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**COVID-19 NOTICE:**

The March 10, 2021, 5:30 p.m., Design Review Board Meeting will be conducted physically in Council Chambers at Village Hall, 9401 Corkscrew Palms Circle, with an opportunity to participate virtually. The meeting will be broadcast live via the Village of Estero website link: <https://estero-fl.gov/council/watch-meetings-online/>. Access in Council Chambers will be limited in order to comply with the safety instructions relating to COVID-19. Please see page 3 of this agenda for further information and instructions for public participation.

**AGENDA**

**DESIGN REVIEW BOARD MEETING**

**9401 Corkscrew Palms Circle, Estero, Florida**

**March 10, 2021**

**5:30 p.m.**

*Design Review Board: Chairman - Barry Jones; Vice Chairman - Michael Sheeley; William Glass; Barry Freedman; Kristin Jeannin and Jim Wallace*

**1. CALL TO ORDER**

**2. PLEDGE OF ALLEGIANCE**

**3. ROLL CALL**

**4. APPROVAL OF AGENDA**

**5. BUSINESS**

Items on the agenda are generally treated in sequential order, and due to the length of the agenda any or all of the items listed for discussion may be rescheduled to a later date for consideration. **The public will have an opportunity to speak during each agenda item; each individual has one opportunity to speak for five minutes per agenda item.**

**(a) Public Hearings**

- (1) Estero Crossing Commercial Phase I; Pocket Park/Entry Area (DOS2020-E007) (District 5)  
10500 Corkscrew Road, a ±43-acre site (total project size) located on the south side of Corkscrew Road, 1,000 feet west of the intersection of Corkscrew Road and I-75.

- *Public Information Meeting was held on August 26<sup>th</sup> and a workshop was conducted on November 18, 2020.*
- *See Staff Report*
- *Requesting Design Review Board approval of the Development Order (Commercial Phase) and the monument sign.*

**6. PUBLIC INPUT (Each individual will be given five minutes to speak)**

**7. BOARD COMMUNICATIONS**

- a. Next meeting March 24, 2021.

**8. ADJOURNMENT**

**COVID-19 NOTICE:**

To view and/or participate in the Design Review Board Meeting the following options are available:

- 1) View the meeting online, but not participate:  
You may watch the meeting via the Village of Estero website link:  
<https://estero-fl.gov/council/watch-meetings-online/>
- 2) View the meeting online as indicated above and provide public comment during the meeting by utilizing the eComment Card feature on the Village website: <https://estero-fl.gov/ecomment-cards/>  
Please fill out all required information. Comments received during the agenda item being discussed will be placed into the record.
- 3) The Council Chambers will be available for public comment, in accordance with social distancing orders. Participants are to wear their own-supplied mask.

For additional information or for special assistance prior to the meeting, please contact Carol Sacco, Village Clerk/Executive Assistant, [sacco@estero-fl.gov](mailto:sacco@estero-fl.gov) or 239-221-5035.

If you desire to address the Board, please complete a Public Comment Card and return it to the Village Clerk. Citizens desiring to speak must step up to the podium, state their full name and address and/or whom he or she represents.

ADA Assistance – Anyone needing special assistance at the Board meeting due to a disability or physical impairment should contact Executive Assistant, Carol Sacco 239-221-5035, at least 48 hours prior to the meeting.

Pursuant to Section 286.0105, Florida Statutes:

“If a person decides to appeal any decision made by the board, agency, or commission with respect to any matter considered at such meeting or hearing, he or she will need a recording of the proceeding, and that, for such purpose, he or she may need to ensure that a verbatim recording of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.”



## DESIGN REVIEW BOARD

### *Staff Report*

<b>PROJECT NAME</b>
Estero Crossing Commercial Development, Pocket Park/Entry Area
<b>CASE NUMBER</b>
DOS2020-E007
<b>MEETING DATE</b>
March 10, 2021
<b>REQUEST</b>
Application to develop the commercial part of this project along with monument signs.
<b>APPLICANT</b>
Keith Gelder, SD Estero Crossing, LLC
<b>LOCATION</b>
10500 Corkscrew Road, Estero, FL 33928, on the south side of Corkscrew and east side of Lowe’s Plaza
<b>PROPERTY SIZE</b>
42.97 acres (Total Project)
<b>ZONING</b>
Parcel was rezoned from the Commercial Planned Development District (CPD) to Mixed Use Planned Development District (MPD) (Case number DCI2015-00001) 10/16/2019
<b>PUBLIC INFORMATION MEETING DATES</b>
The most recent DRB Public Information Meeting was held on August 26, 2020. Development Order application was submitted on 7/14/2020 (DOS2020-E007)

#### **Staff Recommendation**

Staff recommends approval of the Development Order, and proposed monument signs.

The Design Review Board reviews the project for compliance with general criteria of Ordinance 15-01, and in particular the following facets:

1. Building architecture and colors
2. Site lighting elements and colors, including parking lot poles and fixtures
3. Monument signs
4. Pedestrian and bicycle connectivity
5. Landscaping and buffers for overall design and compatibility with the buildings and surrounding area

The Design Review Board must review the project's conformance with the general criteria of the code. The project must be harmonious with the community and proposed developments in the general area, in conformity with good design, contributing to the image of the Village, not of inferior quality, and consistent with the Land Development Code. If the Design Review Board denies the application, it must state its findings regarding the criteria.

### **Project Summary**

The overall project consists of 270 (approved for a maximum of 306) multiple-family units, and 60,000 square feet of commercial uses. The 60,000 SF is a separate parcel located on the north side of the reverse frontage road and the residential is on the south side of the reverse frontage road. The Development Order application includes two commercial buildings (Building #2 12,600 SF and Building #3 11,220 SF, both FFE 18.0'), pocket park including benches & trash cans, parking lot/street lighting, dry detention areas, and perimeter landscaping. The residential portion of the project will be a separate development order.

### **Request**

The applicant is asking for approval of a Development Order for the commercial portion of a Mixed Use Planned Development and monument signs. This project was reviewed by the Design Review Board at a Public Information Meeting on August 26, 2020 and workshop on November 18, 2020. Staff has also reviewed the plans in detail. The plans meet the technical requirements of the Land Development Code and are consistent with the Comprehensive Plan and the zoning ordinance.

### **Architecture**

The building architecture is Mediterranean and is now consistent with the zoning approval, and accompanying Pattern Book, and DRB recommendations. Several modifications have been made by the applicant working throughout the review process to have the architecture better blend with the Village of Estero including tile type and color, building colors and architectural features. An outdoor gathering area is provided alongside Corkscrew Road and the pocket park south of the reverse frontage road. They include seating areas with benches, trash cans and landscape features.

### **Transportation**

The overall development plan includes the construction of a "reverse frontage" road that will connect Corkscrew Woodlands Boulevard with the Estero Town Commons project, where a traffic signal is to be installed with the intersection of Corkscrew Road. The frontage road will serve the commercial parcels on the north side of this roadway and the multi-family residential uses on the south side of this roadway as well as adjacent developments. There will be a total of three access drive connections, all "tee" intersections, as well as on-street parking spaces and loading zone along this reverse frontage roadway. The road will be posted at 25 mph and will be privately maintained but open to the public.

The developer is proposing to construct left turn lanes at the three access connections to the Reverse Frontage Road in order to promote a safe and efficient travel way between Corkscrew Woodlands Boulevard and the future traffic signal at Estero Town Commons. These turn lanes have been designed in order to accommodate the anticipated queues that are projected at each location. Pedestrian connections are provided to/from the buildings and the perimeter sidewalks.

Signalization of the intersection of Estero Town Commons and Corkscrew Road (the Lowe's entry) is warranted and design and scheduling is in progress. The subject parcel, per the zoning ordinance is required to make a fair share contribution toward the traffic signal cost and this payment has recently been made.

According to the Lee County 2019 Public Facilities Level of Service and Concurrency Report Corkscrew Road is currently operating at LOS = "F". The Florida Department of Transportation (FDOT) is currently constructing improvements to the Corkscrew Road & I-75 interchange that should substantially improve traffic flow along Corkscrew Road (between Three Oaks Parkway and Ben Hill Griffin Parkway). The "on-ramp" interchange improvements should be completed by 2021/2022 which include constructing eastbound



and westbound dual left turn lanes and extending the eastbound and westbound right turn lanes. These interchange improvements should significantly reduce the frequency of “on-ramp” queuing that encroaches into the eastbound and westbound thru lanes during peak season conditions. As acknowledged by the Village Area Wide Traffic Study, FDOT has determined that these improvements will result in LOS = “C” and LOS = “D” traffic conditions for the AM and PM peak hours, respectively, through year 2030 when further improvements will be constructed.

### **Stormwater**

The project is entirely in the FEMA 100 Year Flood Zone (AH). The previous applicant had prepared a Physical Map Revision based on supplemental modeling that revised the FEMA Floodway such that it no longer encroaches onto the subject property. The revised FEMA Panel 12071 C0591 G was published, in draft, on December 14, 2014. The parking lot area is designed to collect all stormwater runoff which is conveyed by sheetflow and catch basins to the master system dry detention areas on the subject property. The master system dry detention areas provide the required pre-treatment prior to discharge to the master system wet detention areas.

The stormwater management system for Estero Crossing that was permitted under ERP application 190617-14 is comprised of two commercial basins, two residential basins (lakes), and one preserve basin. Each commercial basin provides the dry pretreatment and then discharges into the overall stormwater management system. The two residential basins have two interconnected lakes that provide water quality for the entire project. The preserve and the two residential basins provide attenuation for the stormwater system. These basins were modeled in ICPR to have a 25 year 3-day perimeter berm of 16.80 feet.

The front commercial area and the reverse frontage road will be constructed per the approved ERP application 190617-14. The commercial area will drain to dry pretreatment pond and discharge into the reverse frontage road conveyance system. The overall discharge point of these areas is into a temporary swale with a bottom at control of 13.32 feet. This will allow the dry pretreatment area in the commercial area to return fulling to control. This swale will convey the stormwater to a temporary dry detention pond and ultimately convey the stormwater to the control structure at the southern portion of the property. The temporary swale and dry detention pond is designed to provide the required attenuation for developed area to keep the stage below the required perimeter berm elevation of 16.80 feet. The berm around the around the front commercial area and the frontage road will be constructed per the approved ERP and the berm around the temporary swale and dry detention will be constructed at 16.80 feet. This will provide a temporary stormwater management that is consistent with ERP application 190617-14.

### **Lighting**

Street lighting is proposed along both sides of the reverse frontage road which complies with the Village CCT requirement of 3000K and the BUG rating of 1-0-1. In addition, the southern fixtures along the reverse frontage road are to be fitted with guards to minimize stray light from the street lights to the adjacent future residential properties. Consistent with Land Development Code Section 34-625, site lighting is provided by architectural coach style LED luminaire full cut-off fixtures mounted at 15 feet on poles, and wall mounted fixtures, all black color, which produce an average of 0.8 footcandles (fc) illumination in the main parking lot with no light spillage (0 fc) measured at 10 feet onto the adjacent property.

### **Landscaping**

The landscaping includes the reverse frontage road, commercial area, and the buffers along the perimeter of the remaining property. An 8’ high buffer wall is to be built adjacent to Corkscrew Woodlands (Island Club) and Villa Palmeras, and a 6’ high buffer fence from the Villa Palmeras on the south to Estero Town Commons on the north in accordance with the zoning conditions. In addition, there are littoral shelf plantings proposed in the two lakes. Landscaping is provided in the vehicular use areas and building perimeter plantings are also provided per the LDC. The detention area south of the building is also landscaped with herbaceous plants. Plantings were also included at the base of the monument signs per LDC Section 30-94(i). Landscaping Plans are provided in the applicant’s presentation. The landscaping is consistent with the zoning ordinance.

**Monument Signs**

The two (2) monument signs proposed along Corkscrew Road match the overall design and colors of the Pattern Book and are consistent with the requirements of the LDC. Ground cover and small shrubs surround the proposed signs accentuate the signs architectural features and blend with the surrounding area.

**Exhibits**

Zoning Ordinance 2019-29 (without attachments)

Pattern Book Excerpts

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**VILLAGE OF ESTERO, FLORIDA  
ZONING  
ORDINANCE NO. 2019 - 29**

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**AN ORDINANCE OF THE VILLAGE COUNCIL OF THE  
VILLAGE OF ESTERO, FLORIDA, APPROVING WITH  
CONDITIONS A REZONING FROM COMMERCIAL  
PLANNED DEVELOPMENT TO MIXED USE PLANNED  
DEVELOPMENT TO ALLOW A MULTIPLE FAMILY  
AND COMMERCIAL DEVELOPMENT ON PROPERTY  
LOCATED 1,000 FEET WEST OF INTERSTATE 75 AND  
SOUTH OF CORKSCREW ROAD CONSISTING OF  
APPROXIMATELY 43 ACRES; PROVIDING FOR  
CONFLICTS; PROVIDING FOR SEVERABILITY; AND  
PROVIDING AN EFFECTIVE DATE.**

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**WHEREAS, ESTERO CROSSING, LLC** represented by Keith Gelder, Stock Development (the "Applicant"), filed applications to amend the Transitional Comprehensive Plan by adding a new Policy, and for a rezoning from Commercial Planned Development to Mixed Use Planned Development for a property located at 10500 Corkscrew Road, Estero, FL, consisting of approximately 43 acres (the "Property"); and

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**WHEREAS,** the Property STRAP number is 35-46-25-E1-42192.2338, and the Property is legally described in Exhibit A attached hereto; and

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**WHEREAS,** the Applicant requested a rezoning from the Commercial Planned Development District (CPD) to Mixed Use Planned Development District (MPD) (Case number DCI2015-00001); and

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**WHEREAS,** the Applicant is now requesting a maximum of 306 multiple-family units, and 60,000 square feet of commercial uses including one vertically integrated mixed use tract; and

**WHEREAS,** the Applicant has requested several deviations; and

**WHEREAS,** the public information meeting was held on June 16, 2015 and after a duly noticed public hearing held on March 29, 2016 and continued to February 21, 2017 and March 21, 2017, the Planning and Zoning Board recommended transmittal of the Comprehensive Plan Amendment and approval with conditions of the rezoning request, including deviations; and

**WHEREAS,** a duly noticed first reading for the rezoning ordinance was held before the Village Council on May 24, 2017 and was continued; and

46           **WHEREAS**, on May 24, 2017, the Council voted to not transmit the proposed  
47 Comprehensive Plan Amendment, and continued the zoning case indefinitely to give the  
48 applicant the opportunity to be considered under the new Comprehensive Plan which then was  
49 being prepared; and  
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51           **WHEREAS**, the Comprehensive Plan was adopted by the Village Council on June 13,  
52 2018; and  
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54           **WHEREAS**, the Plan is adopted and became effective on November 21, 2019; and  
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56           **WHEREAS**, the applicant has revised its zoning application and requests that the  
57 application be reviewed under the new Comprehensive Plan; and  
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59           **WHEREAS**, the Planning and Zoning Board considered the revised request on  
60 February 19, 2019, with a tie vote (motion to approve failed); and  
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62           **WHEREAS**, the applicant made additional revisions to the request after the Planning  
63 and Zoning Board meeting; and  
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65           **WHEREAS**, after the application was subsequently revised, a duly noticed continued  
66 first reading was held before the Village Council on October 16, 2019; and  
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68           **WHEREAS**, at the first reading on October 16, 2019, the Council requested that  
69 specific items be addressed by the applicant prior to second reading, and the applicant  
70 subsequently revised the application; and  
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72           **WHEREAS**, a duly noticed second reading and public hearing was held before the  
73 Village Council on January 29, 2020, at which time the Village Council gave consideration to  
74 the evidence presented by the Applicant and the Village staff, the recommendations of the  
75 Planning and Zoning Board and the comments of the public.  
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77           **NOW, THEREFORE**, be it ordained by the Village Council of the Village of Estero,  
78 Florida:  
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80           **Section 1.     Rezoning.**

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82           The Village Council approves with conditions the rezoning of the Property from  
83 Commercial Planned Development District (CPD) to Mixed Use Planned Development  
84 District (MPD), to allow residential and commercial use as outlined below, and subject  
85 to the following conditions and deviations.  
86

87           **Section 2.     Conditions.**

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89           1.    Master Concept Plan

90 Development of this project must be consistent with the Master Concept Plan  
91 (MCP) titled "Estero Crossing", stamped "Received January 14, 2020", except as  
92 modified by the conditions below.

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94 2. Development Parameters

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96 Development is permitted at a maximum as follows:

- 97
- 98 • 60,000 square feet of commercial use
- 99 • 306 multi-family units
- 100 • Mixed use on Tract M/U (included in the totals above)

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102 3. Maximum Building Height

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104 Commercial - 45 feet (3-story) for commercial buildings (including  
105 architectural features)

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107 Residential and  
108 Mixed Use Buildings - 45 feet (3-story) with additional 5 feet for architectural  
109 features

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111 4. Uses and Site Development Regulations

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113 The following limits apply to the project and uses:

- 114
- 115 a. Schedule of Uses
- 116 See attached Exhibit C.
- 117 Agricultural Uses are not permitted uses within this planned development.
- 118
- 119 b. Site Development Regulations
- 120 See attached Exhibit D.

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122 5. Traffic Signal

123  
124 The developer, successor or assigns (owner) is responsible for a proportionate  
125 share of the cost of signalization at the intersection of Corkscrew Road and Estero  
126 Town Commons Place, as part of Phase I and prior to issuance of any  
127 development order.

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129 6. Reverse Frontage Road

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- 131 a. The construction of the reverse frontage road and traffic signal at Estero  
132 Town Commons Place and Corkscrew Road must be complete and fully

133 operational prior to the issuance of the first certificate of compliance for  
134 vertical development within the planned development.

