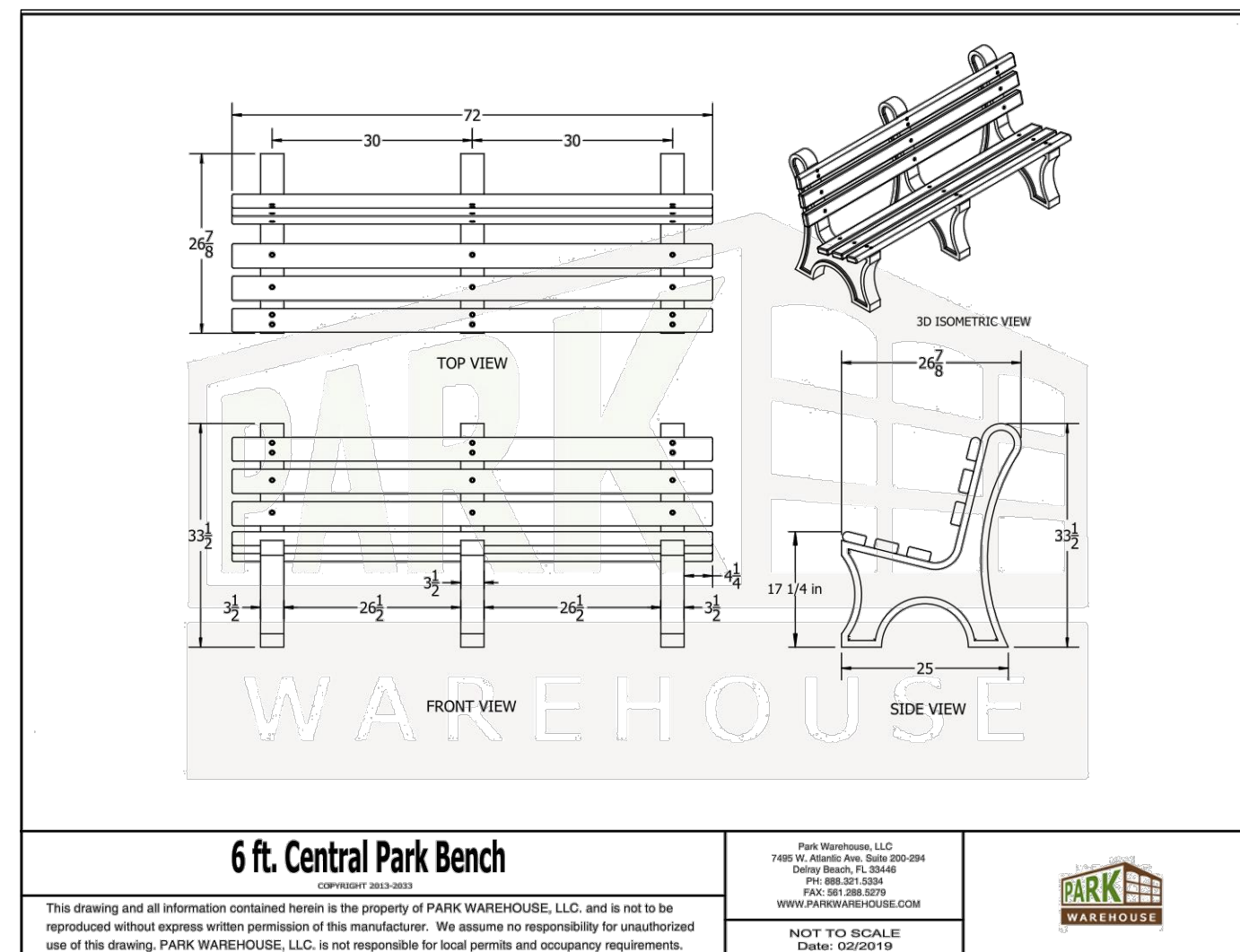
CONCRETE DUMPSTER PAD DETAIL

N.T.S.



6' WIDE CENTRAL PARK BENCH - PUBLIC SEATING

N.T.S.



6 ft. Central Park Bench

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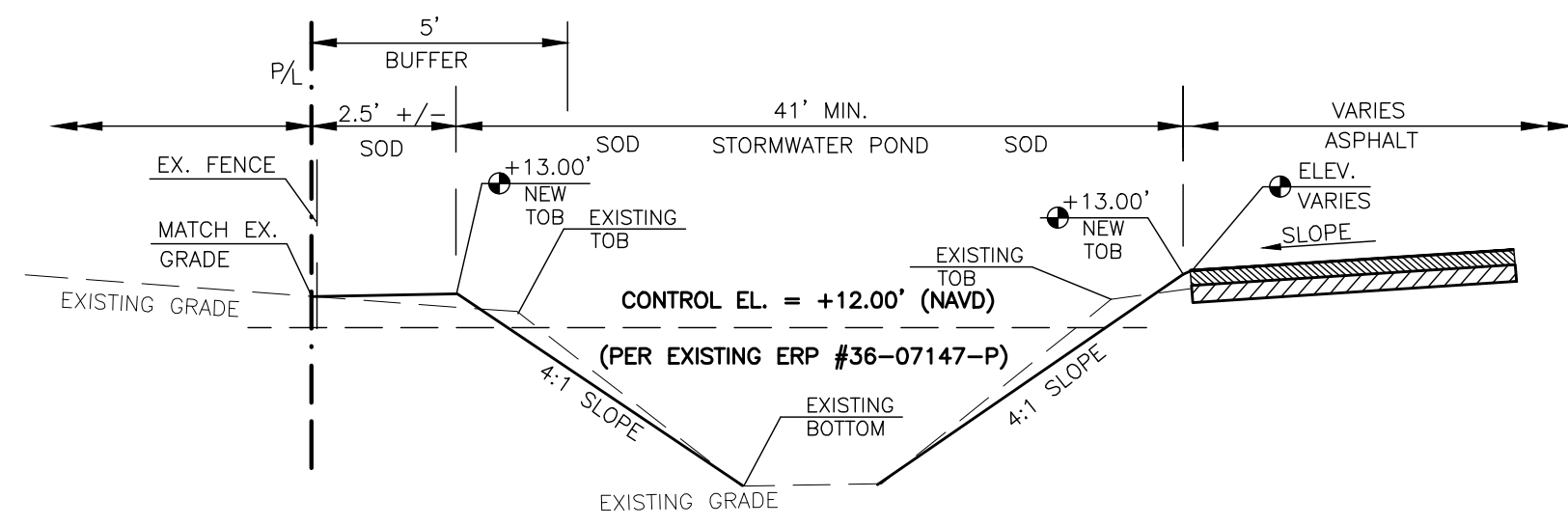
DATE	REVISIONS
09/16/2019 <td>DESIGNED BY: TDM </td>	DESIGNED BY: TDM
01/20/20 <td>REVISED PER VILLAGE OF ESTERO COMMENTS</td>	REVISED PER VILLAGE OF ESTERO COMMENTS
03/20/20 <td>REVISED PER VILLAGE OF ESTERO COMMENTS</td>	REVISED PER VILLAGE OF ESTERO COMMENTS
	DRAWN BY: SLD
	CHECKED BY: TDM
	APPROVED BY: TDM

**8111 BROADWAY EAST
PAVING, GRADING, AND
DRAINAGE DETAILS**

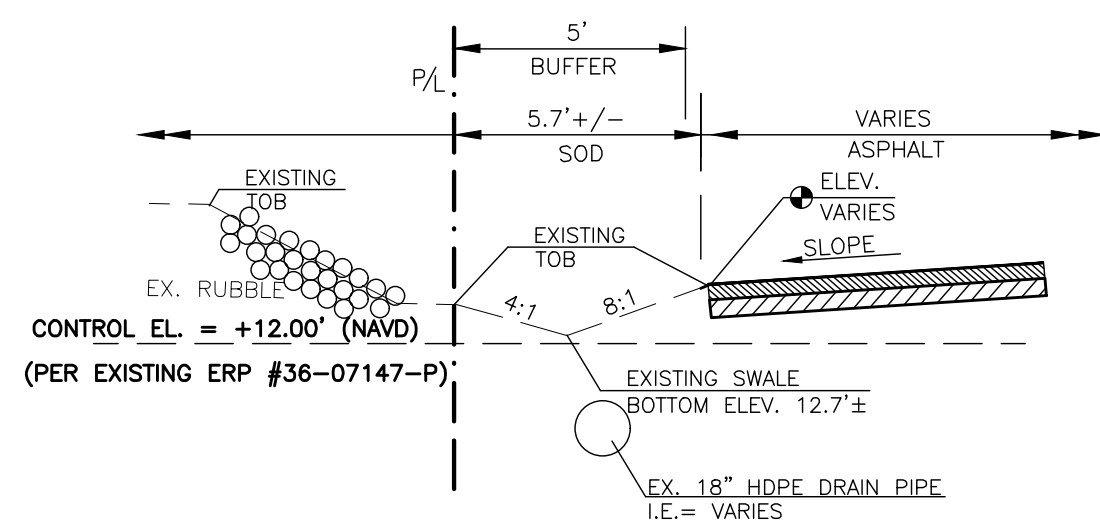


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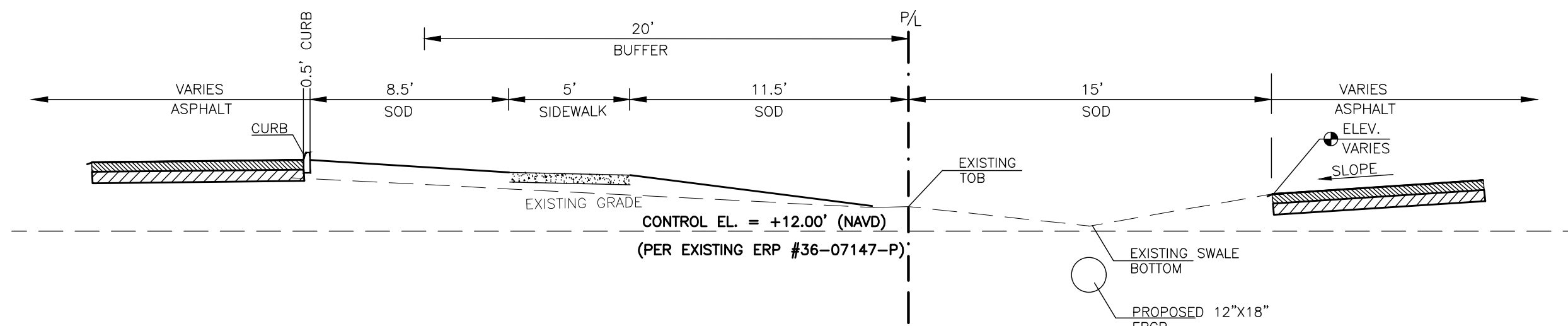




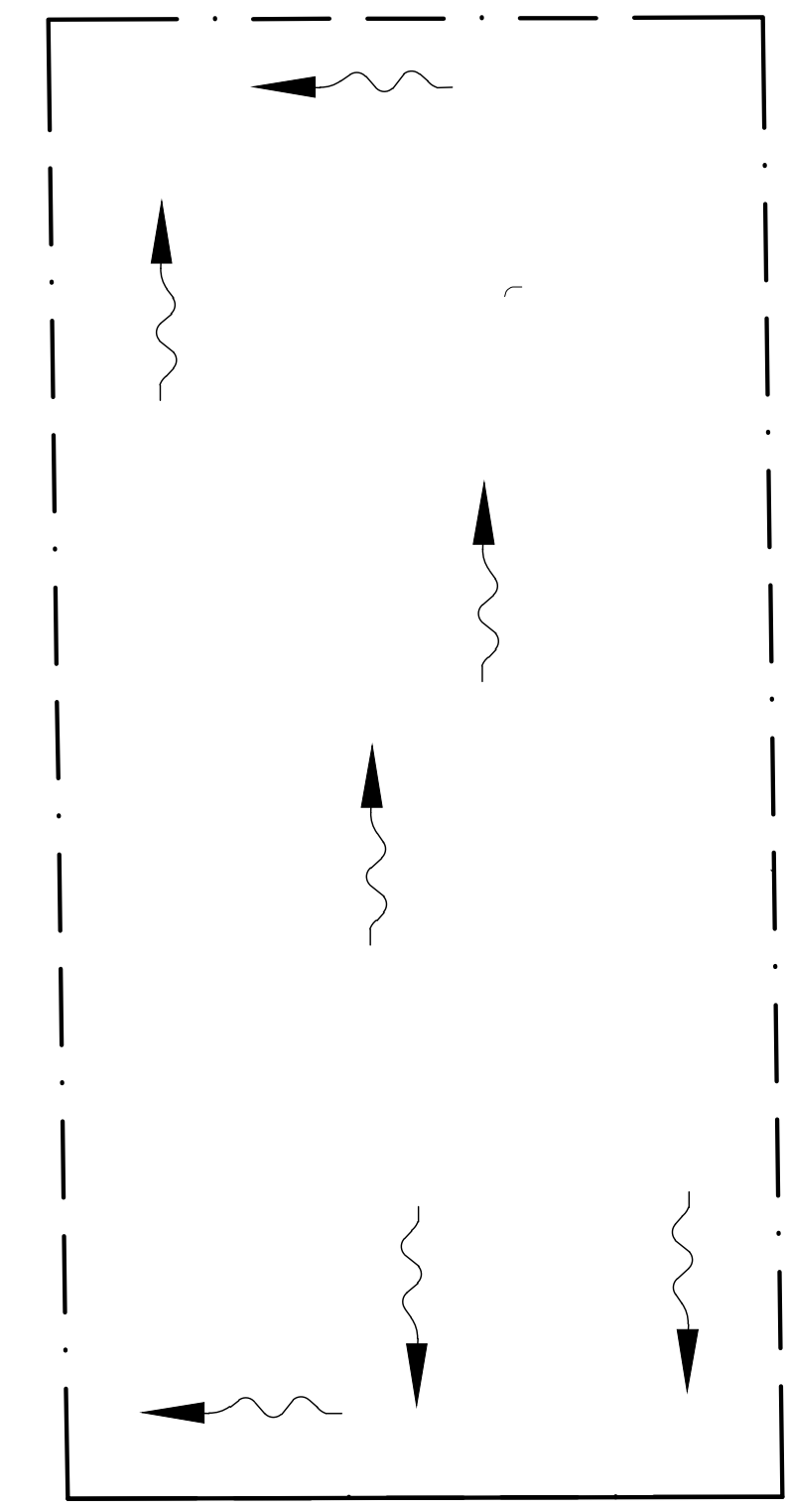
CROSS-SECTION A-A
N.T.S.