135  
136 b. The reverse frontage road will contain planted medians as depicted in the  
137 Pattern Book (see condition 18 herein) to create an attractive streetscape.  
138 The reverse frontage road access must meet the 125-foot connection  
139 separation Land Development Code (LDC) standard for a local street.

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141 7. Right-of-Way

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143 The developer is responsible as part of the first development order for dedication  
144 of additional right-of-way for storage/stacking of vehicles at Estero Town  
145 Commons Place to accommodate additional turn lane(s), if the Community  
146 Development Director determines this is needed.

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148 8. Construction Traffic

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150 Heavy construction vehicles serving the project (vehicles having more than 2  
151 axles) are prohibited from accessing the property via Corkscrew Woodlands  
152 Boulevard. Staff will review and approve, at the time of Development Order, a  
153 plan for management of construction traffic including but not limited to posting  
154 of signs and other methods of communication.

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156 9. Phasing

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158 a. The first phase of the project will include construction of the reverse  
159 frontage road, and the traffic signal at Corkscrew Road and Estero Town  
160 Commons Place.

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162 b. The second phase of the project will include a minimum of 20,000 square  
163 feet of commercial development, all placemaking elements on the north side  
164 of the frontage road, and the public park. Remaining phases are as shown  
165 on the Master Concept Plan.

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167 10. Bonus Density

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169 The Bonus Density request has been withdrawn by the applicant.

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171 11. Maintenance

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173 All common areas including, but not limited to, the reverse frontage road and the  
174 platted portion of Corkscrew Woodlands Boulevard, shall be maintained in  
175 perpetuity by a Property Owners Association or similar entity that will consist of  
176 both the residential and commercial parcels.



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12. Hours of Operation

Hours of Operation are limited to 5 a.m. to midnight 7 days a week for all commercial uses.

13. No Blasting

No development blasting is permitted as part of this project.

14. Utilities

Water and sewer services are available to the site, and this development must connect to those services as part of any local development order for the site.

15. Elevators and Construction Materials

Residential buildings will be constructed with concrete block materials and will include elevators as proposed by the applicant.

16. Public Park

The park shown on the Master Concept Plan shall be open to the public and designed to include shade trees and seating areas through a public easement or similar document or condition acceptable to the Village attorney at time of development order.

17. Outdoor Display/Storage

No outdoor display or outdoor storage is allowed on any of the commercial parcels.

18. Pattern Book

The development must be consistent with the Pattern Book “Estero Crossing” dated January 2020. Specific details of the Placemaking elements including, but not limited to, a landmark or fountain feature, paseo, courtyard area, pocket park, and raised pedestrian connections will be provided prior to Design Review Board approval.

The Pattern Book is not conceptual. Photographic images may be illustrative, but development must be in substantial compliance with the Pattern Book, including a consistent architectural and landscape theme for all commercial and residential development.

221 Signage, as shown in the Pattern Book, is illustrative for design purposes and  
222 must be in compliance with the Land Development Code and of a consistent color  
223 and design scheme with the buildings, except where deviations may be granted.  
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225 19. Sidewalk & Pedestrian Connections  
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227 a. Sidewalks and pedestrian connections must be provided consistent with the  
228 Pattern Book and Land Development Code. The proposed secondary egress  
229 on the west side of the residential project must be a full access with  
230 pedestrian connection to the property to the west (currently Lowe's Plaza).  
231

232 b. Pedestrian walkways will be provided through parking lots to each entrance  
233 to the residential buildings as part of the local development order. Main  
234 Paseo walkways will be raised and constructed of paver bricks or similar  
235 materials.  
236

237 20. Entrance Gates/Gatehouses  
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239 Entrance gates and/or gatehouses shall be in conformance with the Land  
240 Development Code for location, access, stacking, and turn-around except as may  
241 be granted by deviation.  
242

243 21. Billboard  
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245 The billboard located on the commercial parcel shall be removed in conjunction  
246 with the issuance of a local development order for the commercial property and  
247 prior to any certificate of completion being granted.  
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249 22. Hurricane Evacuation  
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251 The property developer shall provide a hurricane evacuation plan and any  
252 mitigation, as necessary, in accordance with LDC section 2-485 prior to approval  
253 of the first local development order for residential uses.  
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255 23. Buffers  
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257 As part of local development order approval, the development order plans must  
258 demonstrate buffering consistent with the Master Concept Plan, the Land  
259 Development Code, and the Pattern Book.  
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261 As part of local development order approval, all buffer plantings must be 100%  
262 native vegetation.  
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264 Residential perimeter buffers will be planted as part of the first phase of the  
265 residential project, along with any work associated with indigenous preserves.

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24. Protected Species

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As part of local development order approval, a current protected species survey must be submitted for the project site. For development in any areas that would impact gopher tortoises, a gopher tortoise management plan must be submitted to staff for review and approval. This plan must include information on onsite or offsite relocation efforts as reviewed and approved by the Florida Fish and Wildlife Conservation Commission (FFWCC).

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Issuance of a vegetation removal permit for development in any areas that would impact gopher tortoises does not authorize the property owner to commence construction until such time as all other applicable state or federal permits are obtained. Prior to excavation and moving of any gopher tortoises, a copy of the appropriate gopher tortoise permit issued by the FFWCC must be submitted to the Village Community Development Director.

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25. Open Space & Indigenous Preserve

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Development order plans must depict open space in compliance with the approved Master Concept Plan open space calculations table.

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Development order plans must also depict the preservation of 9.12 acres with credits of indigenous preserves in compliance with the approved Master Concept Plan as detailed in the Open Space and Indigenous Plan sheet.

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26. Replanting Plan

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In accordance with the South Florida Water Management District Environmental Resource Permit (Exhibit 3.2, Page 5 of 9 of the Permit), the replanting within the enhanced wetlands in the preserve area shall consist of 3-gallon pine trees to achieve a density of 220 trees per acre and scattered clusters of shrubs when there are fewer than 200± live native trees per acre greater than 10 feet in height, in addition to the enhanced buffer requirements set forth in the Pattern Book.

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27. Vehicular/Pedestrian Impacts

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Approval of this zoning request does not address mitigation of the project's vehicular or pedestrian traffic impacts. Additional conditions consistent with the LDC may be required to obtain a local development order. Additional right-of-way may be required to accommodate storage/stacking of vehicles at Estero Town Commons Place/Corkscrew Road.

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28. Concurrency

Approval of this rezoning does not constitute a finding that the proposed project meets the concurrency requirements set forth in LDC Chapter 2 and the Comprehensive Plan. The developer is required to demonstrate compliance with all concurrency requirements prior to issuance of a local development order.

29. Solid Waste Management

As part of any local development order approval for vertical development, the development order plans must include facilities in compliance with LDC Section 10-261 and Solid Waste Ordinance #11-27 for the pick-up/disposal of solid waste and recyclables. The minimum area required for and specific locations of these facilities, as well as the architectural and design features, will be reviewed at the time of local development order application.

30. Mixed Use Building

The mixed use building will include commercial uses on the first floor and residential uses above.

31. Promenade and Public Open Space Area

The promenade within the commercial area and the public open space area as defined on the Master Concept Plan may be used for outdoor seating in conjunction with restaurants. Outdoor service of alcohol beverages will require consumption on premises approval by the Planning and Zoning Board in order to review hours of operation and other relevant factors. Outdoor entertainment will require a temporary or special event permit.

32. Land Development Code (LDC) References

Where the Village LDC is referenced in these conditions of approval for implementation of the condition at the time of development order, the LDC in effect at the time of the development order approval shall be applicable.

33. Public Access Easement

Consistent with the Village Comprehensive Plan, placemaking elements including the pedestrian plaza roads and reverse frontage road, public park, promenade and public open space, and sidewalks shall be accessible to the public through dedication of a public access easement in favor of the Village of Estero and acceptable to the Village Attorney.

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**Section 3. Deviations.**

Deviation 1 (Overhead power lines)

Deviation from LDC Section 33-112 requiring all utilities be located underground unless located within a public right-of-way to allow the existing overhead lines on the south side of Corkscrew Road to remain overhead within the existing FPL easement.

This deviation is approved for existing overhead lines only. New or replacement lines must be underground.

Deviation 2 (Setback from Corkscrew Road)

Deviation from LDC Section 33-400 regulating setbacks within the Corkscrew Road Overlay, to allow the proposed site Development Regulations (Exhibit D) included with this application as part of this approval.

This deviation is approved.

Deviation 3 (Setback from Corkscrew Road)

Deviation from LDC 34-2192 (b) (5) requiring parking lots, access streets and drives to be setback a minimum of 75 feet from the Corkscrew Road right-of-way to allow a minimum setback of 20 feet for parking lots on Corkscrew Road instead of 75 feet.

This deviation is approved.

Deviation 4 (Package store separation)

Deviation from Estero LDC Section 34-1263(e) providing that package stores may not be located closer than 500 feet to a park or dwelling unit to allow a 90-foot separation for all uses internal to the property.

This deviation is approved.

Deviation 5 (Second monument sign)

Deviation from LDC Section 30-153(3)(a) that allows each individual establishment one (1) ground-mounted sign and Section 33-383(9) which prohibits offsite directional signage sign to allow a second ground-mounted sign in the commercial area to identify the Residential portion of the overall development.

396 This deviation is approved.

397

398 Deviation 6 (Offsite directional sign)

399

400 Deviation from LDC Section 30-181(a)(1)a. that allows a maximum of a 64-  
401 square foot non-illuminating directional sign to be placed along an arterial street  
402 within 500 feet of the nearest intersection involving a turning movement to the  
403 development but shall not be placed closer than 50 feet from the intersection to  
404 allow an illuminated directional sign at the intersection of Corkscrew Road and  
405 Estero Town Commons Place (aka the entrance to Lowe's shopping center) with  
406 a 10-foot setback from the intersection. The deviation is for the residential project  
407 identification sign only.

408

409 This deviation is approved.

410

411 Deviation 7 (Sign setbacks)

412

413 Deviation from LDC Sections 33-385(a)(3) and 30-153(3)(e) requiring the sign  
414 setback be a minimum of 15 feet from the right-of-way. The applicant is  
415 requesting to install the Residential Project Identification Sign and the  
416 Commercial Outparcel Monument Signs at a 10-foot setback from Corkscrew  
417 Road.

418

419 This deviation is approved.

420

421 Deviation 8 (Building height)

422

423 Deviation from LDC Section 33-229 which limits the building height outside of  
424 the Interstate Highway Interchange Area to a maximum of 3 stories or 45 feet,  
425 whichever is less, to allow an additional 5 feet for architectural features, for a  
426 maximum building height of 50 feet (3 stories) for the residential and mixed use  
427 components within this development.

428

429 This deviation is approved.

430

431 Deviation 9 (Connection separation for residential road along public park)

432

433 Deviation from LDC Section 10-285(a) which requires a minimum roadway  
434 connection separation distance of 125 feet for local roads, to allow for a  
435 separation of 74 feet for the two one-way streets on the east and west side of the  
436 public park on the Master Concept Plan.

437

438 This deviation is approved.

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Deviation 10 (Landscape buffers)

Deviation from LDC Section 33-351 that requires a 20 foot Type D Buffer between roadways and commercial & multi-family residential uses, to eliminate the buffer requirement along the internal frontage roadway and instead provide an enhanced streetscape plan.

This deviation is approved subject to the frontage road landscape plan contained in the Pattern Book.

Deviation 11 (Gates)

Deviation from LDC Section 34-1748(1)d.1. which states that access gates must be located a minimum of 100 feet back from the existing or planned intersection street right-of-way or easement to allow a minimum setback of 40 feet for the secondary access location.

This deviation is approved.

Deviation 12 (Connection separation for the mixed use parcel)

Deviation from LDC Section 10-285(a) [Table 1] which requires a minimum roadway connection for separation distance of 60' for access roads or accessways to allow a minimum separation of 48' for the mixed use parcel access from the internal accessway serving the multi-family portion of the project.

This deviation is approved.

**Section 4. Findings and Conclusions.**

Based upon an analysis of the application and the standards for approval in the Land Development Code, the Council finds and concludes as follows:

1. The applicant has provided sufficient justification for the rezoning by demonstrating compliance with the Land Development Code.
2. The rezoning is consistent with the densities and uses in the Village Comprehensive Plan with the proposed conditions.
3. Urban services will be available and adequate to serve the proposed use.
4. The proposed uses, with the recommended conditions, are appropriate at the subject location.

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5. There will be additional trips generated by the project, but there will be fewer trips generated on the roadways than if developed under the existing commercial zoning. Approval of the request will not place an undue burden upon existing transportation facilities because Interchange improvements have begun construction in October 2019. There is an intersection level of service issue that will necessitate a traffic light for operational safety and which is addressed by a condition of approval.
  6. The recommended conditions to the Master Concept Plan and rezoning provide sufficient safeguards to the public interest and are reasonably related to impacts on the public's interest created by or expected from the proposed development.
  7. The deviations recommended for approval:
    - (a) Enhance the planned development; and
    - (b) Preserve and promote the general intent of the LDC to protect the public, health, safety and welfare.

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**Section 5. Exhibits.**

505 The following exhibits are attached to this Ordinance and incorporated by reference:

- 506  
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- |           |   |
|-----------|---|
| Exhibit A | Legal Description                                     |
| Exhibit B | Master Concept Plan stamped Received January 14, 2020 |
| Exhibit C | Schedule of Uses                                      |
| Exhibit D | Site Development Regulations                          |
| Exhibit E | Pattern Book dated January 2020                       |

513  
514

**Section 6. Conflicts.**

515 All Ordinances or Resolutions, or parts of Ordinances or Resolutions, granting prior  
516 approvals on the Property which are in conflict with this Ordinance shall be repealed  
517 to the extent of such conflict upon the effective date of this Ordinance.

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**Section 7. Severability.**

521 Should any section, paragraph, sentence, clause, phrase or other part of this Ordinance  
522 subsequent to its effective date be declared by a court of competent jurisdiction to be  
523 invalid, such decision shall not affect the validity of this Ordinance as a whole or any  
524 portion thereof, other than the part so declared to be invalid.

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**Section 8.    Effective Date.**

This Ordinance shall take effect immediately upon adoption.

**PASSED** on first reading this 16<sup>th</sup> day of October, 2019.

**PASSED AND ADOPTED BY THE VILLAGE COUNCIL** of the Village of Estero, Florida on second reading this 29<sup>th</sup> day of January, 2020.

Attest:

**VILLAGE OF ESTERO, FLORIDA**

By: *Kathy Hall*  
Kathy Hall, MMC, Village Clerk

By: *Bill Ribble*  
Bill Ribble, Mayor

Reviewed for legal sufficiency:

By: *Nancy E. Stroud*  
Nancy E. Stroud, Village Land Use Attorney

Vote:	AYE	NAY
Mayor Ribble	<u>✓</u>	_____
Vice Mayor Errington	<u>✓</u>	_____
Councilmember Levitan	<u>✓</u>	_____
Councilmember McLain	<u>✓</u>	_____
Councilmember Boesch	<u>✓</u>	_____
Councilmember Batos	<u>✓</u>	_____
Councilmember Wilson	<u>Absent</u>	_____



# EXHIBIT E



## ESTERO CROSSING

ESTERO, FL  
JANUARY 2020



## PLACEMAKING EXHIBIT - PLAZA



*VIEW LOOKING NORTH TOWARD PASEO PEDESTRIAN PLAZA*

ESTERO CROSSING



## PLACEMAKING EXHIBIT - PASEO PEDESTRIAN ZONE



BIRDSEYE VIEW LOOKING SOUTH OF PASEO PEDESTRIAN PLAZA

ESTERO CROSSING



## PLACEMAKING EXHIBIT - PASEO PEDESTRIAN ZONE



VIEW LOOKING SOUTH TOWARD PASEO PEDESTRIAN PLAZA

ESTERO CROSSING



## PLACEMAKING EXHIBIT - PEDESTRIAN ENHANCEMENTS



*VIEW OF PEDESTRIAN CORRIDOR SOUTH FROM ART INSTALLATION TO THE PASEO PLAZA*

ESTERO CROSSING





# ESTERO CROSSING D.O. PRESENTATION

ESTERO, FL

March 10, 2021



**BOOTH DESIGN GROUP**  
landscape architecture • planning • urban design





# VICINITY MAP



# ESTERO CROSSING



**LEGEND**

	INDIGENOUS PRESERVE (UPLAND BUFFER)
	INDIGENOUS PRESERVE (UPLAND PRESERVE)
	INDIGENOUS PRESERVE (SFWMD JURISDICTIONAL WETLAND)
	INDIGENOUS PRESERVE (OPEN SPACE)
	LAKE
	ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	PAVER BRICKS
	INDIGENOUS PRESERVE BOUNDARY

**PHASING PLAN**

**PHASE 1 - COMMERCIAL TRACT**  
 PHASE 1A - BUILDING #2 AND ALL IMPROVEMENTS SHOWN LESS BUILDING #3 AND PARKING FINAL LIFT OF ASPHALT.  
 PHASE 1B - BUILDING #3  
 PHASE 1C - FINAL LIFT OF ASPHALT.

**PHASE 2 - RESIDENTIAL ENTRANCE**  
 PHASE 2A - ALL IMPROVEMENTS SHOWN LESS THE FINAL LIFT OF ASPHALT.  
 PHASE 2B - FINAL LIFT OF ASPHALT.