CROSS-SECTION B-B
N.T.S.



CROSS-SECTION C-C
N.T.S.

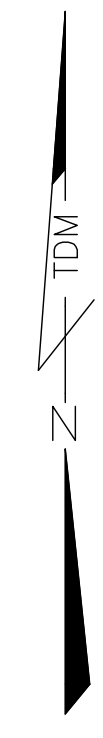


EXISTING HYDROLOGY MAP
1" = 40'



EXISTING LEE TRAN EXHIBIT
1" = 100'

EX. LEE TRAN (ROUTE 240) BUS STOP #0054



DATE	DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
09/16/2019	TDM	TDM	TDM	TDM
01/20/20				

8111 BROADWAY EAST
CROSS-SECTIONS AND
EXISTING HYDROLOGY

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DATE:

STREET ADDRESS

8111 BROADWAY E
ESTERO FL, 33928

STRAP NUMBERS

28-46-25-E2-U1923.2494

LEE COUNTY UTILITIES GENERAL NOTES

1. ALL WORK SHALL CONFORM TO LATEST REVISION OF THE LCU DESIGN MANUAL
2. ALL REGULATORY AND PERMITTING AGENCIES' REQUIREMENTS SHALL BE COMPLIED WITH AS WELL.
3. ANY QUANTITIES SHOWN ON PLANS ARE NOT VERIFIED BY LCU.
4. THE INFORMATION PROVIDED IN THESE PLANS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS THAT MAY BE ENCOUNTERED DURING THE COURSE OF WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY MAY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH THEIR BIDS WILL BE BASED.
5. ALL CONSTRUCTION WORK PERFORMED MUST BE DONE BY A CONTRACTOR LICENSED IN THE STATE OF FLORIDA TO DO THE WORK INTENDED.
6. A PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE WORK MAY BEGIN. REQUIRED ATTENDEES INCLUDE BUT ARE NOT LIMITED TO: THE ENGINEER OF RECORD OR HIS DESIGNEE, THE UNDERGROUND CONTRACTOR AND THE LCU INSPECTOR ASSIGNED TO THE PROJECT. LCU IS TO BE NOTIFIED TWO (2) WORKING DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING.
7. ONE COPY OF THE LCU APPROVED/STAMPED CONSTRUCTION PLANS, ALL CONTRACT DOCUMENTS, REFERENCE DOCUMENTS AND TECHNICAL DOCUMENTS SUBMITTED MUST BE KEPT AT THE SITE AND MAINTAINED IN GOOD ORDER.
8. ALL WORK AND MATERIALS, WHICH DO NOT CONFORM TO LCU SPECIFICATIONS, ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
9. ANY WORK PERFORMED WITHOUT THE KNOWLEDGE OF LCU IS SUBJECT TO RE-EXCAVATION, REMOVAL AND REPLACEMENT OF SAME TO BE DONE AT THE CONTRACTOR'S EXPENSE.
10. LCU INSPECTION STAFF IS TO BE PRESENT FOR ALL HOT TAPS, PRESSURE TESTS, LIFT STATION START-UPS AND FOR ANY NECESSARY INSPECTION. THE CONTRACTOR IS TO PROVIDE A MINIMUM OF TWO (2) WORKING DAYS NOTICE PRIOR TO SCHEDULING ANY OF THE ABOVE WITH THE EXCEPTION OF THE LIFT STATION START-UP WHICH REQUIRES ONE-WEEK NOTICE.
11. TRAFFIC MUST BE MAINTAINED AT ALL TIMES AS PER VILLAGE OF ESTERO DEPARTMENT OF TRANSPORTATION AND PER FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
12. THE CONTRACTOR IS TO UNCOVER ALL EXISTING LINES BEING TIED INTO AND VERIFY GRADES BEFORE BEGINNING CONSTRUCTION.
13. LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS, BUT DO NOT PURPORT TO BE ABSOLUTELY CORRECT. LCU WILL NOT GUARANTEE ANY LOCATIONS AS SHOWN ON THESE PLANS OR THOSE OMITTED FROM THESE PLANS.
14. THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND PROVIDE AT LEAST TWO (2) WORKING DAYS NOTICE TO THE INDIVIDUAL UTILITY COMPANIES, FDOT AND LCOOT PRIOR TO CONSTRUCTION.
15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND TAKE ALL POSSIBLE PRECAUTIONS TO AVOID ANY DAMAGE TO ALL UNDERGROUND PIPELINES, TELEPHONE, CABLE TV, ELECTRIC LINES/CONDUITS AND STRUCTURES IN ADVANCE OF ANY CONSTRUCTION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MAY OCCUR DUE TO HIS FAILURE TO EXACTLY LOCATE AND PROTECT EXISTING UTILITIES AND STRUCTURES.
16. ANYTHING NOT SHOWN ON THESE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL NOT CONSTITUTE AN EXTRA, UNLESS APPROVED BY THE ENGINEER OF RECORD.
17. THE CONTRACTOR SHALL CONTACT THE ENGINEER AND LCU IMMEDIATELY CONCERNING ANY CONFLICTS WITH LCU UTILITIES/STRUCTURES ARISING DURING CONSTRUCTION OF ANY FACILITIES SHOWN ON THESE DRAWINGS.
18. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE PLANS. IF ANY DISCREPANCIES IN QUANTITIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AND LCU.
19. THE CONTRACTOR SHALL REPLACE ALL PAVEMENT, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, ETC., WITH THE SAME TYPE OF MATERIAL THAT WAS REMOVED DURING CONSTRUCTION OR AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL RESTORE ALL AREAS AFFECTED BY THE CONSTRUCTION TO ITS ORIGINAL CONDITION, OR BETTER.
20. WITHIN THE FOOT AND VILLAGE OF ESTERO DOT RIGHT-OF-WAY, ALL DISTURBED AREAS SHALL RECEIVE GRASSING (SEEDING) OR SOODING MATERIALS IN ACCORDANCE WITH FDOT SPECIFICATIONS. THOSE AREAS THAT ARE CLASSIFIED AS DRAINAGE DITCHES SHALL RECEIVE FULL SOOD SOD.
21. ALL FRAMES, COVERS VALVE BOXES, METER BOXES AND MANHOLES SHALL BE ADJUSTED TO FINISHED GRADE UPON COMPLETION OF PAVING OR RELATED CONSTRUCTION. ALL VALVE PADS SHALL BE POURED IN PLACE. NO PRE-FORMED VALVE PADS WILL BE ALLOWED.
22. APPROPRIATE TURBIDITY CONTROL DEVICES (E.G. SILT FENCES, HAY BALES) WILL BE UTILIZED DURING ALL PHASES OF INSTALLATION AND GRADING. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE NOTICE OF INTENT AND NOTICE OF TERMINATION TO THE EPA IN COMPLIANCE WITH LEE COUNTY'S NPDES PERMIT.
23. CONTRACTOR IS RESPONSIBLE FOR DEVELOPING AND MAINTAINING AN EFFECTIVE STORM WATER POLLUTION PREVENTION PLAN.
24. LCU REQUIRES 30' OF COVER FOR ALL UNDERGROUND PIPING EXCEPT UNDER PAVEMENT, WHERE 36" OF COVER IS REQUIRED. IF LCU REQUIRED COVER CANNOT BE MAINTAINED, THE CONTRACTOR SHALL PROVIDE OTHER METHODS OF CONSTRUCTION OR PIPE PROTECTION, WHICH SHALL FIRST BE APPROVED BY LCU AND THE ENGINEER, AT NO ADDITIONAL COST TO THE COUNTY. IF STATE AGENCIES REQUIRE ADDITIONAL COVER, MEETING THE REQUIREMENTS SHALL BE DONE AT NO ADDITIONAL COST TO THE COUNTY.
25. LCU REQUIRES THERE TO BE A MINIMUM OF TEN (10) FEET HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN POTABLE WATER & SANITARY SEWER MAINS. LCU ALSO REQUIRES MINIMUM OF TEN (10) FEET HORIZONTAL SEPARATION BETWEEN OTHER PUBLIC AND/OR PRIVATE UTILITIES, STRUCTURE(S), BUILDING(S), WALL(S), FOUNTAIN(S), FENCE(S) AND LCU INFRASTRUCTURE UNLESS SPECIFICALLY APPROVED BY LCU.
26. LCU REQUIRES THERE TO BE A MINIMUM OF FIVE (5) FEET HORIZONTAL SEPARATION BETWEEN LCU INFRASTRUCTURE AND DRAINAGE INFRASTRUCTURE, MITERED END SECTIONS, INLETS, ETC. LCU ALSO REQUIRES MINIMUM OF FIVE (5) FEET HORIZONTAL SEPARATION BETWEEN LCU INFRASTRUCTURE AND ALL NEW LIGHT POLE FOUNDATIONS.
27. THE ROOT BALL OF PALM TREES SHALL BE A MINIMUM OF FIVE (5) FEET AND THE ROOT BALL OF SHADE TREES SHALL BE A MINIMUM OF TEN (10) FEET FROM ANY EXISTING OR PROPOSED LCU OWNED AND MAINTAINED PIPE/INFRASTRUCTURE.
28. AS THE WORK PROGRESSES THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE LCU STAMPED/APPROVED CONSTRUCTION PLANS. IN ADDITION, HE SHALL RECORD THE EXACT LOCATION OF ALL CHANGES IN VERTICAL AND HORIZONTAL ALIGNMENT WITH COORDINATES WITH RESPECT TO THE NAVD 1988 STATE PLANE FLORIDA WEST COORDINATE SYSTEM AS WELL AS ALL REQUIREMENTS SET FORTH IN THE LCU DESIGN MANUAL. THIS INFORMATION IS TO BE FORWARDED TO THE ENGINEER OF RECORD WHO PREPARED, SIGNED AND SEALED THE APPROVED CONSTRUCTION PLANS SO THAT HE CAN PREPARE "RECORD DRAWINGS" PER THE REQUIREMENTS SET FORTH IN THE LCU DESIGN MANUAL.