**SIGNING AND MARKING NOTES:**

1. ALL SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE F.D.O.T. STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, THE F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND PUBLISHED STANDARDS.
2. PAVEMENT MARKINGS SHALL BE PERMANENT REFLECTIVE TRAFFIC PAINT WITH GLASS BEADS IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS SECTION 710.
3. ALL STOP SIGN LOCATIONS SHALL INCLUDE A 24" PAINTED WHITE STOP BAR UNLESS NOTED OTHERWISE.
4. ALL SIGNING, PAVEMENT MARKINGS, STREET NAME SIGNS, ETC. ARE TO BE INCLUDED IN THE LUMP SUM PRICE FOR SIGNING AND MARKING.
5. THE CONTRACTOR SHALL COMPLY WITH THE STATE OF FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS AND WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

**GENERAL DEVELOPMENT NOTES:**

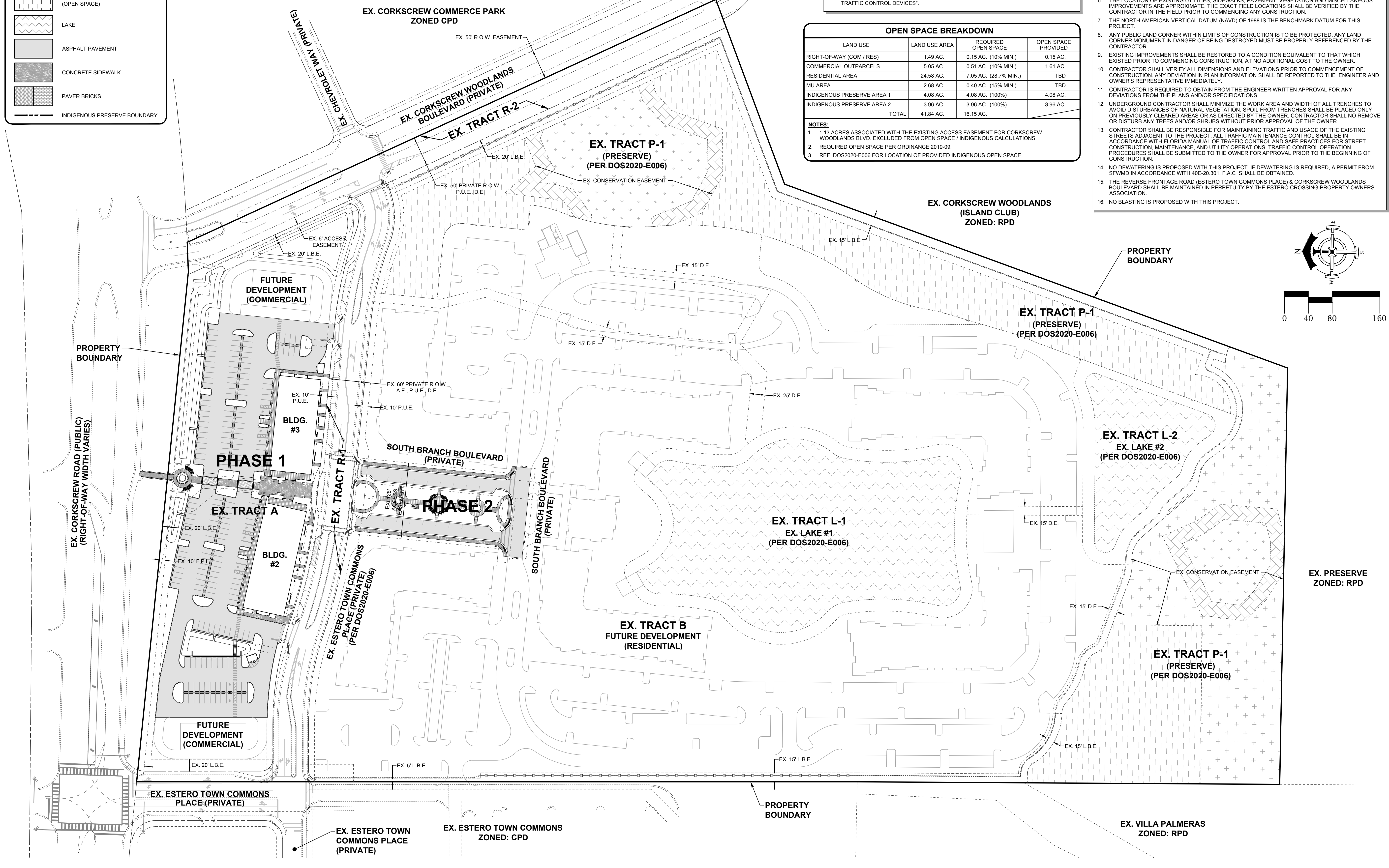
1. ALL CONTRACTORS AND SUB-CRACKERS SHALL MAINTAIN THEIR WORK AND THE SITE RELATIVE TO THEIR WORK IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND ALL REQUIREMENTS OF THE PROJECT N.P.D.E.S. PERMIT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL PERMITTING REQUIREMENTS.
3. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE VILLAGE OF ESTERO LAND DEVELOPMENT CODE.
4. THE CONTRACTOR SHALL RETAIN ON THE WORK SITE AT ALL TIMES COPIES OF ALL PERMITS NECESSARY FOR ANY CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTIFY THE OWNER AND CONTACT ALL UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES IN THE AREA 72 HOURS (MINIMUM) PRIOR TO COMMENCING CONSTRUCTION.
6. THE LOCATION OF EXISTING UTILITIES, SIDEWALKS, PAVEMENT, VEGETATION AND MISCELLANEOUS IMPROVEMENTS ARE APPROXIMATE. THE EXACT FIELD LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO COMMENCING ANY CONSTRUCTION.
7. THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988 IS THE BENCHMARK DATUM FOR THIS PROJECT.
8. ANY PUBLIC LAND CORNER WITHIN LIMITS OF CONSTRUCTION IS TO BE PROTECTED. ANY LAND CORNER MONUMENT IN DANGER OF BEING DESTROYED MUST BE PROPERLY REFERENCED BY THE CONTRACTOR.
9. EXISTING IMPROVEMENTS SHALL BE RESTORED TO A CONDITION EQUIVALENT TO THAT WHICH EXISTED PRIOR TO COMMENCING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.
10. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DEVIATION IN PLAN INFORMATION SHALL BE REPORTED TO THE ENGINEER AND OWNER'S REPRESENTATIVE IMMEDIATELY.
11. CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER WRITTEN APPROVAL FOR ANY DEVIATIONS FROM THE PLANS AND/OR SPECIFICATIONS.
12. UNDERGROUND CONTRACTOR SHALL MINIMIZE THE WORK AREA AND WIDTH OF ALL TRENCHES TO AVOID DISTURBANCES OF NATURAL VEGETATION. SPOIL FROM TRENCHES SHALL BE PLACED ONLY ON PREVIOUSLY CLEARED AREAS OR AS DIRECTED BY THE OWNER. CONTRACTOR SHALL NOT REMOVE OR DISTURB ANY TREES AND/OR SHRUBS WITHOUT PRIOR APPROVAL OF THE OWNER.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ADJACENT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS. TRAFFIC CONTROL OPERATION PROCEDURES SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
14. NO DEWATERING IS PROPOSED WITH THIS PROJECT. IF DEWATERING IS REQUIRED, A PERMIT FROM SFWMD IN ACCORDANCE WITH 40E-20.301, F.A.C. SHALL BE OBTAINED.
15. THE REVERSE FRONTAGE ROAD (ESTERO TOWN COMMONS PLACE) & CORKSCREW WOODLANDS BOULEVARD SHALL BE MAINTAINED IN PERPETUITY BY THE ESTERO CROSSING PROPERTY OWNERS ASSOCIATION.
16. NO BLASTING IS PROPOSED WITH THIS PROJECT.

**OPEN SPACE BREAKDOWN**

LAND USE	LAND USE AREA	REQUIRED OPEN SPACE	OPEN SPACE PROVIDED
RIGHT-OF-WAY (COM / RES)	1.49 AC.	0.15 AC. (10% MIN.)	0.15 AC.
COMMERCIAL OUTPARCELS	5.05 AC.	0.51 AC. (10% MIN.)	1.81 AC.
RESIDENTIAL AREA	24.58 AC.	7.05 AC. (28.7% MIN.)	TBD
MU AREA	2.68 AC.	0.40 AC. (15% MIN.)	TBD
INDIGENOUS PRESERVE AREA 1	4.08 AC.	4.08 AC. (100%)	4.08 AC.
INDIGENOUS PRESERVE AREA 2	3.96 AC.	3.96 AC. (100%)	3.96 AC.
<b>TOTAL</b>	<b>41.84 AC.</b>	<b>18.15 AC.</b>	

**NOTES:**

1. 1.13 ACRES ASSOCIATED WITH THE EXISTING ACCESS EASEMENT FOR CORKSCREW WOODLANDS BLVD. EXCLUDED FROM OPEN SPACE / INDIGENOUS CALCULATIONS.
2. REQUIRED OPEN SPACE PER ORDINANCE 2019-09.
3. REF. DOS2020-E006 FOR LOCATION OF PROVIDED INDIGENOUS OPEN SPACE.



**DELISI FITZGERALD, INC.**  
 Planning - Engineering - Project Management

1605 Hendry Street  
 Fort Myers, FL 33901  
 (239) 418-0691  
 (239) 418-0692 fax

Florida Certificate of Authorization  
 Engineering LB 26978

**ENGINEER OF RECORD:**  
 JOHN T. WOODA, P.E. (FOR THE FIRM)  
 FLORIDA P.E. NO. 58217

**OWNER / DEVELOPER:**  
 SD ESTERO CROSSING, LLC  
 2639 PROFESSIONAL CIRCLE, SUITE 101  
 NAPLES, FL 34119  
 (239) 592-7344

**PROJECT:**  
 ESTERO CROSSING COMMERCIAL AND RESIDENTIAL ENTRANCE

**PLAN REVISIONS**

#	DATE	DESCRIPTION

**MASTER SITE PLAN**

Project Manager: JTW  
 Drawn By: CAS  
 Checked By: JTW  
 Project Number: 21534  
 Part of Section(s): 35  
 Township: 46 S | Range: 25 E  
 County, State: LEE COUNTY, FL

Status:  
 CONSTRUCTION PLANS  
 SUBJECT TO ALL PERMIT APPROVALS

Sheet Number: 4

A:21534 - ESTERO CROSSING COMM AND RES ENTRANCEDOPLAN SET121534-04-MASTER-SITE.DWG  
 5/13/2021 11:37 AM



## Estero Crossing Commercial Area, Residential Entry, Pocket Park - 11/18/20 DRB Workshop Meeting Notes

### Landscaping

- Only Cluster Buffer along Corkscrew Frontage: ***Landscape Plans have been revised to eliminate clustering on east and west side buffers for the Commercial.***

### Architecture

- Additional Architectural Details on end of buildings: ***Additional architectural details have been added. See revised Elevations.***
- Adjust Colors to match what was present (in particular the lighter color): ***The building colors have been adjusted to better match what was presented. See revised Elevations, the lighter color has been changed to SW7012 (Creamy) to provide better contrasts to the Pure White trim color. Minor adjustments were also made based on meetings with staff to maintain consistency with the approved Pattern Book.***
- Consider revision to sidewalk access to rear doors to allow landscaping to shield door (note: this was a suggestion and some DRB member were fine with the direct sidewalk access to provide better access for deliveries): ***Access to the rear doors has been consolidated where possible. See revised Civil and Landscape Plans.***

### Placemaking Elements

- Public Art: DRB will need to review the Public Art: ***MGA Sculpture Studio in St. Petersburg, Florida has been engaged for the Public Art Feature. It's understood a separate DRB meeting to review this feature may be necessary. The Artwork will be installed prior to CC. The intention is to present initial renderings to the DRB in a Workshop as soon as available.***

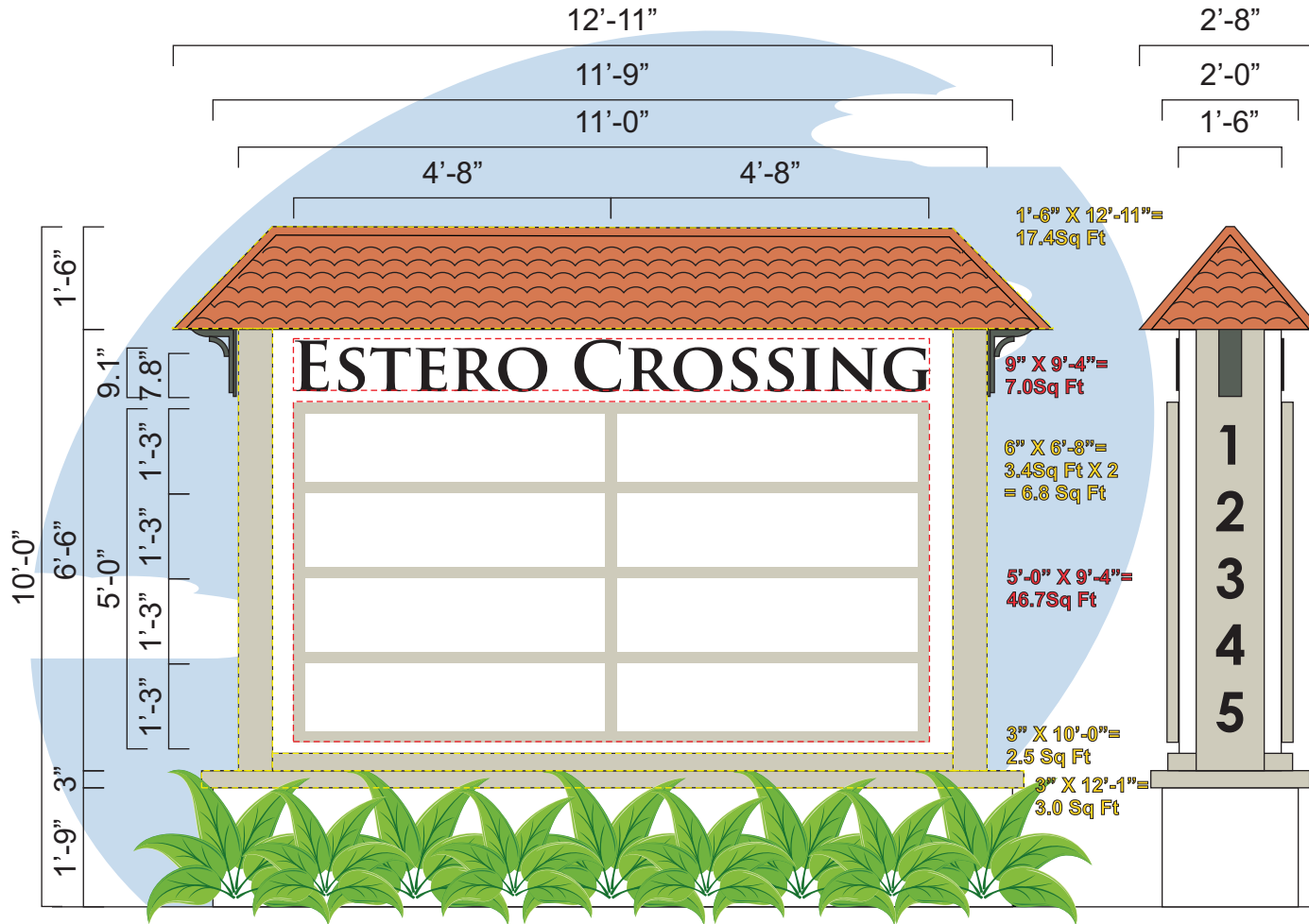
### Signage

- Base: If plantings hide sign base, the hidden base area cannot be used to satisfy the architectural area requirement: ***The sign bases have been raised slightly so the top cap of the base is above the adjacent landscape material. The area below is excluded from the sign area. The ends of the sign have been revised to add additional architectural detail.***



**MANUFACTURE & INSTALL ONE (1) DOUBLE FACED, ILLUMINATED GROUND SIGN.**

ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE TEXTURED. MAIN ID AREA TO HAVE TENANT SECTION ROUTED OUT OF FACES WITH 2" FACE RETAINERS AND 2" DIVIDER BARS. FACES TO BE .187 FLAT WHITE POLYCARBONATE. "ESTERO CROSSING" COPY TO BE .25" FLAT CUT OUT, NON ILLUMINATED DiBOND LETTERS. BASE TO BE ALL ALUM CONSTRUCTION OVER INTERNAL ANGLE BRACING WITH TEXTURED FINISH. ADDRESS NUMBERS TO BE PAINTED AND MASKED. CAP TO BE FABRICATED ALUM WITH TEXTURED FINISH. ROOF TO RECEIVE BARREL TILE (BY OTHERS) TO MATCH BUILDING AND HAVE FABRICATED ALUM SCONCES AT CABINET ENDS. TO BE ILLUMINATED USING WHITE (7000k) LEDS.