LOCAL UTILITIES AND SERVICES

ELECTRIC POWER:
FLORIDA POWER & LIGHT
15834 WINKLER ROAD
FT. MYERS, FL 33908
PHONE: (239) 332-9228

SOLID WASTE:
WASTE PRO
1311 RICKENBACKER PARKWAY
FORT MYERS, FL 33913
(239) 337-0800

CABLE TELEVISION:
COMCAST DIGITAL CABLE
12641 CORPORATE LAKES DR
FORT MYERS, FL 33913
239-793-3577

POTABLE WATER:
LEE COUNTY UTILITIES
1500 MONROE STREET
FORT MYERS, FL 33901
239-533-8845

WASTE WATER:
PRIVATE SEPTIC TANK & DRAINFIELD

TELEPHONE:
CENTURY LINK
5100 DANIELS PARKWAY, STE. 300
FORT MYERS, FL 33902
239-590-0440

FIRE PROTECTION:
ESTERO FIRE RESCUE
2150 THREE OAKS PARKWAY
ESTERO, FL 33928
(239) 390-8000

IRRIGATION:
PRIVATE WELL

FIRE FLOW CALCULATIONS

BASED ON NFPA 1, TABLE 18.4.5.2.1
4,800 SF PROPOSED BUILDING, CONSTRUCTION TYPE (V-B)
MINIMUM FIRE FLOW REQUIRED IN ALL CASES IS 1,750 GPM.
FF = 1,750 GPM @ 20 PSI REQUIRED
FIRE FLOW PROVIDED @ 20 PSI = 3,221 GPM DATED 8/29/19
(BUILDING IS NOT SPRINKLERED)

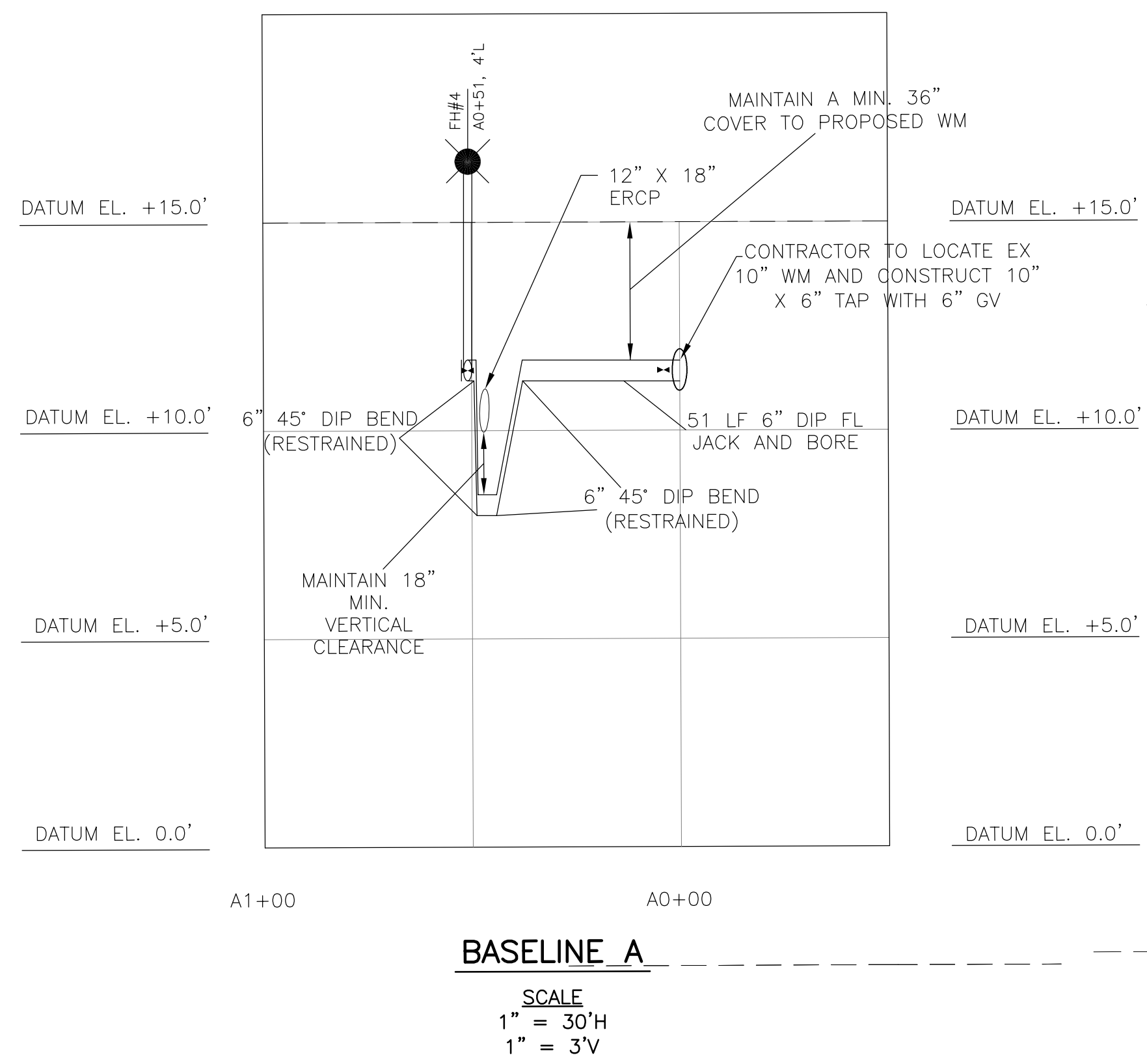
TEST LOCATION: CORNER OF EAST BROADWAY AVE & HIGHLANDS AVE.
HYDRANT NUMBER 06-001
FIRE FLOW CONDUCTED BY:
ESTERO FIRE RESCUE SERVICE DISTRICT

ESTIMATED WATER, SEWER, AND IRRIGATION USE

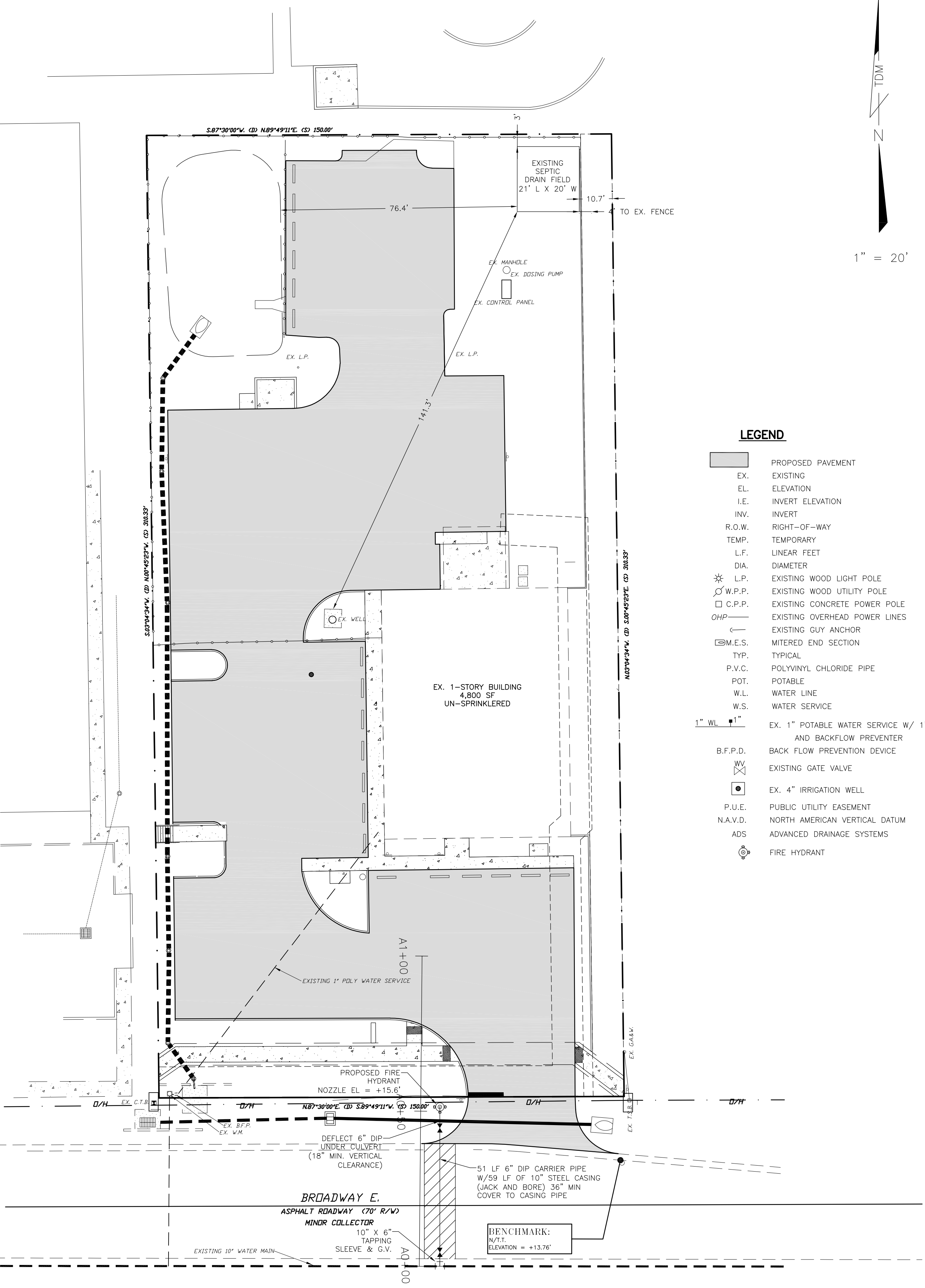
SANITARY SEWER:
PER 64E-6
STORES PER BATH ROOM:
200 GPD PER BATH ROOM
200 GPD X 4 BATH ROOMS = 800 GPD

POTABLE WATER:
SAME FLOW AS SANITARY SEWER = 800 GPD

IRRIGATION:
A = AREA TO BE IRRIGATED (TOTAL PERVIOUS AREA)
USE = A * 0.031 FT/DAY * 7.48 GAL/CF
* 100 WATERING DAYS/YR./365 DAYS
USE = 15,116 SF * 0.031 * 7.48 * 52/365
AVG. IRRIGATION WATER USE = 499 GPD



BASELINE A
SCALE
1" = 30'H
1" = 3'V



- LEGEND**
- PROPOSED PAVEMENT
 - EX. EXISTING
 - EL. ELEVATION
 - I.E. INVERT ELEVATION
 - INV. INVERT
 - R.O.W. RIGHT-OF-WAY
 - TEMP. TEMPORARY
 - L.F. LINEAR FEET
 - DIA. DIAMETER
 - L.P. EXISTING WOOD LIGHT POLE
 - W.P.P. EXISTING WOOD UTILITY POLE
 - C.P.P. EXISTING CONCRETE POWER POLE
 - OHP EXISTING OVERHEAD POWER LINES
 - EXISTING GUY ANCHOR
 - MITERED END SECTION
 - TYP. TYPICAL
 - P.V.C. POLYVINYL CHLORIDE PIPE
 - POT. POTABLE
 - W.L. WATER LINE
 - W.S. WATER SERVICE
 - EX. 1" POTABLE WATER SERVICE W/ 1" METER AND BACKFLOW PREVENTER
 - B.F.P.D. BACK FLOW PREVENTION DEVICE
 - EXISTING GATE VALVE
 - EX. 4" IRRIGATION WELL
 - P.U.E. PUBLIC UTILITY EASEMENT
 - N.A.V.D. NORTH AMERICAN VERTICAL DATUM
 - ADS ADVANCED DRAINAGE SYSTEMS
 - FIRE HYDRANT

DATE	REVISIONS
09/16/2019 <td>DESIGNED BY: TDM</td>	DESIGNED BY: TDM
01/20/20	REVISED PER VILLAGE OF ESTERO COMMENTS
03/20/20	REVISED PER VILLAGE OF ESTERO COMMENTS
	DRAWN BY: TDM
	SEC. BY: TDM
	CHECKED BY: TDM
	APPROVED BY: TDM

8111 BROADWAY EAST
UTILITY PLAN/PROFILE

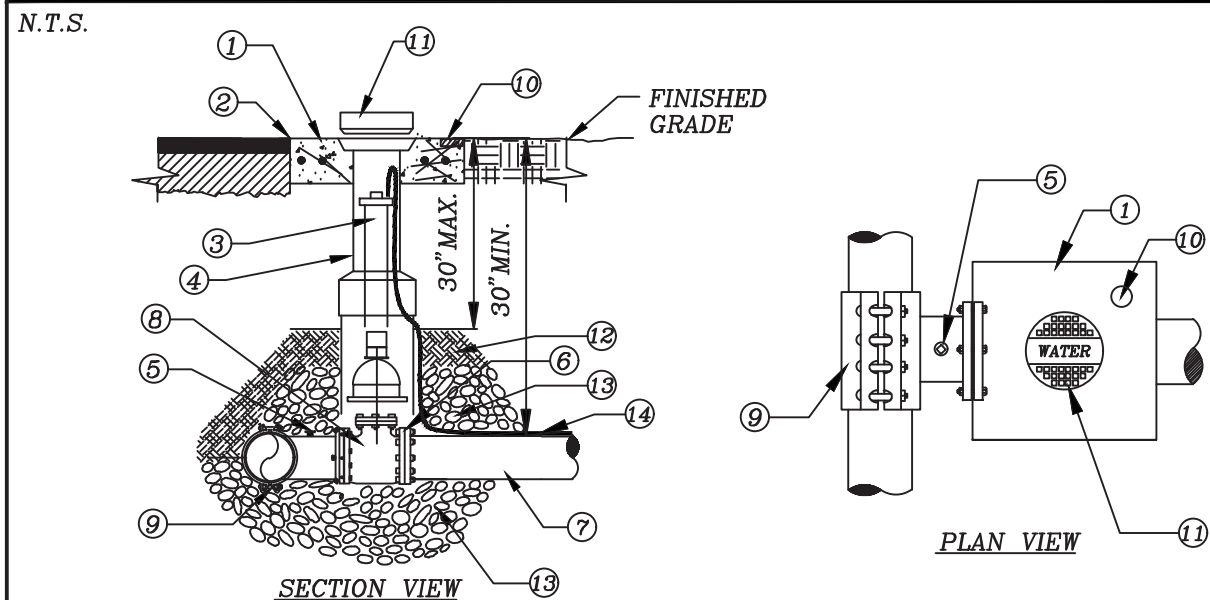
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DEAN MARTIN, P.E.
Florida #52022