PROPOSED FRONTAGE RD LOCATION

TOTAL Sq Ft ARCHETECTURAL = 29.7 Sq Ft

TOTAL Sq Ft COPY AREA = 53.7 Sq Ft



3300 PALM AVENUE, FT. MYERS, FL 33901  
 PHONE: 239.278.4245  
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE  
 IN COMPLIANCE WITH NFPA 70-14



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2020 Florida Building Code 7th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:  
 Ground 1

PROJECT MANAGER:  
 Elisha White

DESIGNER:  
 MB

COMPANY:  
 Estero Crossing

DRAWING NUMBER:  
 21-0092 01 G

INITIAL DRAWING DATE:  
 2/9/2021

REVISION  
 2/19 F

REVISION  
 2/23 G

REVISION

Rev G - Revised Sq Ft Calcs

CONTACT:

PHONE:

E-MAIL:

SCALE: 3/8" = 1'-0"

ADDRESS:  
 Estero Fl

FILEPATH:

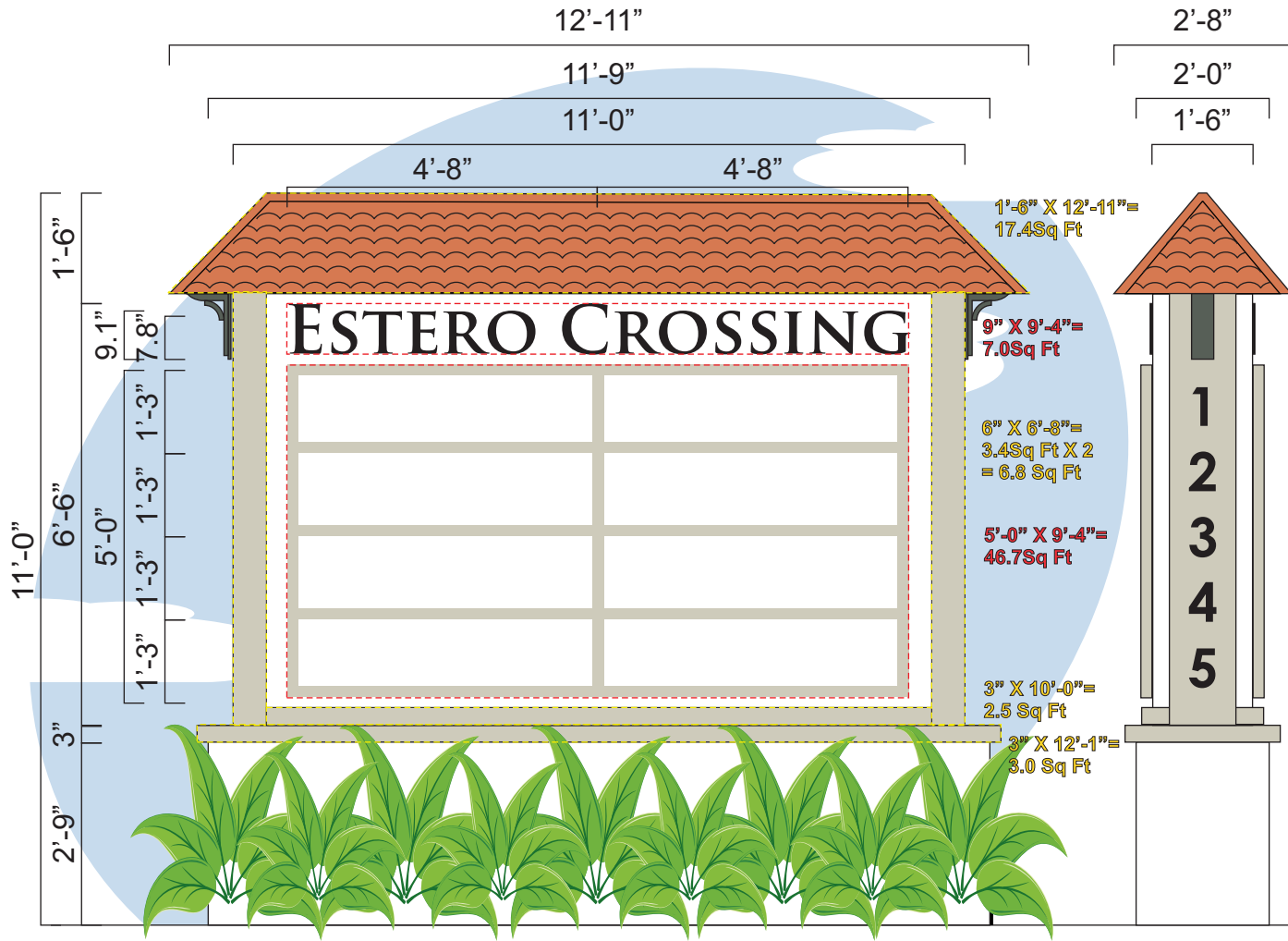
Z:\gfrfx\E Jobs\Estero Crossings\Corkscrew\21-0092\_Ground\Drawings\21-0092 01G Estero Crossing - Ground Signs.cdr

SHEET 1 of 3

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

**MANUFACTURE & INSTALL ONE (1) DOUBLE FACED, ILLUMINATED GROUND SIGN.**

ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE TEXTURED. MAIN ID AREA TO HAVE TENANT SECTION ROUTED OUT OF FACES WITH 2" FACE RETAINERS AND 2" DIVIDER BARS. FACES TO BE .187 FLAT WHITE POLYCARBONATE. "ESTERO CROSSING" COPY TO BE .25" FLAT CUT OUT, NON ILLUMINATED DiBOND LETTERS. BASE TO BE ALL ALUM CONSTRUCTION OVER INTERNAL ANGLE BRACING WITH TEXTURED FINISH. ADDRESS NUMBERS TO BE PAINTED AND MASKED. CAP TO BE FABRICATED ALUM WITH TEXTURED FINISH. ROOF TO RECEIVE BARREL TILE (BY OTHERS) TO MATCH BUILDING AND HAVE FABRICATED ALUM SCANCES AT CABINET ENDS. TO BE ILLUMINATED USING WHITE (7000K) LEDS.



**CORKSCREW RD LOCATION**

**TOTAL Sq Ft ARCHETECTURAL= 29.7 Sq Ft**

**TOTAL Sq Ft COPY AREA= 53.7Sq Ft**



3300 PALM AVENUE, FT. MYERS, FL 33901  
 PHONE: 239.278.4245  
 FAX: 239.278.3912

**ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NFPA 70-14**



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2020 Florida Building Code 7th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:  
 Ground 2

PROJECT MANAGER:  
 Elisha White

DESIGNER:  
 MB

COMPANY:  
 Estero Crossing

DRAWING NUMBER:  
 21-0092 02 G

INITIAL DRAWING DATE:  
 2/9/2021

REVISION  
 2/19 F

REVISION  
 2/23 G

REVISION

Rev G - Revised Sq Ft Calcs

CONTACT:

PHONE:

E-MAIL:

SCALE: 3/8" = 1'-0"

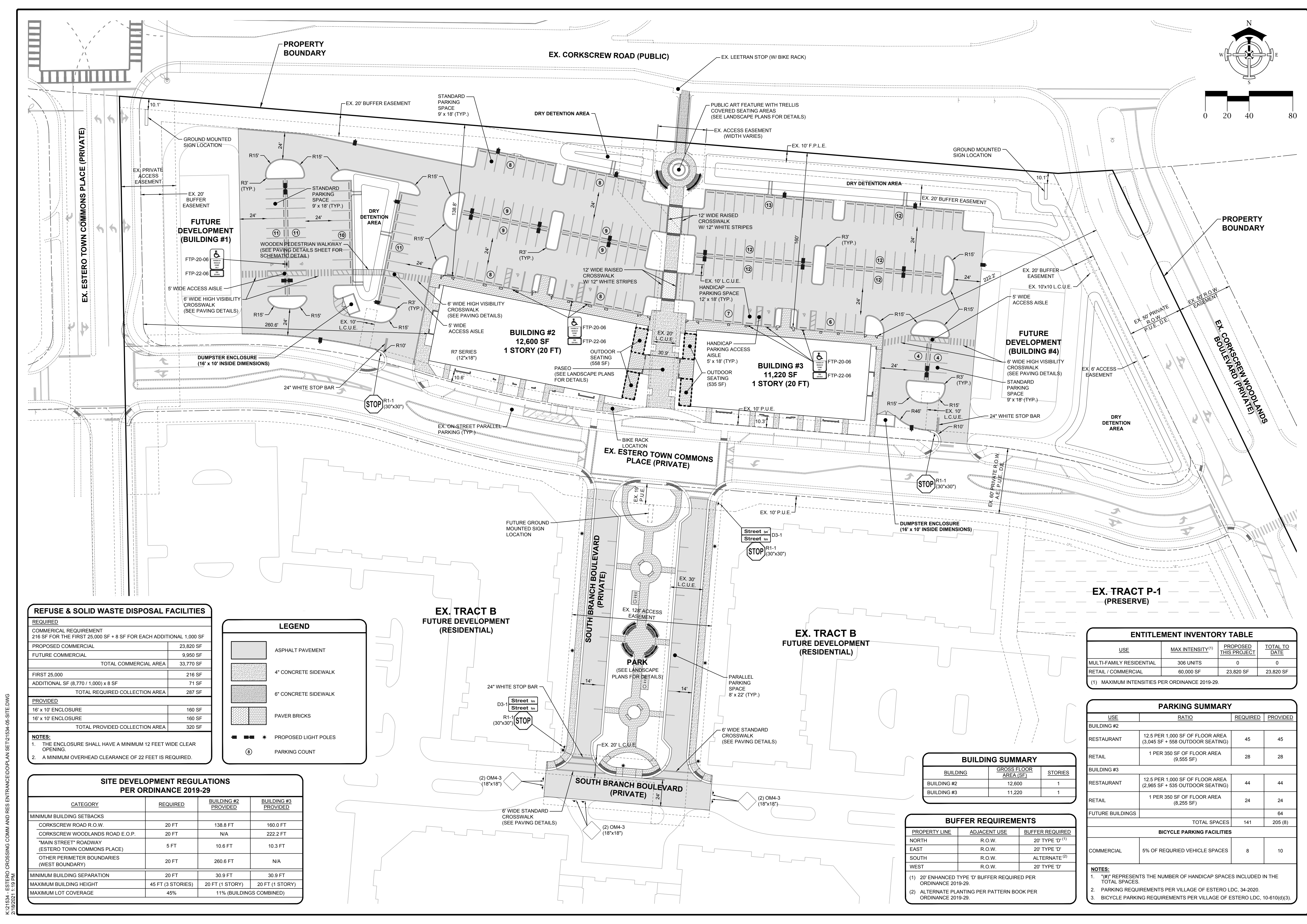
ADDRESS:  
 Estero FI

FILEPATH:

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SHEET 2 of 3

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS



**DELISI FITZGERALD, INC.**  
 Planning - Engineering - Project Management

Florida Certificate of Authorization  
 Engineering LB #26978

1605 Hendry Street  
 Fort Myers, FL 33901  
 (239) 418-0691  
 (239) 418-0692 fax

ENGINEER OF RECORD:  
 JOHN T. WOODAK, P.E. (FOR THE FIRM)  
 FLORIDA P.E. NO. 58217

NOT VALID WITHOUT SEAL, SIGNATURE AND DATE

OWNER / DEVELOPER:  
**SD ESTERO CROSSING, LLC**  
 2639 PROFESSIONAL CIRCLE, SUITE 101  
 NAPLES, FL 34119  
 (239) 592-7844

PROJECT:

**ESTERO CROSSING AND COMMERCIAL AND RESIDENTIAL ENTRANCE**

**REFUSE & SOLID WASTE DISPOSAL FACILITIES**

REQUIRED	
COMMERCIAL REQUIREMENT	23,820 SF
216 SF FOR THE FIRST 25,000 SF + 8 SF FOR EACH ADDITIONAL 1,000 SF	
PROPOSED COMMERCIAL	23,820 SF
FUTURE COMMERCIAL	9,950 SF
<b>TOTAL COMMERCIAL AREA</b>	<b>33,770 SF</b>
FIRST 25,000	216 SF
ADDITIONAL SF (8,770 / 1,000) x 8 SF	71 SF
<b>TOTAL REQUIRED COLLECTION AREA</b>	<b>287 SF</b>
PROVIDED	
16' x 10' ENCLOSURE	160 SF
16' x 10' ENCLOSURE	160 SF
<b>TOTAL PROVIDED COLLECTION AREA</b>	<b>320 SF</b>

**NOTES:**

- THE ENCLOSURE SHALL HAVE A MINIMUM 12 FEET WIDE CLEAR OPENING.
- A MINIMUM OVERHEAD CLEARANCE OF 22 FEET IS REQUIRED.

**LEGEND**

	ASPHALT PAVEMENT
	4" CONCRETE SIDEWALK
	6" CONCRETE SIDEWALK
	PAVER BRICKS
	PROPOSED LIGHT POLES
	PARKING COUNT

**SITE DEVELOPMENT REGULATIONS PER ORDINANCE 2019-29**

CATEGORY	REQUIRED	BUILDING #2 PROVIDED	BUILDING #3 PROVIDED
MINIMUM BUILDING SETBACKS			
CORKSCREW ROAD R.O.W.	20 FT	138.8 FT	160.0 FT
CORKSCREW WOODLANDS ROAD E.O.P.	20 FT	N/A	222.2 FT
"MAIN STREET" ROADWAY (ESTERO TOWN COMMONS PLACE)	5 FT	10.6 FT	10.3 FT
OTHER PERIMETER BOUNDARIES (WEST BOUNDARY)	20 FT	260.6 FT	N/A
MINIMUM BUILDING SEPARATION	20 FT	30.9 FT	30.9 FT
MAXIMUM BUILDING HEIGHT	45 FT (3 STORIES)	20 FT (1 STORY)	20 FT (1 STORY)
MAXIMUM LOT COVERAGE	45%	11% (BUILDINGS COMBINED)	

**ENTITLEMENT INVENTORY TABLE**

USE	MAX INTENSITY <sup>(1)</sup>	PROPOSED THIS PROJECT	TOTAL TO DATE
MULTI-FAMILY RESIDENTIAL	306 UNITS	0	0
RETAIL / COMMERCIAL	60,000 SF	23,820 SF	23,820 SF

(1) MAXIMUM INTENSITIES PER ORDINANCE 2019-29.

**PARKING SUMMARY**

USE	RATIO	REQUIRED	PROVIDED
BUILDING #2			
RESTAURANT	12.5 PER 1,000 SF OF FLOOR AREA (3,045 SF + 538 OUTDOOR SEATING)	45	45
RETAIL	1 PER 350 SF OF FLOOR AREA (9,555 SF)	28	28
BUILDING #3			
RESTAURANT	12.5 PER 1,000 SF OF FLOOR AREA (2,965 SF + 535 OUTDOOR SEATING)	44	44
RETAIL	1 PER 350 SF OF FLOOR AREA (8,255 SF)	24	24
FUTURE BUILDINGS			64
<b>TOTAL SPACES</b>		<b>141</b>	<b>205 (8)</b>

**BICYCLE PARKING FACILITIES**

USE	RATIO	REQUIRED	PROVIDED
COMMERCIAL	5% OF REQUIRED VEHICLE SPACES	8	10

**BUILDING SUMMARY**

BUILDING	GROSS FLOOR AREA (SF)	STORIES
BUILDING #2	12,600	1
BUILDING #3	11,220	1

**BUFFER REQUIREMENTS**

PROPERTY LINE	ADJACENT USE	BUFFER REQUIRED
NORTH	R.O.W.	20' TYPE 'D' <sup>(1)</sup>
EAST	R.O.W.	20' TYPE 'D'
SOUTH	R.O.W.	ALTERNATE <sup>(2)</sup>
WEST	R.O.W.	20' TYPE 'D'

(1) 20' ENHANCED TYPE 'D' BUFFER REQUIRED PER ORDINANCE 2019-29.  
 (2) ALTERNATE PLANTING PER PATTERN BOOK PER ORDINANCE 2019-29.

PLAN REVISIONS

#	DATE	DESCRIPTION

**SITE LAYOUT, SIGNING AND MARKING PLAN**

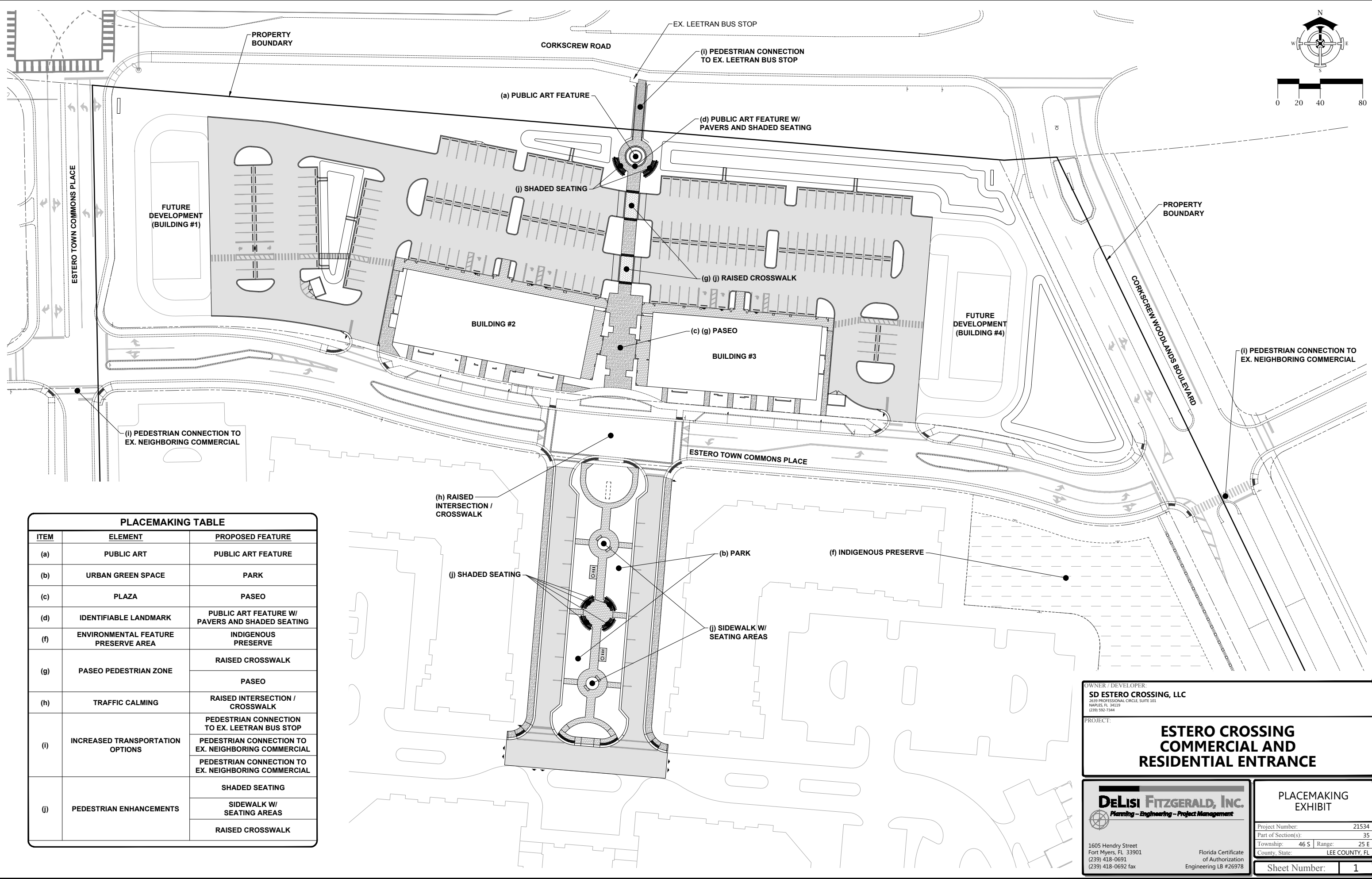
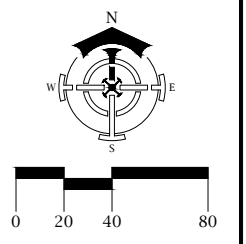
Project Manager: JTW  
 Drawn By: CAS  
 Checked By: JTW  
 Project Number: 21534  
 Part of Section(s): 35  
 Township: 46 S | Range: 25 E  
 County, State: LEE COUNTY, FL

Status:  
**CONSTRUCTION PLANS**  
 SUBJECT TO ALL PERMIT APPROVALS

Sheet Number: 5

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**PLACEMAKING TABLE**

ITEM	ELEMENT	PROPOSED FEATURE
(a)	PUBLIC ART	PUBLIC ART FEATURE
(b)	URBAN GREEN SPACE	PARK
(c)	PLAZA	PASEO
(d)	IDENTIFIABLE LANDMARK	PUBLIC ART FEATURE W/ PAVERS AND SHADED SEATING
(f)	ENVIRONMENTAL FEATURE PRESERVE AREA	INDIGENOUS PRESERVE
(g)	PASEO PEDESTRIAN ZONE	RAISED CROSSWALK
		PASEO
(h)	TRAFFIC CALMING	RAISED INTERSECTION / CROSSWALK
(i)	INCREASED TRANSPORTATION OPTIONS	PEDESTRIAN CONNECTION TO EX. LEETRAN BUS STOP
		PEDESTRIAN CONNECTION TO EX. NEIGHBORING COMMERCIAL
		PEDESTRIAN CONNECTION TO EX. NEIGHBORING COMMERCIAL
(j)	PEDESTRIAN ENHANCEMENTS	SHADED SEATING
		SIDEWALK W/ SEATING AREAS
		RAISED CROSSWALK

OWNER / DEVELOPER:  
**SD ESTERO CROSSING, LLC**  
 2639 PROFESSIONAL CIRCLE SUITE 101  
 NAPLES, FL 34119  
 (239) 592-7344

PROJECT:  
**ESTERO CROSSING  
 COMMERCIAL AND  
 RESIDENTIAL ENTRANCE**

**DeLisi Fitzgerald, Inc.**  
 Planning - Engineering - Project Management

1605 Hendry Street  
 Fort Myers, FL 33901  
 (239) 418-0691  
 (239) 418-0692 fax

Florida Certificate  
 of Authorization  
 Engineering LB #26978

**PLACEMAKING  
 EXHIBIT**

Project Number: 21534  
 Part of Section(s): 35  
 Township: 46 S | Range: 25 E  
 County, State: LEE COUNTY, FL

Sheet Number: 1

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## SITE BUFFER PLANT MATERIAL SCHEDULE

PLANT MATERIAL NOTES:  
 1. THE CONTRACTOR SHALL BID AND BE RESPONSIBLE FOR THE PLANT SIZE AND NOT SOLELY BY THE CONTAINER. CONTAINER IS PROVIDED AS A MIN. SIZE  
 2. THE GENERAL CONTRACTOR/LANDSCAPE CONTRACTOR SHALL PERFORM A MIN. OF 3 SOIL TEST FROM VARIOUS LOCATION AROUND SITE AFTER FILL HAS BEEN COMPLETED. TEST SHALL BE SUBMITTED TO OWNER/LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO ANY PLANTS BEING INSTALLED. SITES LARGER THAN 10 ACRES SHALL HAVE A MIN. OF 5 SOILS SAMPLES TESTED.  
 3. IN A CONFLICT BETWEEN THE PLANS AND THE SPECIFICATIONS/PLANT MATERIAL SCHEDULE, THE PLANS SHALL GOVERN.

QTY	CODE	BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE	DROUGHT TOLERANCE	NOTES
99	IP	ILICUM PARVIFLORUM	YELLOW STAR ANISE	3 GAL., 24" HT. x 14" SPR.	YES	YES	
163	IP3	ILICUM PARVIFLORUM	YELLOW STAR ANISE	7 GAL., 36" HT. x 24" SPD.	YES	YES	
18	CSB	CORDIA SEBESTENA	ORANGE GEIGER TREE	12' HT. X 6' SPD., 3.5" CAL.	YES	YES	
26	COE	CONOCARPUS ERECTUS	GREEN BUTTONWOOD	12' HT. X 6' SPD., 3.5" CAL.	YES	YES	
346	COS	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTONWOOD	3 GAL., 30" HT. X 18" SPD.	YES	YES	
2	COST	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTONWOOD	45 GAL., 12' HT. X 6' SPRD., 3.5" CAL	YES	YES	TREE FORM
236	CU	COCCOLOBA UNIFERA	SEAGRAPE	7 GAL. 36" HT., X 24" SPD.	YES	YES	
20	CAA	CALLICARPA AMERICANA	BEAUTYBERRY	3 GAL., 24" X 18" HT., 3 STEMS	YES	YES	
38	ROY	ROYSTONEA ELATA	FLORIDA ROYAL PALM	8-10' GRAY WOOD, 24' OA	YES	YES	HEAVY TRUNK
6	SP	SABAL PALMETTO	CABBAGE PALM	STAGGERED 14' C.T. TO 18' C.T.	YES	YES	



COMMERCIAL LANDSCAPE BUFFER PLANTINGS

## V.U.A. PLANT MATERIAL SCHEDULE

PLANT MATERIAL NOTES:  
 1. THE CONTRACTOR SHALL BID AND BE RESPONSIBLE FOR THE PLANT SIZE AND NOT SOLELY BY THE CONTAINER. CONTAINER IS PROVIDED AS A MIN. SIZE  
 2. THE GENERAL CONTRACTOR/LANDSCAPE CONTRACTOR SHALL PERFORM A MIN. OF 3 SOIL TEST FROM VARIOUS LOCATION AROUND SITE AFTER FILL HAS BEEN COMPLETED. TEST SHALL BE SUBMITTED TO OWNER/LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO ANY PLANTS BEING INSTALLED. SITES LARGER THAN 10 ACRES SHALL HAVE A MIN. OF 5 SOILS SAMPLES TESTED.  
 3. IN A CONFLICT BETWEEN THE PLANS AND THE SPECIFICATIONS/PLANT MATERIAL SCHEDULE, THE PLANS SHALL GOVERN.

QTY	CODE	BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE	DROUGHT TOLERANCE	NOTES
150	A	ANNUALS	ANNUALS	6" POT, FULL	NO	NO	
7	ARS	ACER RUBRUM 'SUMMER RED'	RED MAPLE	12-14' HT. X 6' SPD., 3.5" CAL.	YES	YES	
5	BBS	BUCIDA BUCERAS 'SHADY LADY'	SHADY LADY BLACK OLIVE	12' HT. X 6' SPR. FULL, 3.5" CAL.	NO	YES	
4	COST	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTONWOOD	15 GAL., 5-6' HT. X 36" SPRD., 3" CAL	YES	YES	TREE FORM
2	CSB	CORDIA SEBESTENA	ORANGE GEIGER TREE	10' HT. X 4.5'-5' SPD., 2" CAL.	YES	YES	
4	DRS	DURANATUS ERECTUS	DURANATA STANDARD	15 GAL., 4-5' HT., STANDARD	YES	YES	
260	EG	EVOLVULUS GLOMERATUS	BLUE DAZE	1 GAL. 6-8" HT. FULL	NO	YES	
338	FM	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL. 16-18" HT. X 12" SPD., FULL	NO	YES	
50	GG	GALPHIMIA GRACILIS	THRYSALLIS	3 GAL., 24" HT. X 12" SPD.	NO	YES	
278	HPD	HAMELIA NODOSA	DWARF FIREBUSH	3 GAL., 16"-18" HT. X 14" SPD.	YES	YES	
2	JAT	JATROPHA INTEGERRIMA 'COMPACTA'	JATHROPA	15 GAL. 4-5' HT. STANDARD	NO	YES	
70	JM	JASMINUM MULTIFLORUM	DOWNY JASMINE	3 GAL. 16" HT. X 12-14" SPD.	NO	YES	
150	MIS	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO MAIDEN GRASS	3 GAL., 4' HT. X 3' SPR., FULL	NO	YES	
28	MUH	MUHLENBERGIA CAPILLARIS	MUHLI GRASS	3 GAL., 18-24" HT. X 12"-14" SPD.	YES	YES	
130	NSF	NEOREGELIA SCHULTSIANA 'FIREBALL'	FIREBALL BROMELIAD	3 GAL., 16" HT. X 18" SPR., DENSE	NO	YES	
3	QV	QUERCUS VIRGINIANA	LIVE OAK	14' HT. X 6' SPD., 3.5" CAL.	YES	YES	
16	ROY	ROYSTONEA ELATA	FLORIDA ROYAL PALM	8-10' GRAY WOOD, 24' OA	YES	YES	HEAVY TRUNK
9	SP	SABAL PALMETTO	CABBAGE PALM	STAGGERED 14' C.T. TO 18' C.T.	YES	YES	
315	TJV	TRACHELOSPERMUM JAS. VARIEGATED	VARIEGATED CONFEDERATE JASMINE	1 GAL., 10-12" SPD.	NO	YES	
32	VOSB	VIBURNUM OBOVATUM	'MRS. SHILLER'S DELIGHT'	3 GAL., 16" HT. X 18" SPR., DENSE	NO	YES	
15	VS	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	7 GAL., 26" HT. X 18" SPD., FULL	YES	YES	



VUA TREES, SHRUBS, AND GROUND COVER

## SITE FURNISHING SCHEDULE

I.D.	QTY.	SYM.	TYPE	SPECIFICATION
SF-1	2		BENCH	ANOVA FURNISHINGS: CORONADO BENCH IN RECYCLED PLASTIC 6' CONTOUR BENCH. SLAT COLOR: MAHOGANY, FRAME COLOR: TEXTURED PEWTER. ITEM NO.: CRZ780R. CONTACT: CHERYL RONAN 407 572-3147
SF-2	10		URN	OLD TOWN FIBER GLASS: BAHIA URN, COLOR: TEAL WITH MATTE FINISH. INDIVIDUAL SIZE: 26"W X32"H. PAIRS OF 3: 26"W X24"H., 30"W X28"H., 33"W X32"H. CONTACT: SEAN SMITH 917-716-9242
SF-3	2		TRASH RECEPTACLE	ANOVA FURNISHINGS: MADISON 35 GAL RECYCLED PLASTIC RECEPTACLE, OPEN HOOD TOP. SLAT COLOR: MAHOGANY, FRAME COLOR: TEXTURED PEWTER. ITEM NO.: TR35DT. FOR ORDER INFORMATION CONTACT CHERYL RONAN 407 572-3147.
SF-4	12		BIKE RACK	MADRAX: ORION BIKE RACK, ROUND TUBE, SURFACE MOUNT, COLOR: PLATINUM, IN GROUND MOUNT. FOR ORDER INFORMATION CONTACT 800-448-7931

## MASTER PAVING SCHEDULE

I.D.	TYPE	SPECIFICATION
P-1	PLAZA	L.M. SCOFIELD COLOR-CONDITIONED CONCRETE, CHROMIX ADMIXTURE: C-19 GREY STONE WITH MEDIUM BROWN FINISH, ABRASION RESISTANT SEALER: SCOFIELD CURESEAL-W. PROVIDE MOCK-UP SAMPLE FOR APPROVAL.
P-2	PAVERS	ARTISTIC PAVERS: GRANITELOCK 12"x24" PAVER, MAIN FIELD COLOR: ARCTIC WHITE, WITH 4"x8" BORDER, COLOR: STERLING GREY. SEE PLAN FOR PATTERN. FOR ORDER INFORMATION CONTACT TODD ROCKFIELD 813-389-8011.
P-3	CROSSWALK PAVERS	TREHORN: 4"x8" COLOR: GRANITE, HERRINGBONE WITH 4"x8" CHARCOAL BORDER. FOR ORDER INFORMATION CONTACT JOANN THOMPSON 813-299-3088

NOTES:  
 -ALL CONCRETE IS TO HAVE A MIN. OF 3000 P.S.I. AND HAVE 3/8" AGGREGATE USED IN ALL CONCRETE TYPES IN LIEU LARGER AGGREGATE.  
 -CONTRACTOR TO PROVIDE 5/8" MOCK-UP OF ALL PAVING TYPES PRIOR TO CONSTRUCTION FOR OWNER'S LA APPROVAL.

## BUILDING FOUNDATION LANDSCAPE AREA REQUIREMENTS

	BUILDING FOOTPRINT	BUILDING PERIMETER	LANDSCAPE REQUIRED	LANDSCAPE PROVIDED
<b>BUILDING 1</b>	<b>12,600 S.F.</b>	<b>500 L.F.</b>	<b>1,260 S.F.</b>	<b>2,118 S.F.</b>
<b>BUILDING 2</b>	<b>11,200 S.F.</b>	<b>460 L.F.</b>	<b>1,120 S.F.</b>	<b>1,778 S.F.</b>

## VEHICULAR USE AREA LANDSCAPE REQUIREMENTS

TOTAL VEHICULAR USE AREA (VUA)		83,268 S.F.	
DESCRIPTION	QUANTITY REQUIRED	PERCENTAGE REQUIRED	QUANTITY PROVIDED
INTERIOR LANDSCAPING AREA	8,327 S.F.	10%(VUA)	8,354 S.F.
MAX. PALM SUBSTITUTION	9 ALLOWABLE	30%(CANOPY TREES)	3
TOTAL CANOPY TREES	33 TOTAL	8,327 / 250 S.F.	34

## LANDSCAPED OPEN SPACE

MINIMUM 10% OF PARCEL AREA		
23,822 SF PARCEL AREA		
	REQUIRED	PROVIDED
PERCENTAGE	10%	22%
AREA IN S.F.	2,382 SF	5,271 SF

## BUILDING PERIMETER PLANT MATERIAL SCHEDULE

PLANT MATERIAL NOTES:  
 1. THE CONTRACTOR SHALL BID AND BE RESPONSIBLE FOR THE PLANT SIZE AND NOT SOLELY BY THE CONTAINER. CONTAINER IS PROVIDED AS A MIN. SIZE  
 2. THE GENERAL CONTRACTOR/LANDSCAPE CONTRACTOR SHALL PERFORM A MIN. OF 3 SOIL TEST FROM VARIOUS LOCATION AROUND SITE AFTER FILL HAS BEEN COMPLETED. TEST SHALL BE SUBMITTED TO OWNER/LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO ANY PLANTS BEING INSTALLED. SITES LARGER THAN 10 ACRES SHALL HAVE A MIN. OF 5 SOILS SAMPLES TESTED.  
 3. IN A CONFLICT BETWEEN THE PLANS AND THE SPECIFICATIONS/PLANT MATERIAL SCHEDULE, THE PLANS SHALL GOVERN.

QTY	CODE	BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE	DROUGHT TOLERANCE	NOTES
30	ASE	ASPIDISTRA ELATIOR	CAST IRON PLANT	3 GAL. 24" HT. X 12" SPD. FULL	YES	YES	
15	CG	CLUSIA GUTTIFERA	SMALL LEAF CLUSIA	3 GAL., 24" HT. X 14" SPR.	NO	YES	
186	EG	EVOLVULUS GLOMERATUS	BLUE DAZE	1 GAL. 6-8" HT. FULL	NO	YES	
7	HS	HIBISCUS "STANDARD"	TREE-FORM HIBISCUS	6-7' HT. X 3-4' SPR., 30" C.T.	YES	YES	
126	IX	IXORA 'RED TAIWAN DWARF'	RED TAIWAN IXORA	3 GAL., 20" HT. X 16" SPD., FULL	NO	YES	
6	JAT	JATROPHA INTEGERRIMA 'COMPACTA'	JATHROPA	15 GAL. 4-5' HT. STANDARD	NO	YES	
62	JC	JUNIPERUS CONFERTA COMPACTA	DWARF SHORE JUNIPER	1 GAL., 8" HT. X 12" SPD.	YES	YES	
36	POM	PODOCARPUS MACROPHYLLA	PODOCARPUS	7 GAL., 28" HT. X 16" SPD., DENSE	NO	YES	
4	ROY	ROYSTONEA ELATA	FLORIDA ROYAL PALM	8-10' GRAY WOOD, 24' OA	YES	YES	HEAVY TRUNK
2	SN	STRELITZIA NICOLAI	WHITE BIRD OF PARADISE	8-10' HT., HEAVY	NO	YES	
426	TJV	TRACHELOSPERMUM JAS. VARIEGATED	VARIEGATED CONFEDERATE JASMINE	1 GAL., 10-12" SPD.	NO	YES	
2	TR	THRINAX RADIATA	FLORIDA THATCH PALM	10' O.A.	NO	YES	
79	VS	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	7 GAL., 26" HT. X 18" SPD., FULL	YES	YES	
14	WB	WODYETIA BIFURCATA	FOXTAIL PALM	18' OA.	NO	YES	



BUILDING FOUNDATION LANDSCAPE PLANTINGS

## PLANT MATERIAL SCHEDULE

PLANT MATERIAL NOTES:  
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 3. IN A CONFLICT BETWEEN THE PLANS AND THE SPECIFICATIONS/PLANT MATERIAL SCHEDULE, THE PLANS SHALL GOVERN.