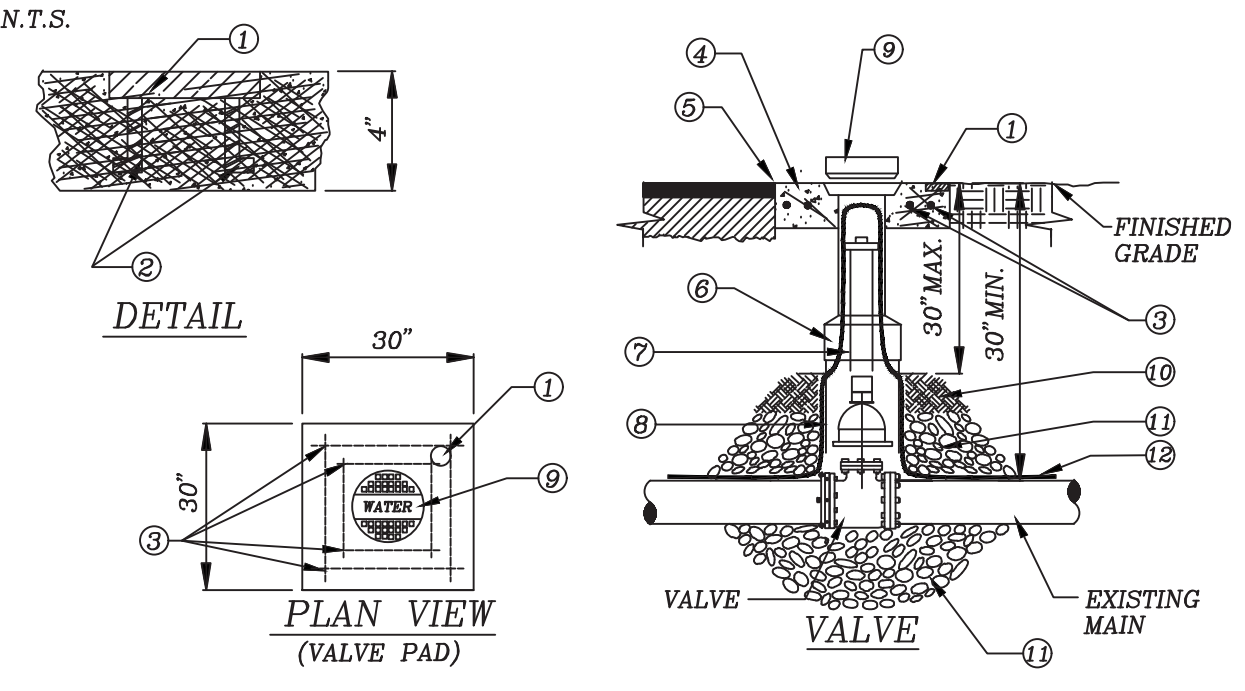
STANDARD DETAIL NO. 6.1
LEE COUNTY UTILITIES
TAPPING SLEEVE AND VALVE



- 1 CONCRETE PAD (SEE VALVE INSTALLATION DETAIL)
- 2 SET TOP OF BOX FLUSH WITH FINISHED GRADE
- 3 EXTENSION STEM IF TOP OF OPERATING NUT IS MORE THAN 30" BELOW FINISH GRADE
- 4 VALVE BOX (SEE VALVE INSTALLATION DETAIL)
- 5 OUTLET FOR TESTING
- 6 MJ RESTRAINED
- 7 MAIN SIZE VARIES
- 8 TAPPING VALVE (SEE VALVE INSTALLATION DETAIL)
- 9 LCU APPROVED ALL STAINLESS STEEL PRESSURE RATED TAPPING SLEEVE. FOR SIZE ON SIZE TAPS A FLANGED TAPPING SLEEVE IS REQUIRED. SPRING LOADED TAPPING SLEEVE IS REQUIRED WHEN CONNECTING TO HDPE (SEE APPROVED MATERIAL LIST).
- 10 BRASS PLATE (SEE VALVE INSTALLATION DETAIL)
- 11 CAST IRON DROP COVER MARKED "WATER," "SEWER," OR "REUSE"
- 12 COMPACTED SUITABLE EARTH BACKFILL
- 13 3/4" GRANULAR MATERIAL #57 STONE
- 14 12 GAUGE DOUBLE INSULATED COPPER LOCATING WIRE (SEE LCU STANDARD DETAIL)

REV: 12/10/2015

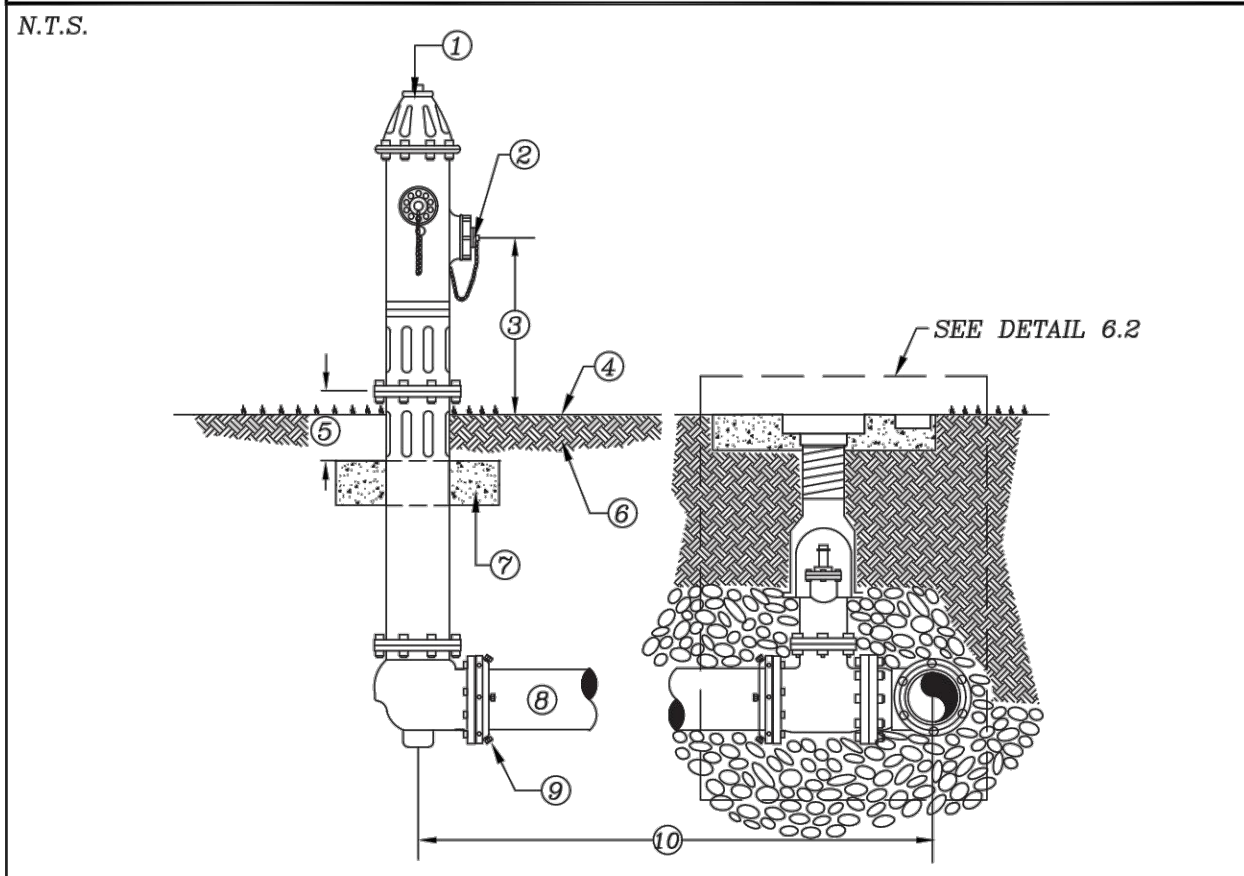
STANDARD DETAIL NO. 6.2
LEE COUNTY UTILITIES
VALVE INSTALLATION



- 1 BRASS PLATE. SIZE OF VALVE, VALVE TYPE No. OF TURNS & DIRECTION TO OPEN VALVE M.F.G. & YEAR INSTALL SYSTEM "WATER" OR "SEWER" OR "REUSE" OR "FIRE"
- 2 ANCHOR
- 3 EIGHT (8) #4 BARS OVERLAP EACH CORNER BY 2"
- 4 30" SQ X 4" THK. CONC. PAD SURROUNDING BOX, MIN. 3,000 P.S.I. POURED IN PLACE
- 5 SET TOP OF BOX FLUSH WITH FINISHED GRADE
- 6 HEAVY DUTY TRAFFIC BEARING CAST IRON VALVE BOX, ADJUSTABLE SCREW TYPE, 5 1/4" DIAMETER SHAFT THAT IS LCU APPROVED
- 7 EXTENSION STEM WITH 2" OPERATING NUT AS REQUIRED, IF NUT IS MORE THAN 30" BELOW FINISH GRADE
- 8 RISER NOT TO BEAR ON VALVE OR PIPE
- 9 CAST IRON DROP COVER MARKED "WATER" OR "SEWER" OR "REUSE OR "FIRE"
- 10 COMPACTED SUITABLE EARTH BACKFILL
- 11 3/4" GRANULAR MATERIAL #57 STONE
- 12 12 GAUGE DOUBLE INSULATED COPPER LOCATING WIRE (SEE LCU STANDARD DETAIL)

REV: 12/10/2015

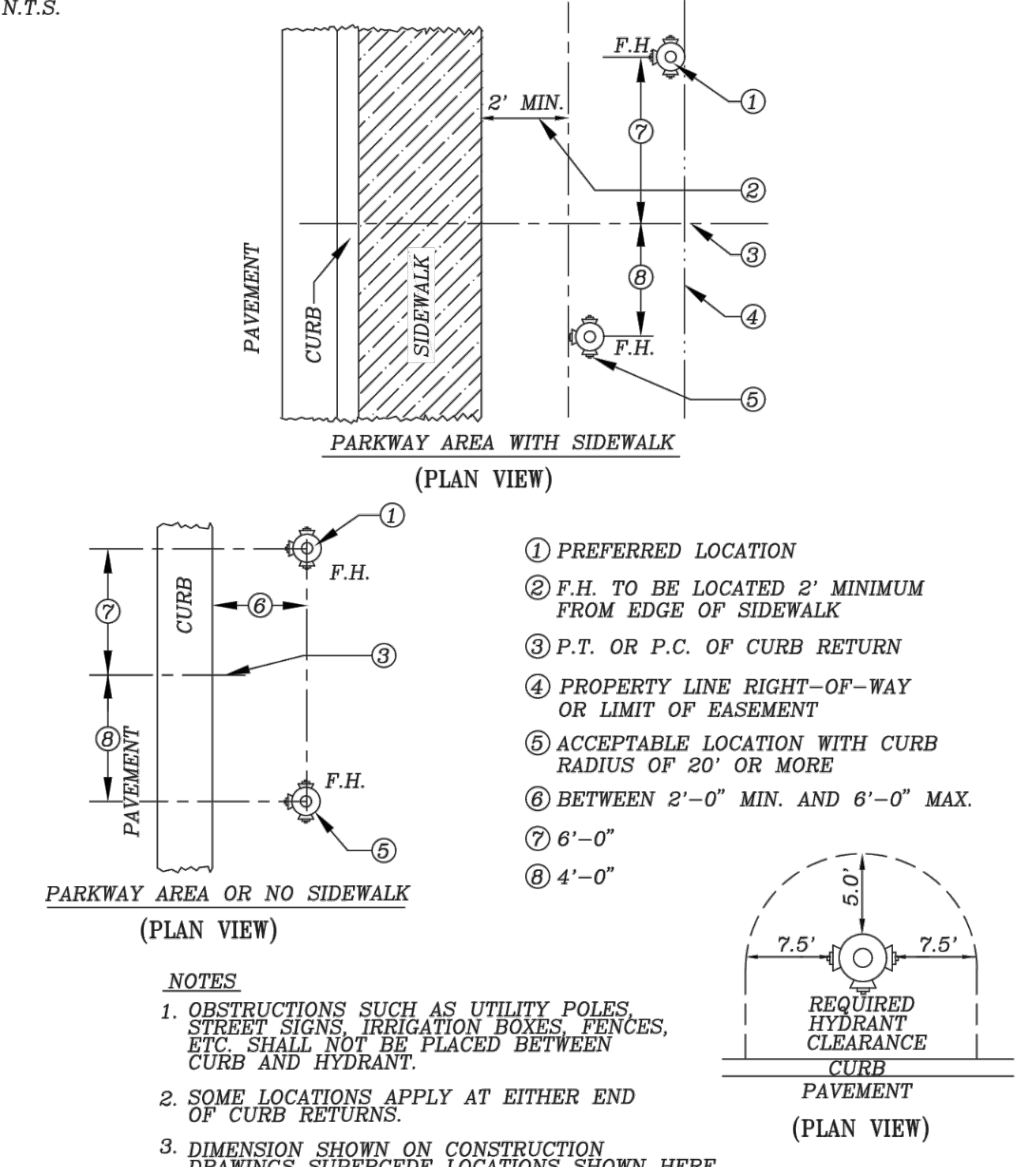
STANDARD DETAIL NO. 6.24
LEE COUNTY UTILITIES
FIRE HYDRANT ASSEMBLY



- 1 FIRE HYDRANT. STANDARD A.W.W.A. SAFETY YELLOW (SEE APPROVED MATERIAL LIST)
- 2 PUMPER CONNECTION FACING AS PER FIRE DISTRICT RECOMMENDATION
- 3 18" MIN. - 24" MAX.
- 4 FINISHED GRADE
- 5 6" MIN. CLEARANCE
- 6 COMPACTED FILL
- 7 30" X 30" X 4" CONCRETE BREAK AWAY CONCRETE PAD, 3000 P.S.I.
- 8 PIPE TO BE D.I.P., PRESSURE CLASS 350
- 9 RESTRAINED JOINTS, FROM HYDRANT TO WATER MAIN
- 10 VARIABLE DISTANCE IF GREATER THAN 100' A VALVE SHALL BE INSTALLED AT HYDRANT BASE

REV: 12/10/2015

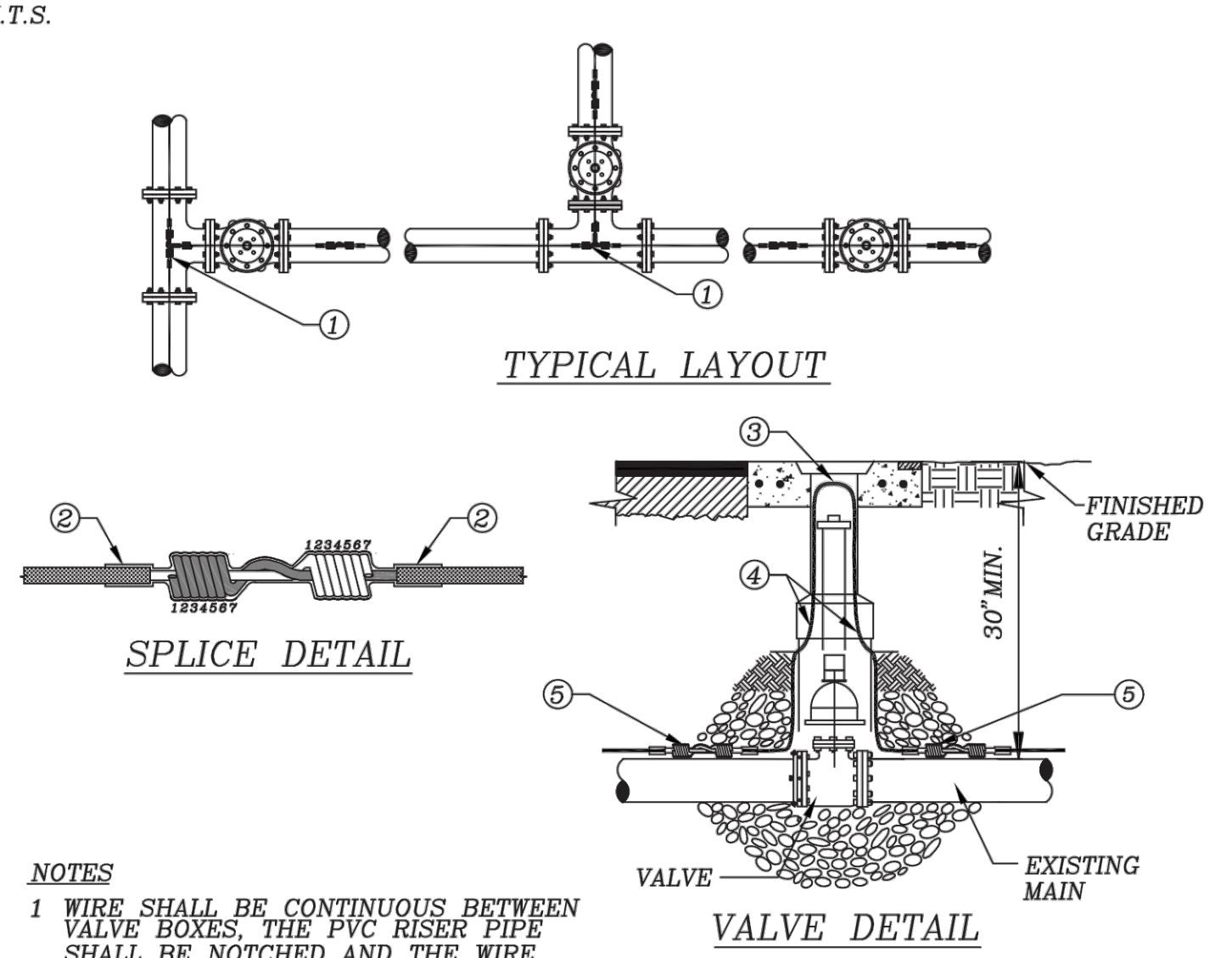
STANDARD DETAIL NO. 6.25
LEE COUNTY UTILITIES
FIRE HYDRANT LOCATIONS/CLEARANCE



- 1 PREFERRED LOCATION
 - 2 F.H. TO BE LOCATED 2' MINIMUM FROM EDGE OF SIDEWALK
 - 3 P.T. OR P.C. OF CURB RETURN
 - 4 PROPERTY LINE RIGHT-OF-WAY OR LIMIT OF EASEMENT
 - 5 ACCEPTABLE LOCATION WITH CURB RADIUS OF 20' OR MORE
 - 6 BETWEEN 2'-0" MIN. AND 6'-0" MAX.
 - 7 6'-0"
 - 8 4'-0"
- NOTES
 1. OBSTRUCTIONS SUCH AS UTILITY POLES, STREET SIGNS, IRRIGATION BOXES, FENCES, ETC. SHALL NOT BE PLACED BETWEEN CURB AND HYDRANT.
 2. SOME LOCATIONS APPLY AT EITHER END OF CURB RETURNS.
 3. DIMENSION SHOWN ON CONSTRUCTION DRAWINGS SUPERCEDE LOCATIONS SHOWN HERE.

REV: 12/10/2015

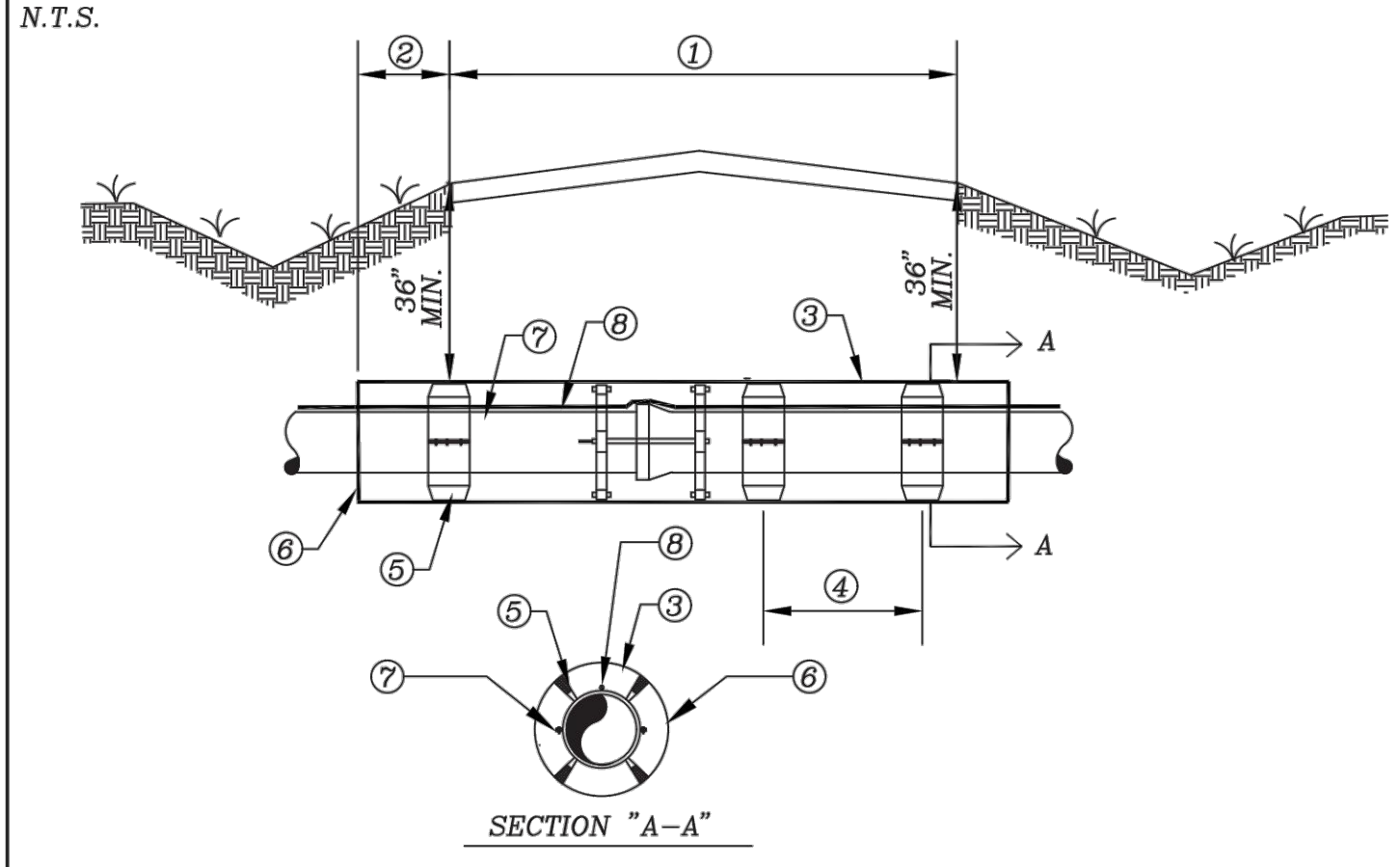
STANDARD DETAIL NO. 6.3
LEE COUNTY UTILITIES
LOCATING WIRE FOR PRESSURE MAINS



- NOTES
 1 WIRE SHALL BE CONTINUOUS BETWEEN VALVE BOXES. THE PVC RISER PIPE SHALL BE NOTCHED AND THE WIRE ATTACHED TO THE RISER PIPE TO ALLOW FOR THE WIRE TO FIT INSIDE THE CAST IRON VALVE BOX WITHOUT SHEARING THE WIRE.
 2 LOCATING WIRE SHALL BE LAID ON TOP OF THE MAIN AND SHALL BE TAPED TO IT AT 10' INTERVALS AND TAPED AT ALL FITTINGS. TAPE SHALL BE 10 MIL POLYETHYLENE.
 3 CONTRACTOR SHALL CONDUCT A CONTINUITY TEST ON ALL LOCATING WIRE SPLICES. PRIOR TO SCHEDULING THE OFFICIAL FINAL INSPECTION WITH LCU.
 4 ALL SPLICES SHALL UTILIZE A DIRECT BURY WATERPROOF SPLICE KIT (SEE APPROVED MATERIAL LIST)
- 1 SPLICE RUN TOGETHER. KEEP CLEAR OF FITTING, TYPICAL
 - 2 COVER SPLICE WITH 2 WRAPS OF 10 MIL. POLYETHYLENE TAPE
 - 3 6" LOOP OF BARE WIRE, 9" MAX. DEPTH TO TOP OF BARE WIRE
 - 4 12 GAUGE DOUBLE INSULATED COPPER LOCATING WIRE
 - 5 SPLICE (SEE DETAIL THIS SHEET)