QTY	CODE	BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE	DROUGHT TOLERANCE	NOTES
452	A	ANNUALS	ANNUALS	6" POT, FULL	NO	NO	
2	AX	ARCHONTOPHOENIX ALEXANDRAE	KING ALEXANDER PALM	16' OA	NO	YES	
2	BBS	BUCIDA BUCERAS 'SHADY LADY'	SHADY LADY BLACK OLIVE	12' HT. X 6' SPR. FULL, 3" CAL.	NO	YES	
10	CAN	CANNA FLACCIDA	GOLDEN CANNA LILY	7 GAL., 3-4' HT.	YES	NO	
13	CME	CARISSA MACROCARPA 'EMERALD BLANKET'	EMERALD BLANKET CARISSA	3 GAL., 12" HT. X 10" SPD.	NO	YES	
437	EG	EVOLVULUS GLOMERATUS	BLUE DAZE	1 GAL. 6-8" HT. FULL	NO	YES	
85	FM	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL. 16-18" HT. X 12" SPD., FULL	NO	YES	
33	GG	GALPHIMIA GRACILIS	THRYSALLIS	3 GAL., 24" HT. X 12" SPD.	NO	YES	
4	GS	GELESEMIUM SEMPERVIRENS	CAROLINA JESSAMINE	3 GAL., TRELISED	YES	NO	
362	JC	JUNIPERUS CONFERTA COMPACTA	DWARF SHORE JUNIPER	1 GAL., 8" HT. X 12" SPD.	YES	YES	
200	LAD	LANTANA DEPRESSA VAR. DEPRESSA	GOLD LANTANA	1 GAL., 12" SPD.	YES	YES	
4	LOJ	LONICERA JAPONICA	JAPANESE HONEYSUCKLE	3 GAL., TRELISED	NO	YES	
100	LSS	LIGUSTRUM SINENSE 'SUNSHINE'	'SUNSHINE' LIGUSTRUM	3 GAL., 30" HT. X 18" SPD.	NO	YES	
30	MSC	MICROSORUM SCOLOPENDRIUM	WART FERN	3 GAL., 16" HT. X 8" SPD.	NO	YES	
506	MUH	MUHLENBERGIA CAPILLARIS	MUHLI GRASS	3 GAL., 18-24" HT. X 12"-14" SPD.	YES	YES	
21	ROY	ROYSTONEA ELATA	FLORIDA ROYAL PALM	8-10' GRAY WOOD, 24' OA	YES	YES	HEAVY TRUNK
2	TH	TABEBUIA HETEROPHYLLA	PINK TRUMPET FLOWER	12-14" HT. X 6' SPD., 2" CAL.	NO	YES	
192	TJV	TRACHELOSPERMUM JAS. VARIEGATED	VARIEGATED CONFEDERATE JASMINE	1 GAL., 10-12" SPD.	NO	YES	
6	WB	WODYETIA BIFURCATA	FOXTAIL PALM	18' OA.	NO	YES	



PLANT MATERIAL SCHEDULE

## GENERAL NOTES

- CONTRACTOR SHALL VISIT THE SITE AND INFORM HIMSELF FULLY AS TO CONDITIONS THEREON AND OF ADJACENT SITES WHICH WILL BE AFFECTED BY THE WORK.
- DO NOT WILLFULLY INSTALL OR CONSTRUCT ITEMS AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, EXISTING TREE CANOPIES, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE DESIGN/ENGINEERING. SUCH OBSERVATIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT/OWNERS REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT REPORTED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- THE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. ALL BRACING, TEMPORARY SUPPORTS, SHORING, ETC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OBSERVATION VISITS TO THE JOB SITE BY THE LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE DOES NOT INCLUDE INSPECTION OF CONSTRUCTION METHODS AND FOR SAFETY CONDITIONS AT THE WORK SITE. THESE VISITS SHALL NOT BE CONSIDERED AS CONTINUOUS AND DETAILED INSPECTIONS.
- CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION AND BE RESPONSIBLE FOR SAME. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- NO CONTRACTOR IDENTIFICATION SIGNS SHALL BE PERMITTED ON THE PROJECT, EXCEPT AS APPROVED BY THE OWNER.
- ALL PERMITS NECESSARY ARE TO BE PROVIDED BY THE INSTALLING CONTRACTOR INCLUDING ALL COSTS. THE CONTRACTOR SHALL NOT KNOWINGLY VIOLATE CONDITIONS OF THE PERMITS. ALL CONFLICTS WITH THE PERMIT CONDITIONS AND THE PLANS, DETAILS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT REPRESENTATIVE. THE CONTRACTOR SHALL FAMILIARIZE AND SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE APPROVED FDEP PERMIT.
- ALL UTILITIES TO REMAIN IN PLACE, EXCEPT AS INDICATED ON THE DRAWINGS. CONTACT "ONE-CALL" AT 811 AT LEAST 48 TO 72 HOURS PRIOR TO EXCAVATION FOR VERIFICATION OF EXISTING UTILITY LOCATIONS PRIOR TO ANY EXCAVATIONS. NOT ALL UTILITIES ARE MEMBERS OF THE "ONE-CALL" SYSTEM; THEREFORE, DIRECT CONTACT WITH THE UTILITY COMPANY MAY BE REQUIRED. CONTRACTOR SHALL CONTACT CITY OF TREASURE ISLAND FOR LOCATION OF UNDERGROUND STORM WATER, SEWER AND WATER UTILITIES AND LATERAL LINES THAT MIGHT BE PRESENT. ALL UTILITIES TO REMAIN IN PLACE, EXCEPT AS INDICATED ON THE PLANS.
- LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS, BUT DO NOT PURPORT TO BE ABSOLUTELY CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING HIS WORK PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAKE ALL EFFORTS TO LIMIT THE "TRACKING" OF SOIL ONTO CITY/COUNTY STREETS FROM HAULING ACTIVITIES. CONTRACTOR SHALL REMOVE ALL SOIL FROM CITY/COUNTY STREETS RESULTING FROM CONSTRUCTION ACTIVITIES.
- CAREFULLY REVIEW THE PLANS AND THE SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ITEMS CONTAINED HEREIN. IF THERE IS A CONFLICT BETWEEN THE PLANS AND THE SPECIFICATIONS, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- IN A CONFLICT BETWEEN THE PLANS AND THE SPECIFICATIONS, THE PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL PROVIDE A SUBMITTAL LOG FOR APPROVAL BY THE PROJECT REPRESENTATIVE. ALL SUBMITTALS ARE TO INCLUDE THE NUMBERING SYSTEM DEVELOPED IN THE SUBMITTAL LOG.
- THE CONTRACTOR SHALL PROVIDE A 24 HOUR EMERGENCY CONTACT PERSON AT THE PRE-CONSTRUCTION MEETING.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT IN WRITING, AND REQUEST A FINAL INSPECTION. ANY ITEMS THAT ARE JUDGED INCOMPLETE OR UNACCEPTABLE BY THE OWNER OR THE LANDSCAPE ARCHITECT SHALL BE PROMPTLY CORRECTED BY THE CONTRACTOR.
- SIDEWALK / PAVING LAYOUT SHALL BE FIELD-STAKED USING G.P.S. BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FORM WORK AND INSTALLATION. THE CONTRACTOR MUST NOTIFY THE L.A. AT LEAST FORTY EIGHT HOURS IN ADVANCE OF THE REQUIRED REVIEW. ALL OF THE PROPOSED LOCATIONS SHALL BE MARKED FOR A SPECIFIC PHASE OF WORK PRIOR TO CALLING FOR A REVIEW. COORDINATES THAT DO NOT RESULT IN THE GEOMETRY SHOWN ON THE PLANS SHALL BE CHECKED BY THE CONTRACTOR'S SURVEY CREW. CORRECTIONS OF TRAIL SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT. LAYOUT MUST COMPLY WITH FDEP PERMIT
- ALL CONCRETE WALKS SHALL NOT EXCEED A SLOPE OF 1:20, AND CROSS SLOPES ON ALL CONCRETE SIDEWALKS SHALL NOT EXCEED 2%. IF THE SIDEWALK DOES EXCEED THIS SLOPE, ADA COMPLIANT HANDICAP RAMPS WILL BE REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING AND THE COST OF ALL REQUIRED CONCRETE TESTING. TESTING SHALL INCLUDE BUT NOT BE LIMITED TO MATERIALS FOR PAVING SUB-BASE, ASPHALT PAVING, STRUCTURAL AND PAVING CONCRETE.
- CONTRACTOR TO MAINTAIN EXISTING BENCH MARKS, MONUMENTS, AND OTHER REFERENCE POINTS WITHIN AND ADJACENT TO THE PROJECT LIMITS. CONTRACTOR TO CONTACT ALL RESPONSIBLE PARTIES IF RELOCATION IS REQUIRED OF BENCHMARKS AND OTHER REFERENCE POINTS.
- CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY'S ARCHEOLOGICAL EXPERT IF DURING THE EXCAVATION PROCESS ARTICLES OF SIGNIFICANCE ARE UNCOVERED.
- ANY CHANGES MADE IN THE FILED BY THE CONTRACTOR OR OWNER REGARDING THE HARDSCAPE PLACEMENT SHALL BE FULLY RECORDED WITH AS-BUILTS AND PROVIDED TO THE OWNER AND L.A.
- DESIGN, MATERIALS, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED BELOW OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE, PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE OWNER, OWNER'S REPRESENTATIVE AND THE APPLICABLE GOVERNING CODE AUTHORITY.
- DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

• IRRIGATION SYSTEM TO BE DESIGNED TO ELIMINATE WATERING OF IMPERVIOUS SURFACES

## LANDSCAPE MATERIAL QUANTITIES

SHREDDED HARDWOOD MULCH, COLOR COCOA BROWN	335 C. Y.
MEXICAN BEACH STONE	2.5 C. Y.
SOD 1 ST. AUGUSTINE FLORATAM (SOD)	18,000 S.F.
SOD 2 BAHIA (SOD)	31,000 S.F.

\*QUANTITIES ARE PROVIDED AS A COURTESY, CONTRACTOR TO VERIFY ALL QUANTITIES. TREES NOT INCLUDED IN PLANT BEDS TO HAVE A MIN. 4' DIA. MULCH RING

## BUFFER PERIMETER CALCULATIONS

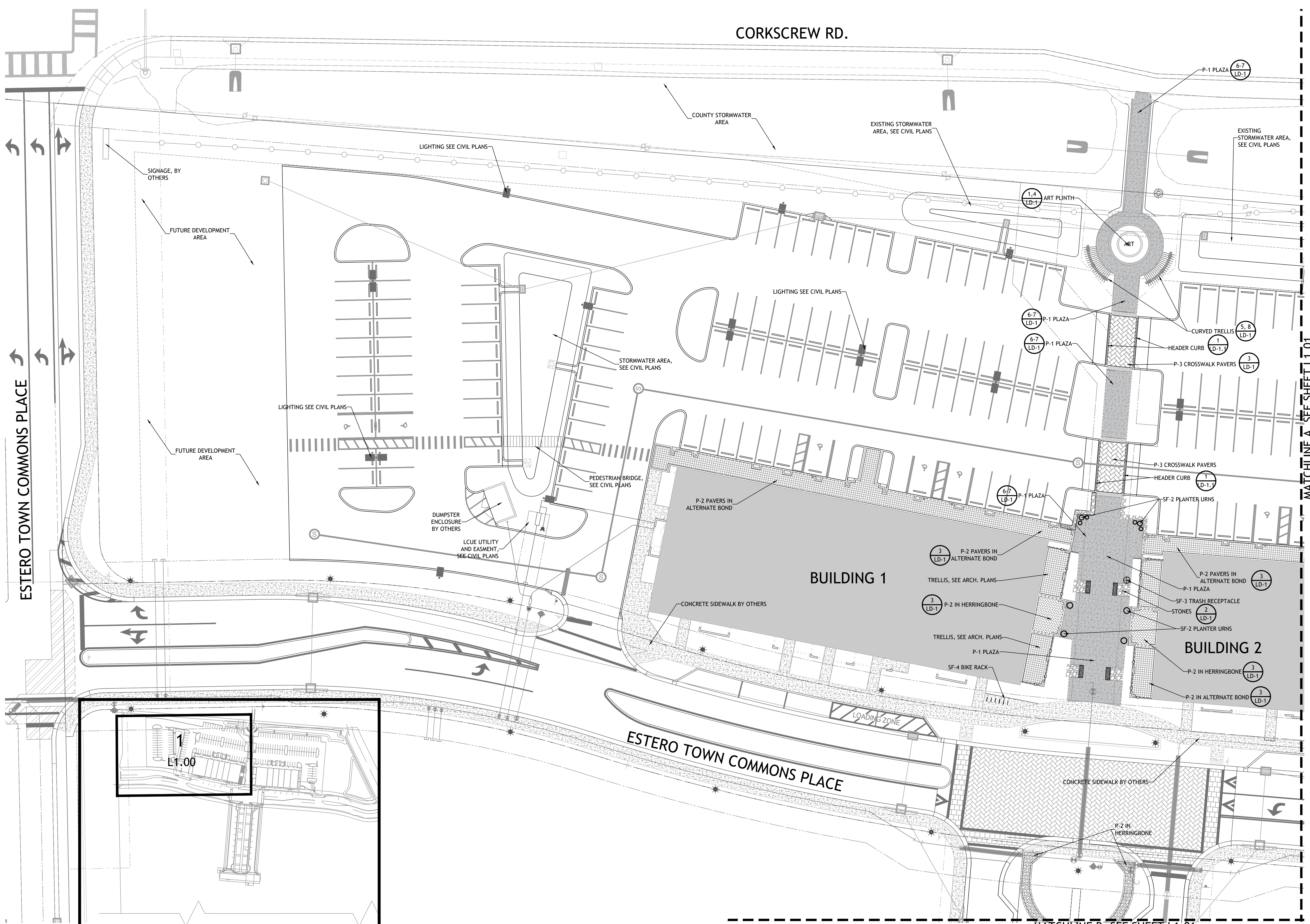
**NORTH BUFFER - TYPE 'D' BUFFER (ENHANCED) \*  
 REFERENCES ESTERO COMMONS PATTERN BOOK\*  
 5 TREE/100 LF O.C.  
 DOUBLE-STAGGERED HEDGEROW  
 24" HT. INSTALLED, 36" HT. MAINTAINED  
 36" HT. INSTALLED, 48" HT. MAINTAINED  
 TOTAL LF - 837 LF  
 TREES REQUIRED - 42  
 TREES PROVIDED - 54  
 SHRUBS REQUIRED - 422  
 SHRUBS PROVIDED - 422**

**EAST BUFFER - TYPE 'D' BUFFER  
 1 TREE/30 LF O.C.  
 DOUBLE-STAGGERED HEDGEROW  
 24" HT. INSTALLED, 36" HT. MAINTAINED  
 TOTAL LF - 837 LF  
 TREES REQUIRED - 11  
 TREES PROVIDED - 15  
 SHRUBS REQUIRED - 146  
 SHRUBS PROVIDED - 146**

**SOUTH BUFFER - ENHANCED STREETScape PLAN  
 SEE FRONTAGE ROAD PLANS  
 \*SOUTH BUFFER PLANTING SERVES AS BOTH  
 STREETScape BUFFER AND SOUTHERN BUILDING  
 FOUNDATION PLANTING. PER CODE : 33-1581.3  
 TYPE D BUFFER WIDTH NO LESS THAN 10' WIDE**

**WEST BUFFER -**





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FT MYERS | FLORIDA  
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239-288-2537

ARCHITECT  
GMA ARCHITECTURE  
43 BARKLEY CIR #202  
FT MYERS | FLORIDA, 33907  
239-275-0225

**OWNER**

STOCK DEVELOPMENT  
2639 PROFESSIONAL CIRCLE, SUITE 102  
NAPLES | FLORIDA  
239-592-7394

**ESTERO CROSSING  
COMMERCIAL & RESIDENTIAL  
ENTRANCE**

SIGNATURE & SEAL

FL Registration: LC26000471

**DO PLANS**

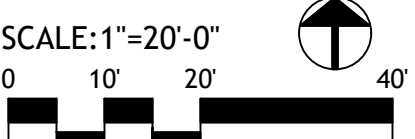
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1	DO PLANS		07-10-20
2	DO PLANS		09-28-20
3	DO PLANS		11-06-20
4	DO PLANS		01-14-21