REV: 12/10/2015

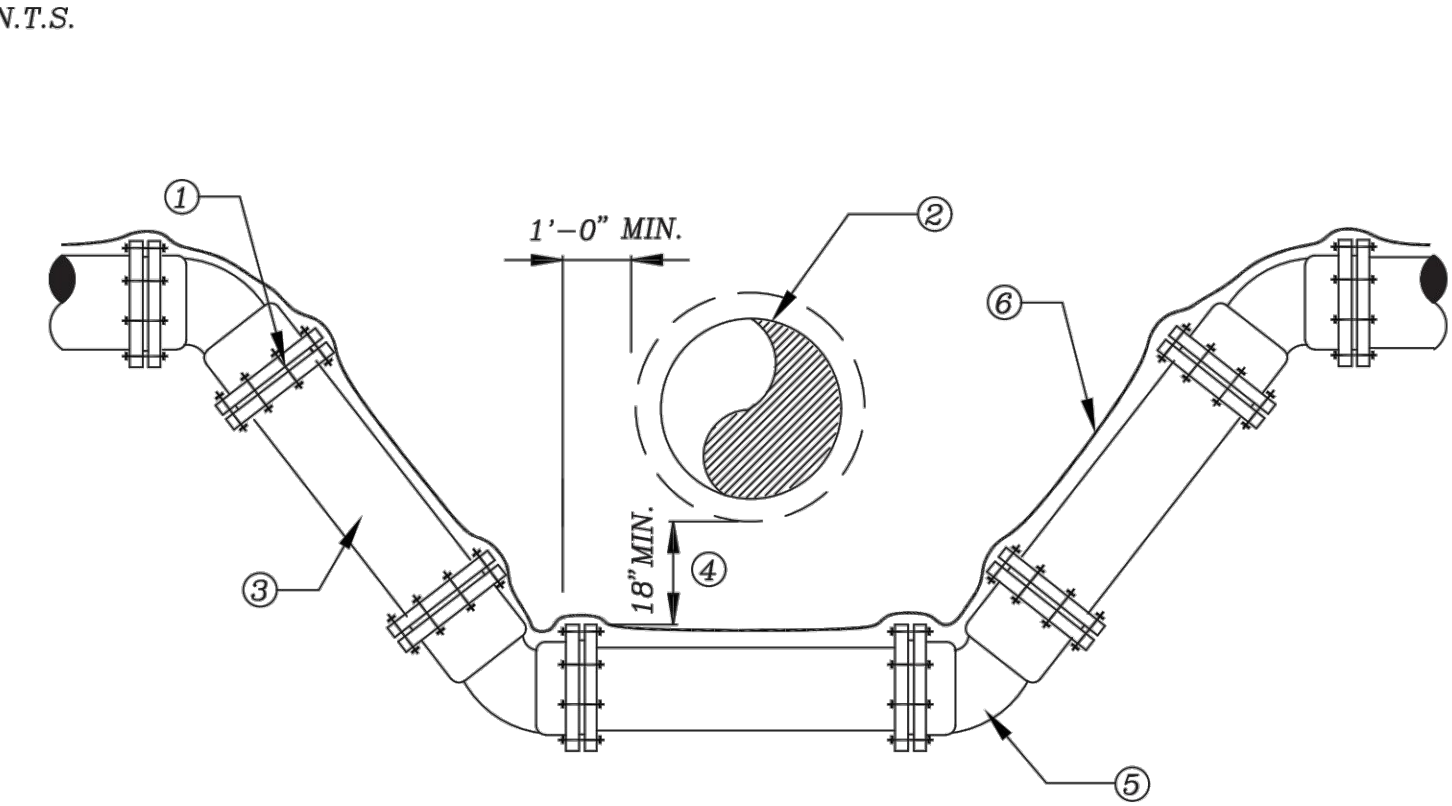
STANDARD DETAIL NO. 6.6
LEE COUNTY UTILITIES
JACK AND BORE



- 1 LIMITS OF PAVEMENT
- 2 EXTEND CASING 4' MIN. BEYOND E.O.P. AND/OR BACK OF CURB FOR L.C.D.O.T. MAINTAINED R.O.W. AND 8' MIN. FOR F.D.O.T. MAINTAINED R.O.W.
- 3 STEEL CASING PIPE CONFORMING TO ASTM A-139
- 4 7" O.C. MAX OR AS PER MANUFACTURER'S RECOMMENDATION
- 5 L.C.U. APPROVED CASING SPACERS
- 6 SEAL CASING ENDS WITH: 8" WALL OF BRICK MASONRY WITH WEEP HOLE INSTALLED NEAR BOTTOM, OR APPROVED EQUAL
- 7 ALL JOINTS OF THE CARRIER PIPE SHALL HAVE BELL RESTRAINTS
- 8 12 GAUGE DOUBLE INSULATED COPPER WIRE (SEE LCU STANDARD DETAIL)

REV: 12/10/2015

STANDARD DETAIL NO. 6.10
LEE COUNTY UTILITIES
WATER PRESSURE LINE VERTICAL OFFSET W/ DUCTILE IRON MJ FITTINGS & PIPE



- 1 LCU APPROVED JOINT RESTRAINT FOR D.I., M.J. PIPE AND FITTINGS PLACED IN ACCORDANCE WITH JOINT RESTRAINT SCHEDULE. (SEE DETAIL 6.12)
- 2 CONFLICT PIPE
- 3 LCU APPROVED DUCTILE IRON PIPING PRESSURE CLASS 350
- 4 18" MIN. UNLESS OTHERWISE APPROVED BY LCU
- 5 45° MECHANICAL JOINT FITTING, TYPICAL
- 6 12 GAUGE DOUBLE INSULATED COPPER WIRE (SEE LCU STANDARD DETAIL)

REV: 12/10/2015

STREET ADDRESS
 8111 BROADWAY E
 ESTERO FL, 33928
STRAP NUMBERS
 28-46-25-E2-U1923.2494

8111 BROADWAY EAST
UTILITY DETAILS

DATE	DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
09/16/2019	TDM	TDM	TDM	TDM
01/20/20	REVISED PER VILLAGE OF ESTERO COMMENTS			
03/20/20	REVISED PER VILLAGE OF ESTERO COMMENTS			

REVISIONS	DATE	DESCRIPTION
1	01/20/20	REVISED PER VILLAGE OF ESTERO COMMENTS
2	03/20/20	REVISED PER VILLAGE OF ESTERO COMMENTS

Civil Engineering and Planning

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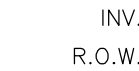
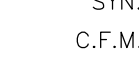


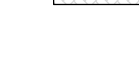






DEAN MARTIN, P.E.
 Florida #52022

SHEET # **9A** of **12**
 SCALE: N.T.S.

STREET ADDRESS
 8111 BROADWAY E
 ESTERO FL, 33928

STRAP NUMBERS
 28-46-25-E2-U1923.2494

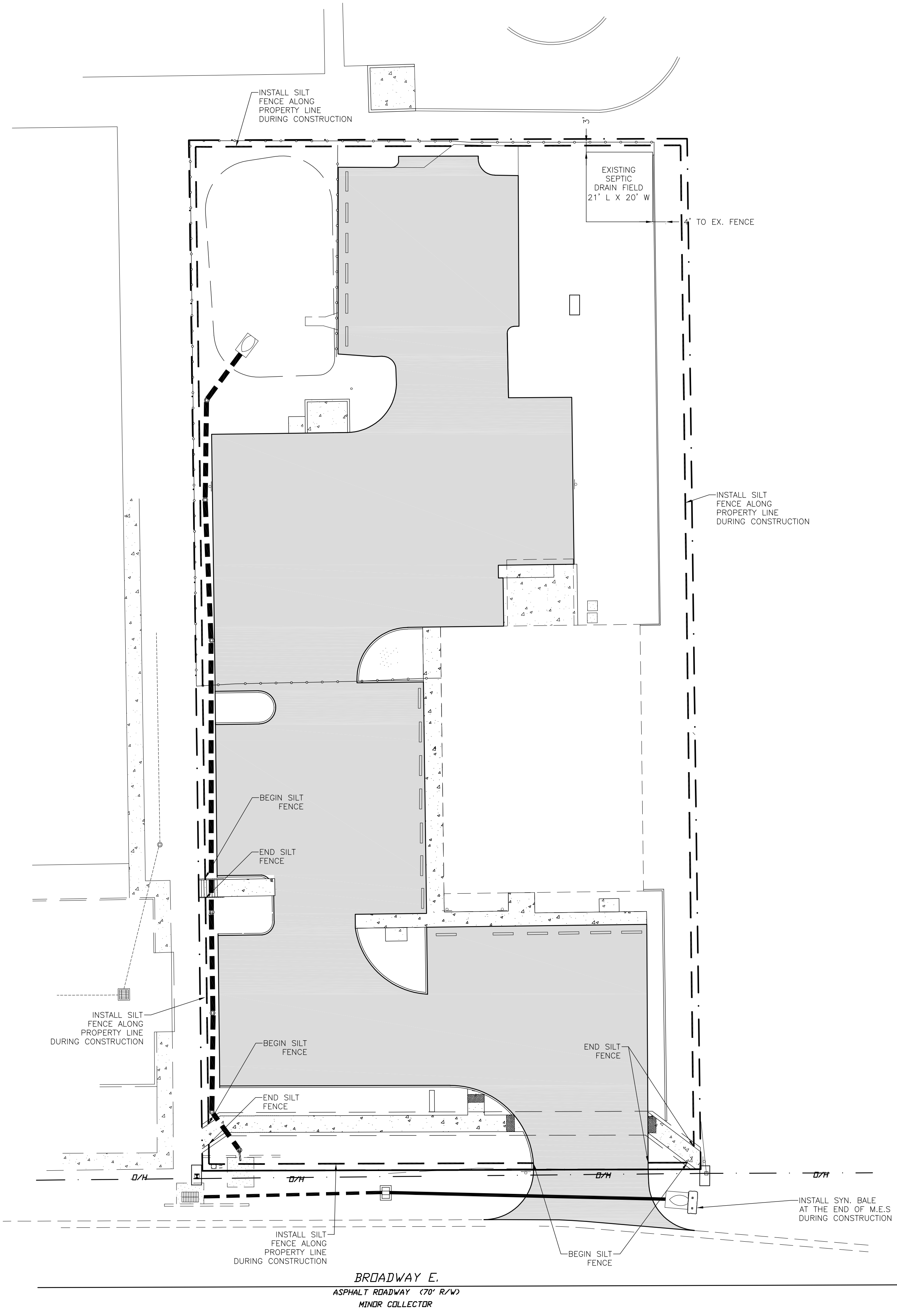
LEGEND

	PROPOSED PAVEMENT
	EX. EXISTING
	E.L. ELEVATION
	I.E. INVERT ELEVATION
	INV. INVERT
	R.O.W. RIGHT-OF-WAY
	SYN. SYNTHETIC
	C.F.M. CITY OF FORT MYERS
	SILT FENCE
	ADS. ADVANCED DRAINAGE SYSTEMS
	M.E.S. MITERED END SECTION
	T.B. TRAFFIC BEARING
	SUBDIVISION ROADWAY (CURRENTLY BEING CONSTRUCTED)

DATE: 09/16/2019
 DESIGNED BY: TDM
 DRAWN BY: TDM
 CHECKED BY: TDM
 APPROVED BY: TDM

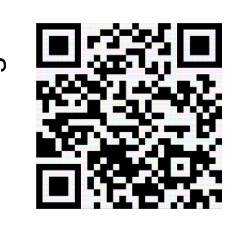
DATE: 01/20/20
 REVISIONS: REVISED PER VILLAGE OF ESTERO COMMENTS

1" = 20'



**8111 BROADWAY EAST
 STORMWATER POLLUTION
 PREVENTION PLAN**

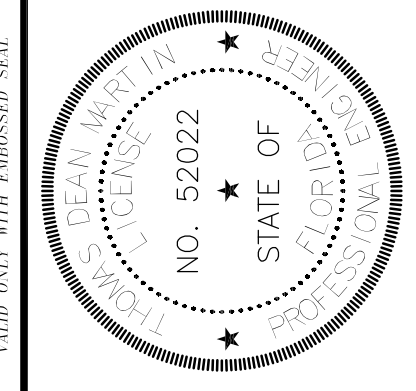
Civil Engineering
 and
 Planning



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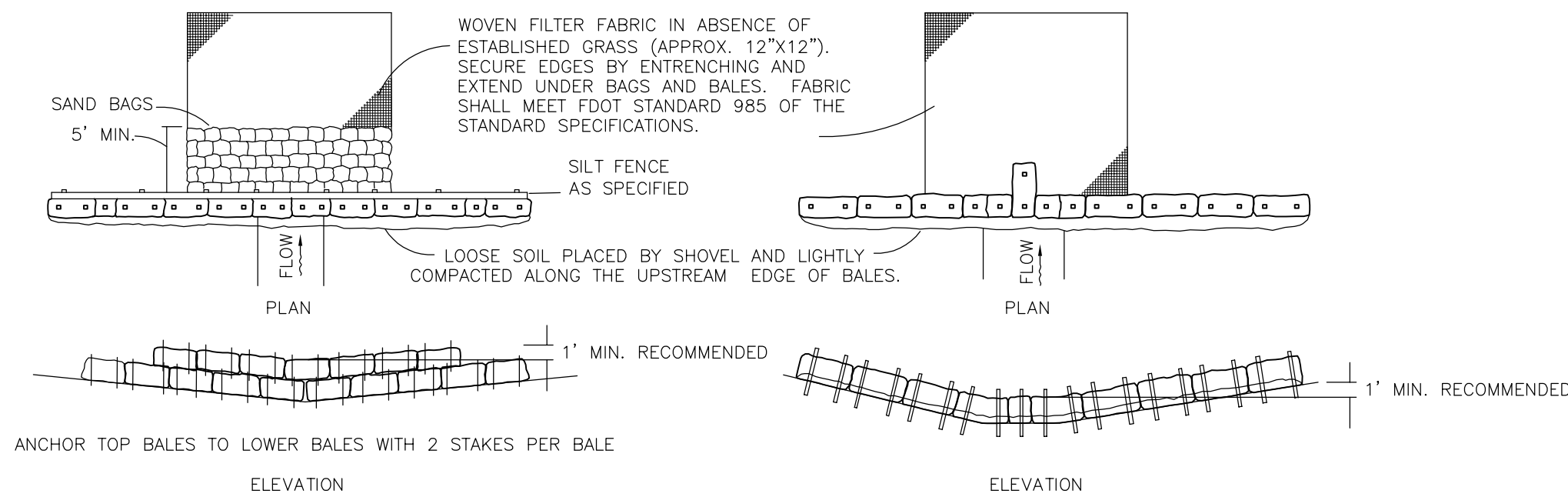