**REVISIONS**

NO.	COMMENTS	DATE

**SHEET INFORMATION**

JOB NUMBER 20040  
DRAWN BY HB/GS  
CHECKED BY HB

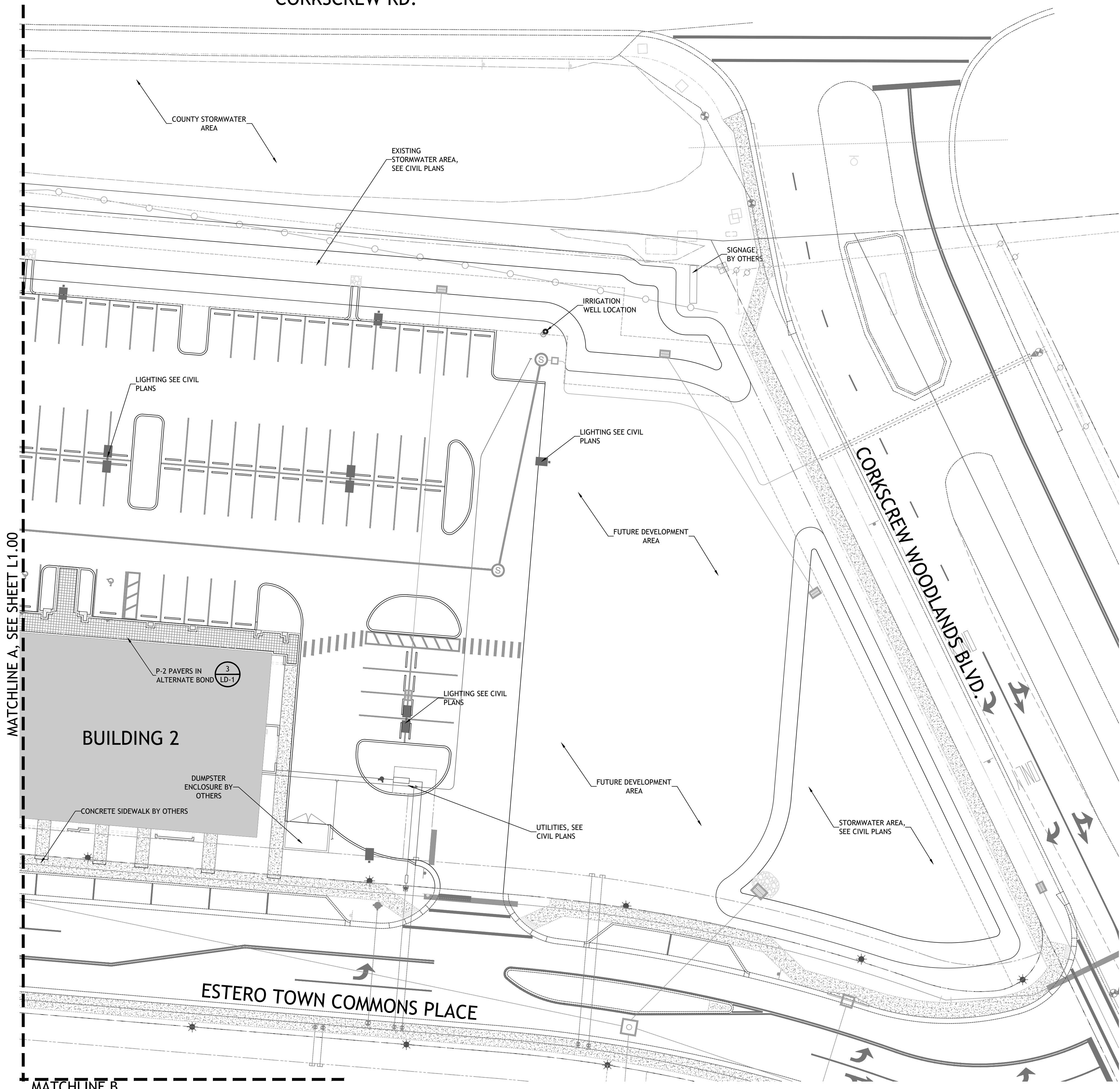


**LANDSCAPE  
SITE DEVELOPMENT  
PLAN**

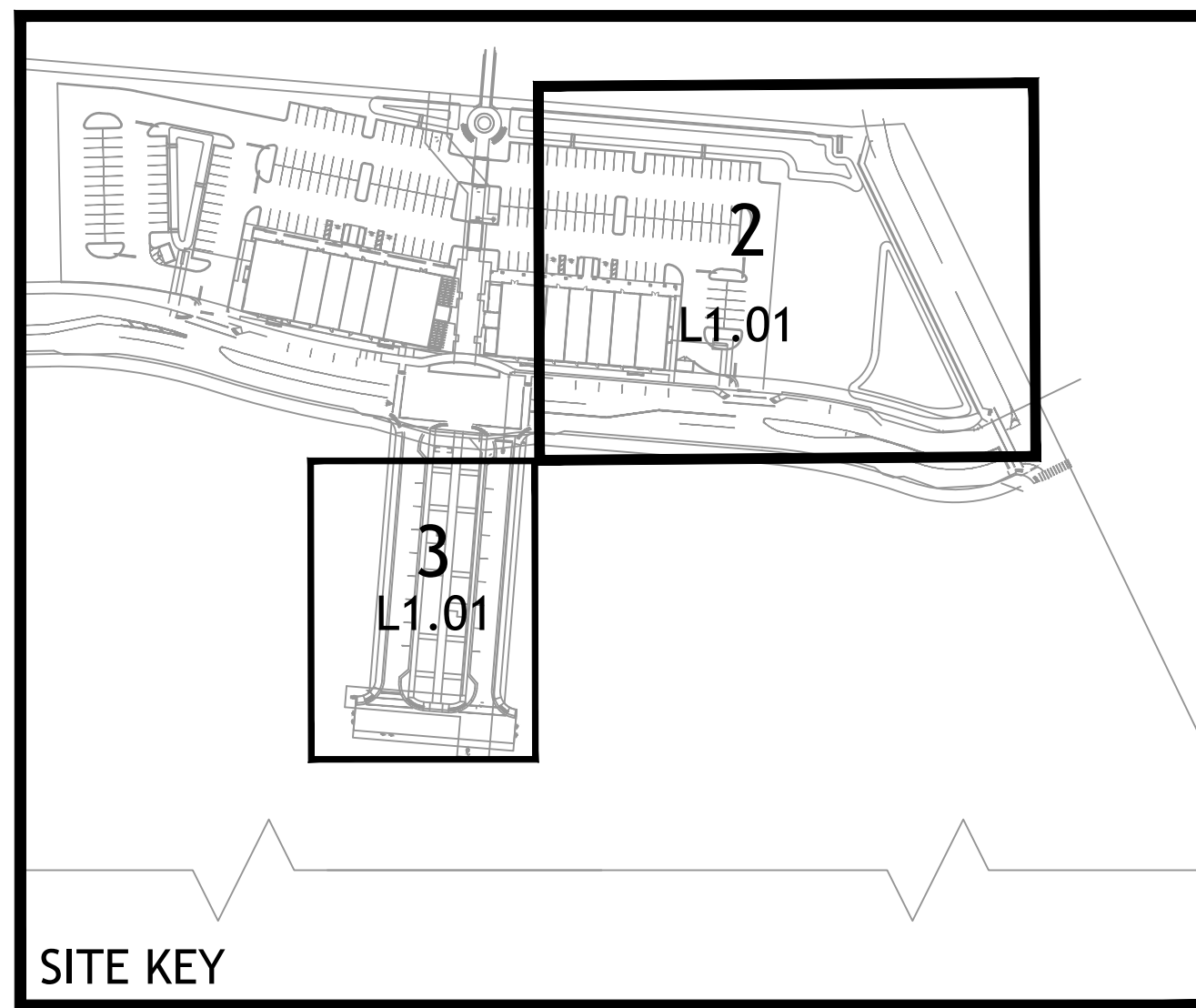
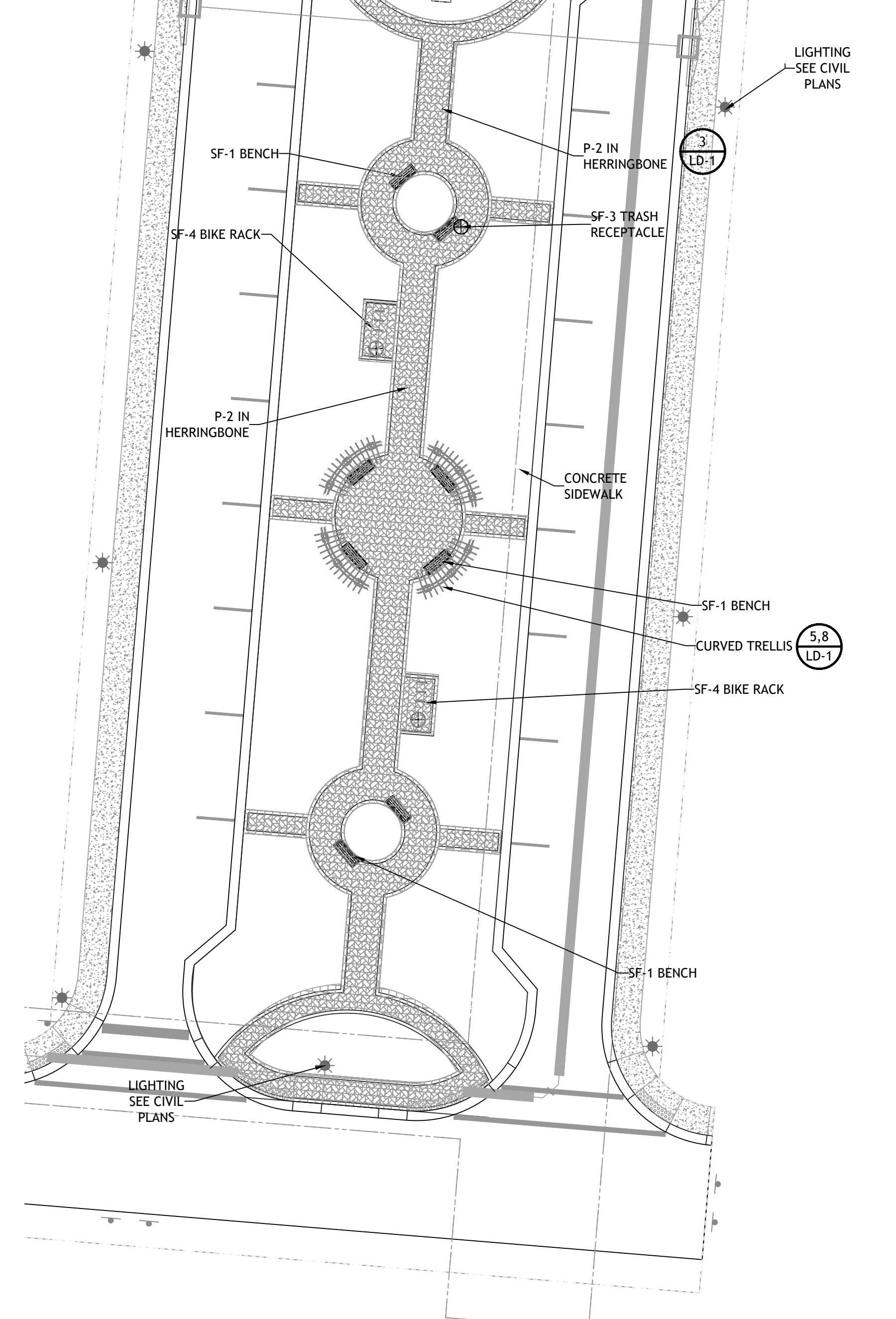
**L1.00**



CORKSCREW RD.