DEAN MARTIN, P.E.
 Florida #52022

SHEET # **10 of 12**
 SCALE: 1" = 20'

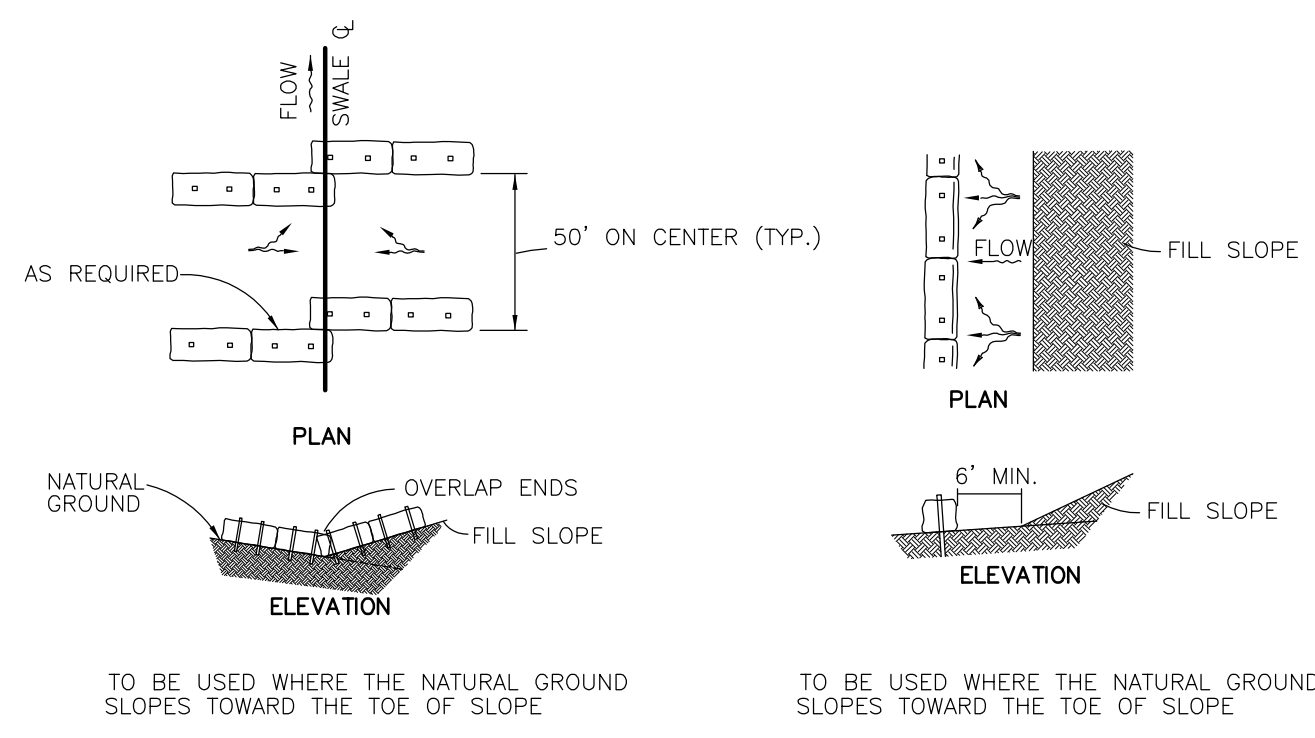
CONSTRUCTION POLLUTION PREVENTION PLAN

- SILT FENCE SHALL BE PROPERLY INSTALLED AT THE PERIMETER OF THE LIMITS OF DISTURBANCE PRIOR TO CONSTRUCTION.
- SYNTHETIC BALE (OR BALE TYPE BARRIER) AND SILT FENCE CHECK DAM BARRIERS SHALL BE INSTALLED IN ALL PROPOSED SWALES AT 200' INTERVALS AFTER SWALE CONSTRUCTION AND SHALL BE MAINTAINED UNTIL FINAL STABILIZATION.
- CLEARING AND GRUBBING DEBRIS SHALL BE REMOVED AND PROPERLY DISPOSED OF BY CONTRACTOR.
- TOPSOIL STOCK PILES AND OTHER DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY CEASES FOR MORE THAN SEVEN (7) DAYS WILL BE STABILIZED WITH TEMPORARY SEEDING AND MULCH WITHIN SEVEN (7) DAYS FROM THE DATE OF LAST CONSTRUCTION ACTIVITY IN THAT AREA.
- PROPOSED SWALES ARE TO BE SODDED OR SEEDDED IMMEDIATELY AFTER CONSTRUCTION PER THE APPROPRIATE CROSS-SECTION.
- ALL WASTE MATERIAL WILL BE COLLECTED AND STORED IN A LIDDED METAL CONTAINER IN ACCORDANCE WITH LEE COUNTY SOLID WASTE STANDARDS. SAID DUMPSTER WILL BE EMPTIED A MINIMUM OF ONCE A WEEK OR MORE OFTEN IF NECESSARY.
- ALL HAZARDOUS OR TOXIC MATERIAL WILL BE PROPERLY CONTAINED AND DISPOSED OF IN ACCORDANCE WITH APPROPRIATE STATE AND FEDERAL REGULATIONS.
- THIS SITE IS TO BE SERVED BY PORTABLE SANITARY FACILITIES DURING CONSTRUCTION. POST CONSTRUCTION WILL BE SERVED BY CONNECTION TO ON-SITE FACILITIES.
- THE EFFECTIVENESS OF THE STORMWATER POLLUTION PREVENTION PLAN AND THE TEMPORARY EROSION/SEDIMENT CONTROLS SHALL BE CHECKED DAILY DURING CONSTRUCTION BY CONTRACTOR OR A DESIGNATED REPRESENTATIVE. IF STATE OF FLORIDA WATER QUALITY STANDARDS ARE NOT MET, CORRECTION TO THE PROBLEMS SHALL BE MADE AS SOON AS PRACTICAL.
- SILT FENCING WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO INSURE PROPER ATTACHMENT TO POSTS, AND TO ENSURE POSTS ARE SECURELY PLACED.
- ALL POLLUTION PREVENTION CONTROL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. REPAIRS WILL BE INITIATED IMMEDIATELY, BUT NOT LONGER THAN TWENTY-FOUR (24) HOURS AFTER DISCOVERY.
- BUILT-UP SEDIMENT WILL BE REMOVED FROM SILT FENCING WHEN IT REACHES ONE-THIRD (1/3) OF THE HEIGHT OF THE FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAZARDOUS MATERIAL SPILLS OR POLLUTANTS ON SITE. SAID SPILLS SHALL BE CLEANED UP AS SOON AS THEY OCCUR.
- STORMWATER POLLUTION PREVENTION SHALL BE IMPLEMENTED DURING CONSTRUCTION. IF ADDITIONAL TEMPORARY EROSION/SEDIMENT CONTROLS (NOT SHOWN ON THE CONSTRUCTION PLANS) ARE NECESSARY TO MAINTAIN COMPLIANCE WITH STATE OF FLORIDA WATER QUALITY STANDARDS, SUCH CONTROLS SHALL BE DESIGNED, SPECIFIED, LOCATED, AND INSTALLED AS REQUIRED BY ENGINEER/CONTRACTOR OR A DESIGNATED REPRESENTATIVE. ALL TEMPORARY CONTROLS SHALL PREVENT SEDIMENT AND OTHER DELETERIOUS SUBSTANCES FROM ENTERING UTILITY AND STORMWATER DRAIN ENTRANCES, DRAINAGE DITCHES, WATERBODIES, WETLANDS, AND ADJACENT PROPERTY.
- CONTRACTOR OR HIS AGENT WILL INFORM ALL SUBCONTRACTORS OF THE CONSTRUCTION POLLUTION PREVENTION PLAN AS SHOWN ON THIS SHEET AND VERIFY THAT ALL CONCERNED PARTIES ARE COMPLYING WITH THEM.
- ALL CONSTRUCTION ENTRANCES SHOULD BE CLEAR OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. A GEOTEXTILE SHOULD BE LAID DOWN TO IMPROVE STABILITY AND SIMPLIFY MAINTENANCE. GRAVEL SHALL THEN BE PLACED OVER THE GEOTEXTILE A MINIMUM OF 12" THICK.
- ALL BARE AREAS WILL BE SODDED AS SOON AS PRACTICAL. HOWEVER, UNTIL PLACING OF SOIL, THESE AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST.

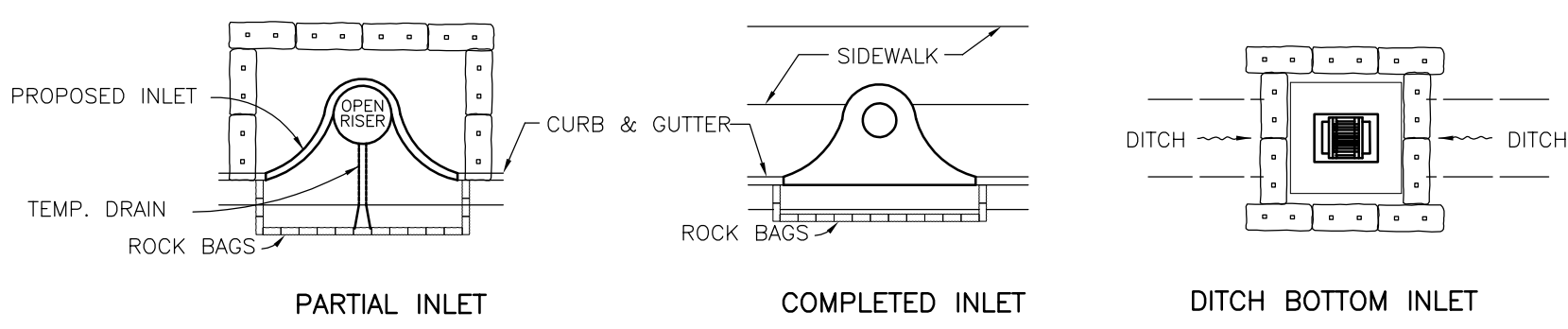


- NOTES:
- TYPE I AND II SYNTHETIC BARRIER SHOULD BE SPACED IN ACCORDANCE CHART I, SHEET 1 OF 3, F.D.O.T. STANDARD INDEX NO. 102.
 - RAILS AND POSTS SHALL BE 2" X 4" WOOD. OTHER MATERIALS PROVIDING EQUIVALENT STRENGTH MAY BE USED IF APPROVED BY ENGINEER.
 - WHERE USED IN CONJUNCTION WITH SILT FENCE, BALES SHALL BE PLACED ON THE UPSTREAM SIDE OF THE FENCE.

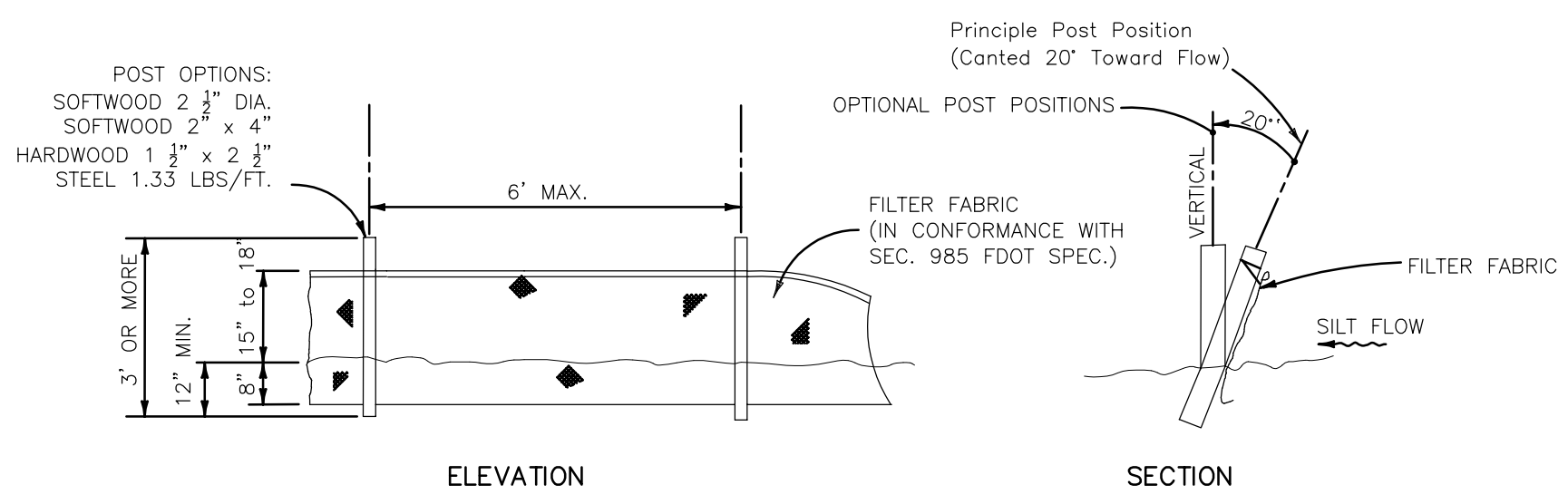
SYNTHETIC BALE OR BALE TYPE BARRIERS FOR UNPAVED DITCHES
N.T.S.



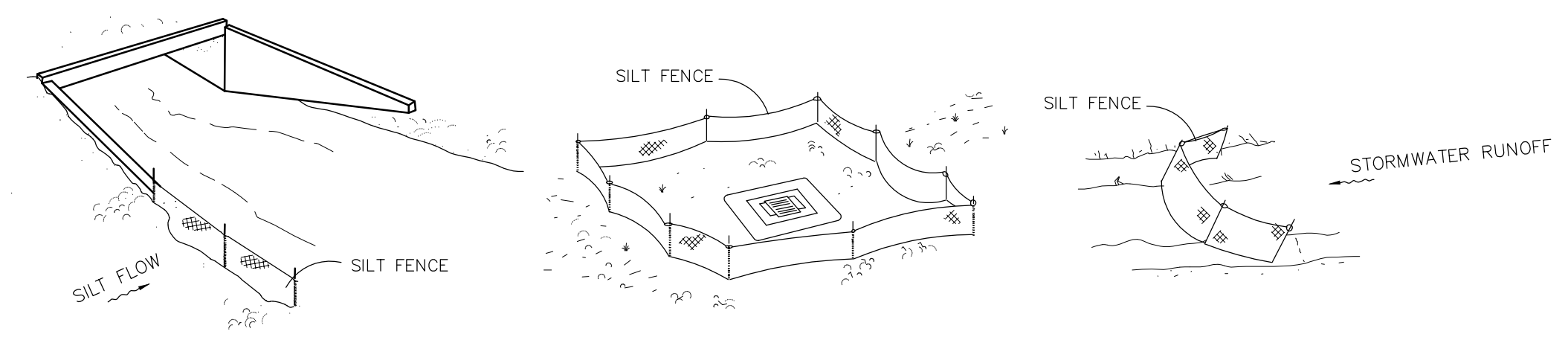
AT TOE OF SLOPE BARRIERS FOR FILL SLOPES
N.T.S.



PROTECTION AROUND INLETS OR SIMILAR STRUCTURES
N.T.S.



TYPE III SILT FENCE
N.T.S.



SILT FENCE APPLICATIONS
N.T.S.

NOTE: DO NOT DEPLOY IN SUCH A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS. TURBIDITY BARRIERS ARE TO BE USED AT PERMANENT BODIES OF WATER.

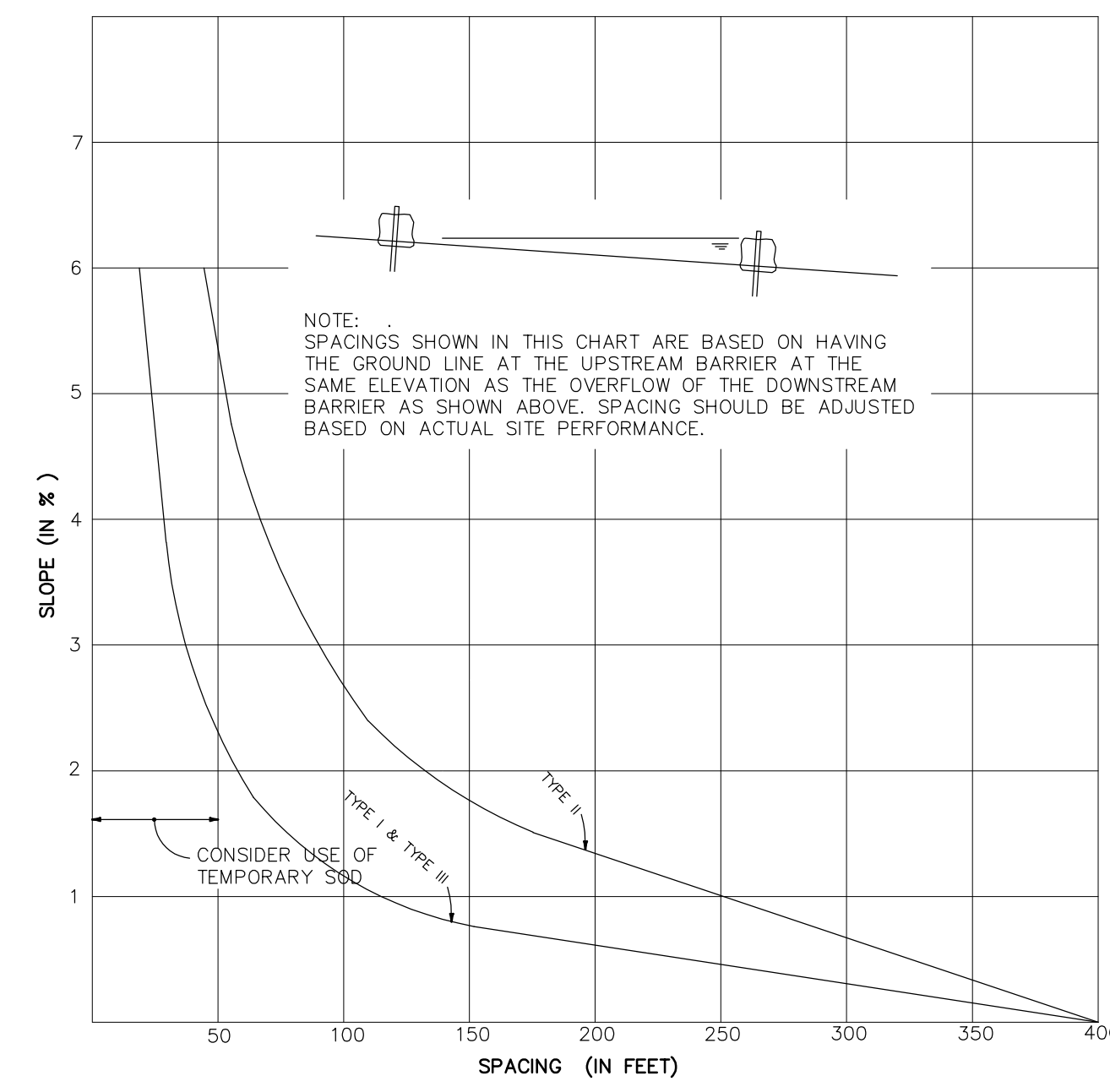


CHART 1
RECOMMENDED SPACING FOR SYNTHETIC BALES OR BALE TYPE BARRIERS AND TYPE III SILT FENCES.

DATE:	09/16/2019
DESIGNED BY:	TDM
DRAWN BY:	SLD
CHECKED BY:	TDM
APPROVED BY:	TDM

8111 BROADWAY EAST
STORMWATER POLLUTION PREVENTION DETAILS

Civil Engineering and Planning

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FLORIDA PROFESSIONAL ENGINEERING SEAL

DEAN MARTIN, P.E.
Florida #52022

DATE:

STREET ADDRESS

8111 BROADWAY E
ESTERO FL, 33928

STRAP NUMBERS

28-46-25-E2-U1923.2494

LIGHTING NOTES:

1. ALL SITE LIGHTING IS PROGRAMMED TO AUTOMATICALLY TURN ON AT DUSK AND MAY BE TURNED OFF AT OWNER'S DISCRETION TO THE MINIMUM LEVEL NEEDED (APPROXIMATELY A 50% REDUCTION) UNDER THE IESNA TO ENSURE SAFETY AND SECURITY.
2. ALL FIXTURES ARE FULL CUTOFF DISTRIBUTION AND MOUNTED @ 0° DOWN POSITION.
3. NO FLOODLIGHTS ARE PROPOSED.
4. ALL EXISTING LIGHT POLES ARE 25' HIGH. ALL PROPOSED POLES ARE 15' HIGH. ALL WALL-MOUNTED FIXTURES ARE 10' HIGH. ALL EXISTING LIGHT POLES ARE GRAY CONCRETE (UNPAINTED)
5. PLAN DEPICTS EFFECT OF PROPOSED LIGHTING ONLY AND DOES NOT TAKE INTO ACCOUNT IMPACTS OF OFF-SITE FEATURES.
6. EX. POLES THAT ARE TO BE RE-FITTED ARE TO REMAIN. ALL NEW PROPOSED POLES & FIXTURES ARE TO BE PACIFIC LIGHTING AND STANDARDS CO. MB SERIES (DIRECT BURIAL).
7. LIGHTING PLAN HAS BEEN COORDINATED WITH THE LANDSCAPING PLANS.
8. LUMINAIRES WILL BE FULLY SHIELDED, FULL CUT-OFF WITH RECESSED BULBS AND FLAT LENSES AS APPLICABLE FOR LED LIGHTING.
9. ALL NEW PROPOSED POLES AND FIXTURES ARE TO BE DARK BRONZE COLOR.

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□	L-1	4	DSX1 LED 30C	DSX1 LED WITH (1) 30 LED LIGHT ENGINES, LEFT ROTATED TYPE	LED	DSX1_LED_30C_530_30K_T3M_MVOLT_HS.ies	Absolute	1.00	52.4
□	L-1*	3	30K T3M MVOLT HS	T3M OPTIC, 3000K @ 530mA WITH HOUSE SIDE SHIELD					
□	L-2	2	HLWPC2 P10 30K XX T2M XXXX 80CRI	WALLPACK FULL CUTOFF LED, LED PERFORMANCE PACKAGE P10, 3000 SERIES CCT, VOLTAGE, TYPE II MEDIUM WITH 80 CRI LEDS	LED	HLWPC2_P10_30K_XX_T2M_XXXX_80CRI.ies	Absolute	1.00	28.0

* = EX. POLE TO BE RE-FITTED
W/ NEW FIXTURE (DSX1 LED)

STATISTICS

Description	Symbol	Avg	Max	Min
Boundary	+	0.1 fc	0.5 fc	0.0 fc
Parking/Paved Area	+	0.9 fc	2.9 fc	0.0 fc

HLWPC2
Wallpack Full Cutoff LED

ORDERING INFORMATION

Series	Lamp Package	Color Temperature	Voltage	Optics	Color	CR
HLWPC2	WallsPack Full Cutoff LED	4000K	120V	15° Type II Street	Black	80
		5000K	120V	15° Type II Street	Black	80
		4000K	120V	15° Type II Street	Gray	80
		5000K	120V	15° Type II Street	White	80

Available/Programmable Options

Option	Description	Option	Description
AS	Fixed Adjustable Output	PS	Button Style Photocell
CS	2-Channel Circuit	PT	NEMA 7-20 Pinlock Receptacle
MS	Medium Footed Series, 1.5' Mounting Height	PE	Emergency Battery
MSH	Medium Footed Series, 5.0' Mounting Height	PF	Button Style Photocell - PE Option

Options Location



LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

CONSTRUCTION - Pole Body: The pole body is of extruded aluminum and is made of 6061-T6 aluminum alloy. The pole body is designed to be a single piece, providing a smooth, continuous surface. The pole body is designed to be a single piece, providing a smooth, continuous surface. The pole body is designed to be a single piece, providing a smooth, continuous surface.

Anchor Base Poles

SSA

SQUARE STRAIGHT ALUMINUM

QUALITY CONTROL

SEE SPECIFICATIONS PAGE

D-Series Size 1 LED Area Luminaire

Specifications

Item	Value
Length	1.00 ft
Width	0.25 ft
Height H1	7.10 ft
Height H2	3.10 ft
Height H3	2.10 ft

Introduction

The modern styling of the D-Series is striking yet understated - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole loading and lower power density. It is ideal for replacing up to 750W metal halide in parking and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

Series	Color Temperature	Voltage	Optics	Mounting
DSX1 LED	4000K	120V	15° Type II Street	Standard
	5000K	120V	15° Type II Street	Standard
	4000K	120V	15° Type II Street	Standard
	5000K	120V	15° Type II Street	Standard

Shipped Included

Item	Description
DSX1 LED	LED luminaire
PS	Button style photocell
PT	NEMA 7-20 pinlock receptacle
PE	Emergency battery
PF	Button style photocell - PE option

REVISIONS

DATE	REVISIONS
01/20/20	REVISED PER VILLAGE OF ESTERO COMMENTS
03/20/20	REVISED PER VILLAGE OF ESTERO COMMENTS

DATE 09/16/2019
DESIGNED BY TDM
DRAWN BY TDM
CHECKED BY TDM
APPROVED BY TDM

8111 BROADWAY EAST

SITE LIGHTING PLAN

Civil Engineering and Planning

TDM CONSULTING, INC.

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Fort Myers, FL 33907
Phone: (239) 433-4231
Fax: (239) 433-9632

DEAN MARTIN, P.E.
Florida #52022

DATE: _____

12 of 12

SHEET #

SCALE: AS NOTED