MATCHLINE B, SEE SHEET L1.00



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239-275-0225

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**ESTERO CROSSING  
COMMERCIAL & RESIDENTIAL  
ENTRANCE**

CORKSCREW ROAD  
ESTERO | FLORIDA

SIGNATURE & SEAL

FL Registration: LC26000471

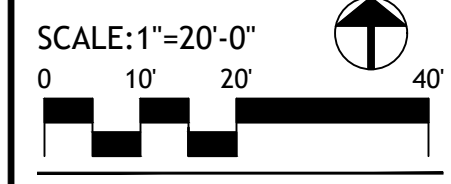
**DO PLANS**

ISSUE DATE	DATE
1 DO PLANS	07-10-20
2 DO PLANS	09-28-20
3 DO PLANS	11-06-20
4 DO PLANS	01-14-21

**REVISIONS**

NO.	COMMENTS	DATE

**SHEET INFORMATION**  
JOB NUMBER 20040  
DRAWN BY HB/GS  
CHECKED BY HB



**LANDSCAPE  
SITE DEVELOPMENT  
PLAN**

**L1.01**

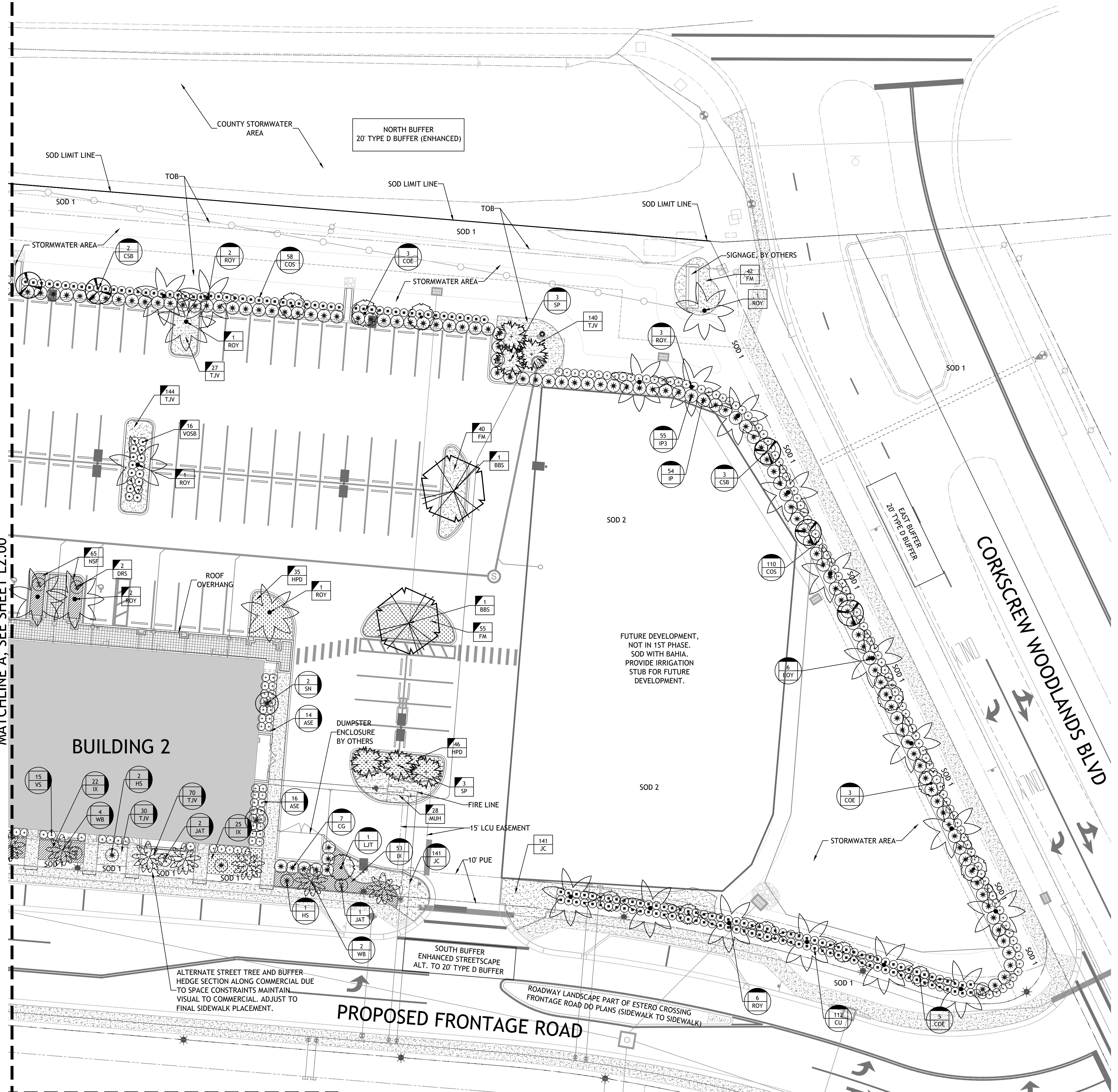
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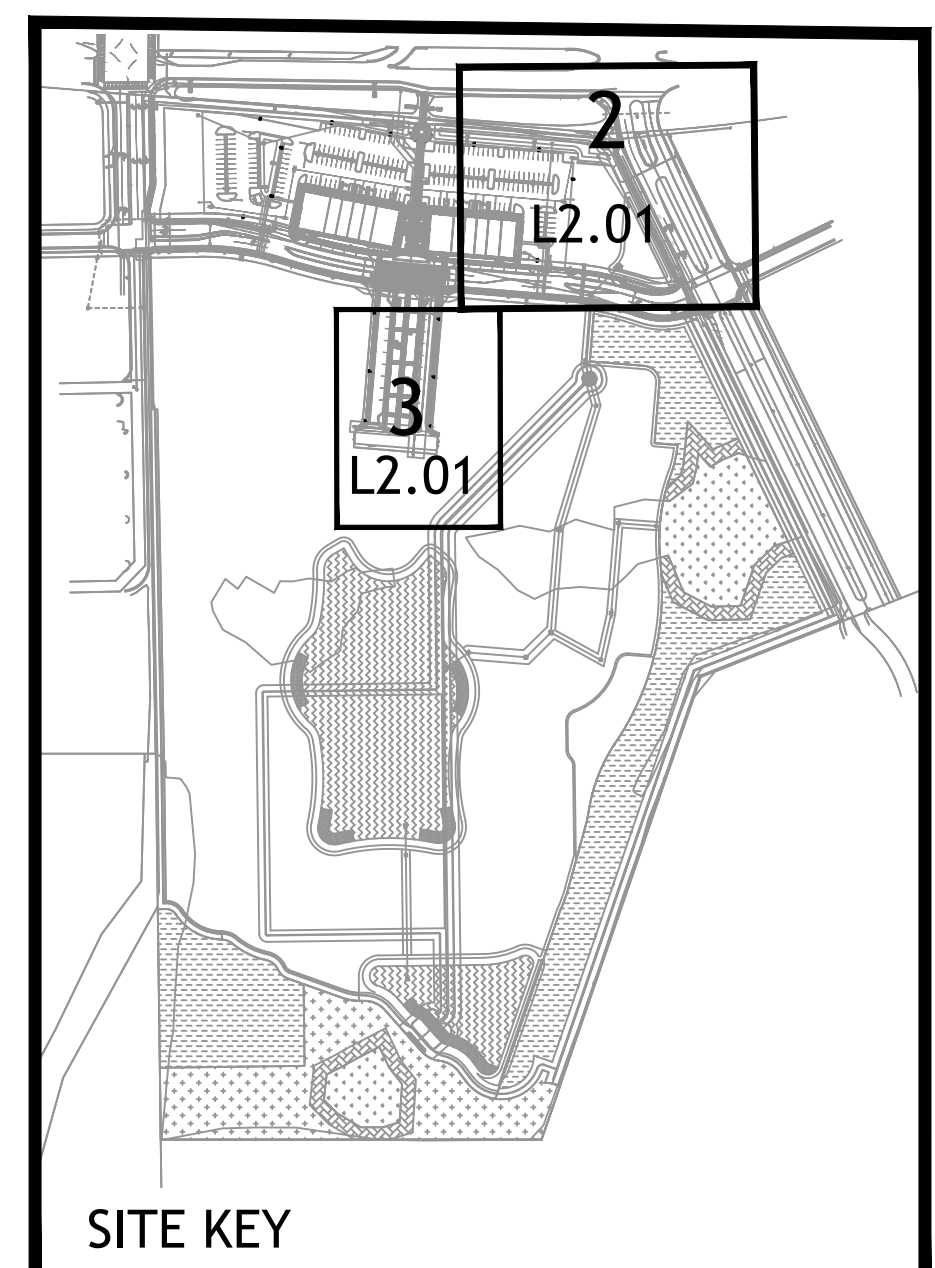
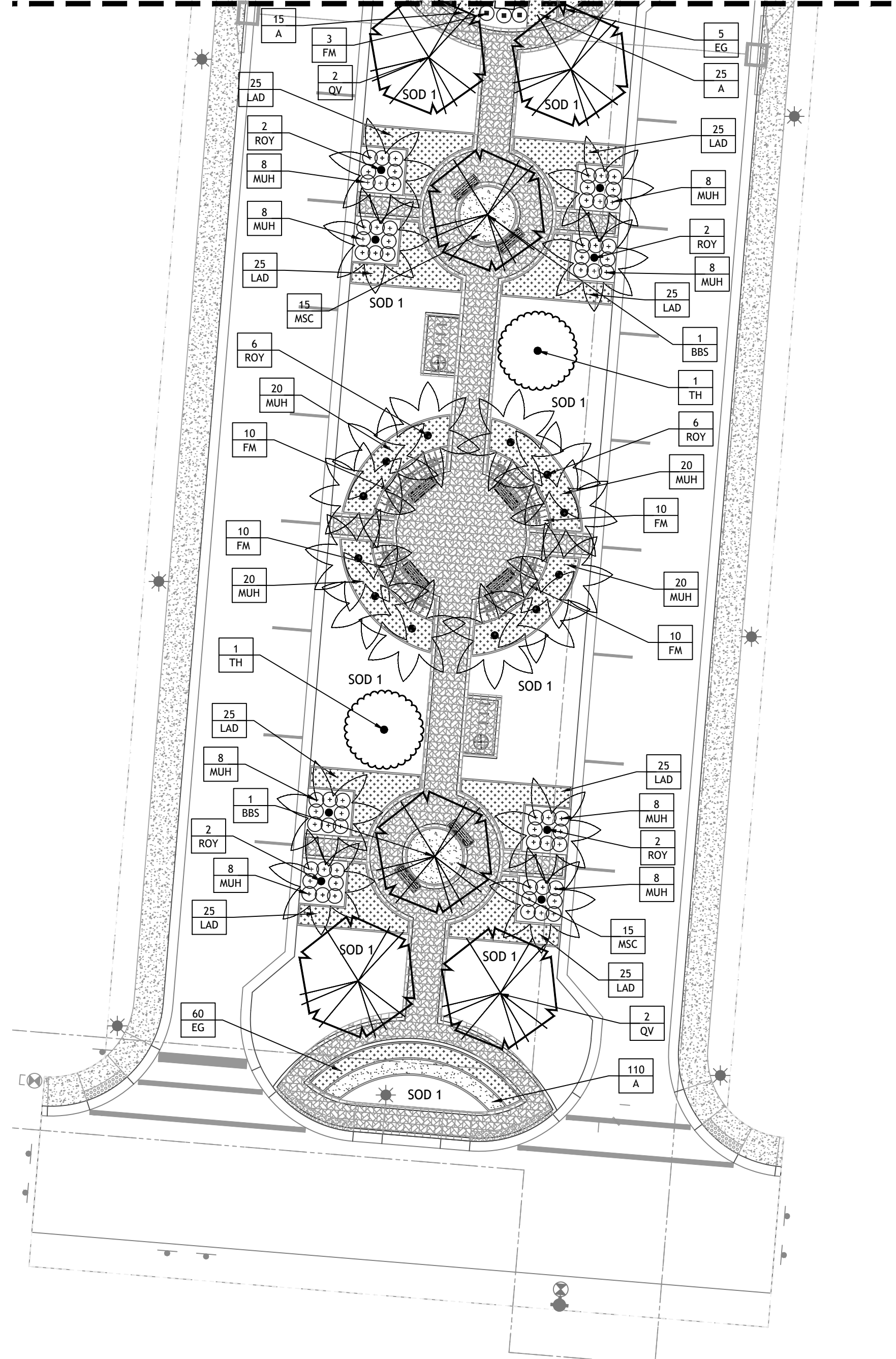
CORKSCREW ROAD



MATCHLINE A, SEE SHEET L2.00

MATCHLINE B, SEE SHEET L2.01

MATCHLINE B, SEE SHEET L2.01



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**ESTERO CROSSING  
COMMERCIAL & RESIDENTIAL  
ENTRANCE**  
CORKSCREW ROAD  
ESTERO | FLORIDA

SIGNATURE & SEAL

FL Registration: LC26000471

**DO PLANS**

ISSUE DATE	NO.	COMMENTS	DATE
	1	DO PLANS	07-10-20
	2	DO PLANS	09-28-20
	3	DO PLANS	11-06-20
	4	DO PLANS	01-14-21

**REVISIONS**

NO.	COMMENTS	DATE

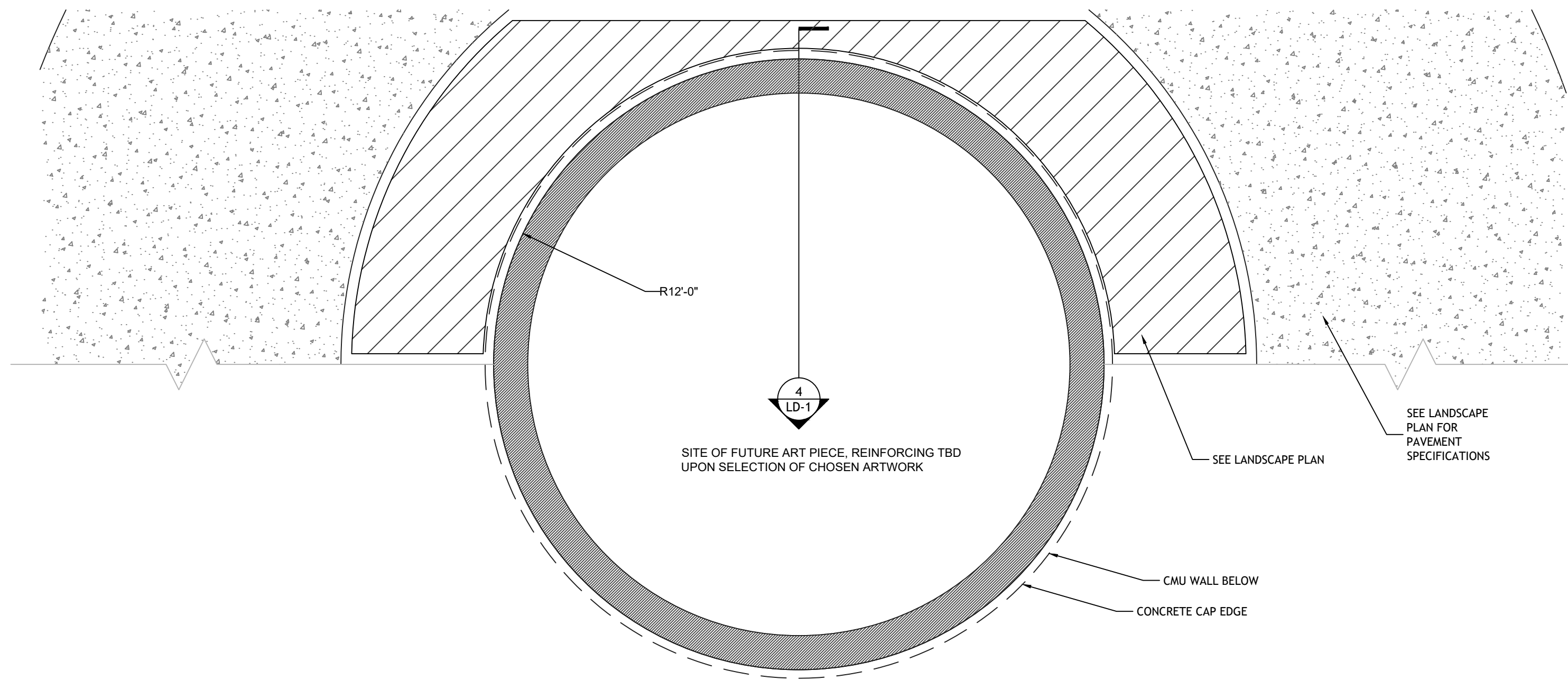
**SHEET INFORMATION**  
JOB NUMBER 20040  
DRAWN BY HB/GS  
CHECKED BY HB

SCALE: 1"=20'-0"  
0 10' 20' 40'

**LANDSCAPE  
DEVELOPMENT  
PLAN**

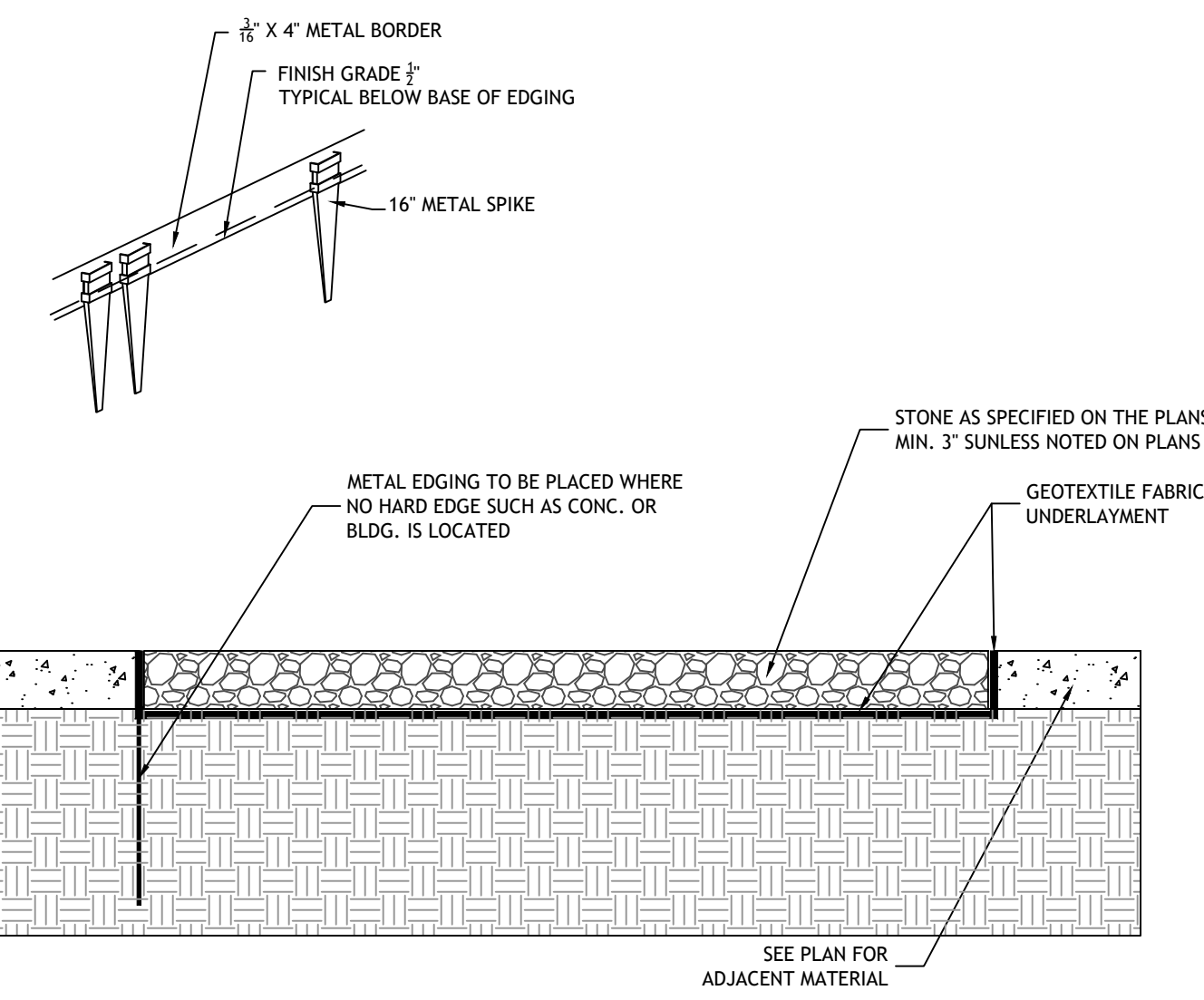
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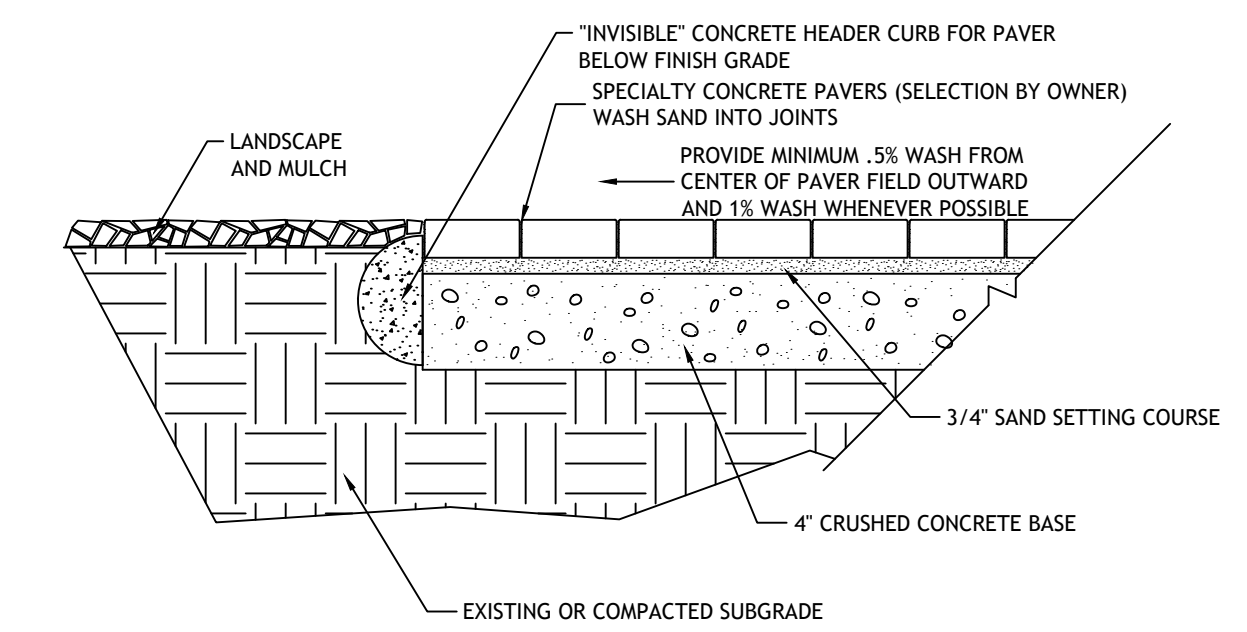
**1**  
LD-1  
**ART PLINTH- PLAN VIEW**  
SCALE 1/2"=1'-0"

- NOTES:  
 1. ALUMINUM EDGING SHALL BE USED INSTEAD OF STEEL EDGING.  
 2. COLOR SHALL BE (SILVER) ALUMINUM.  
 3. CONTRACTOR SHALL PROVIDE SAMPLE FOR APPROVAL.

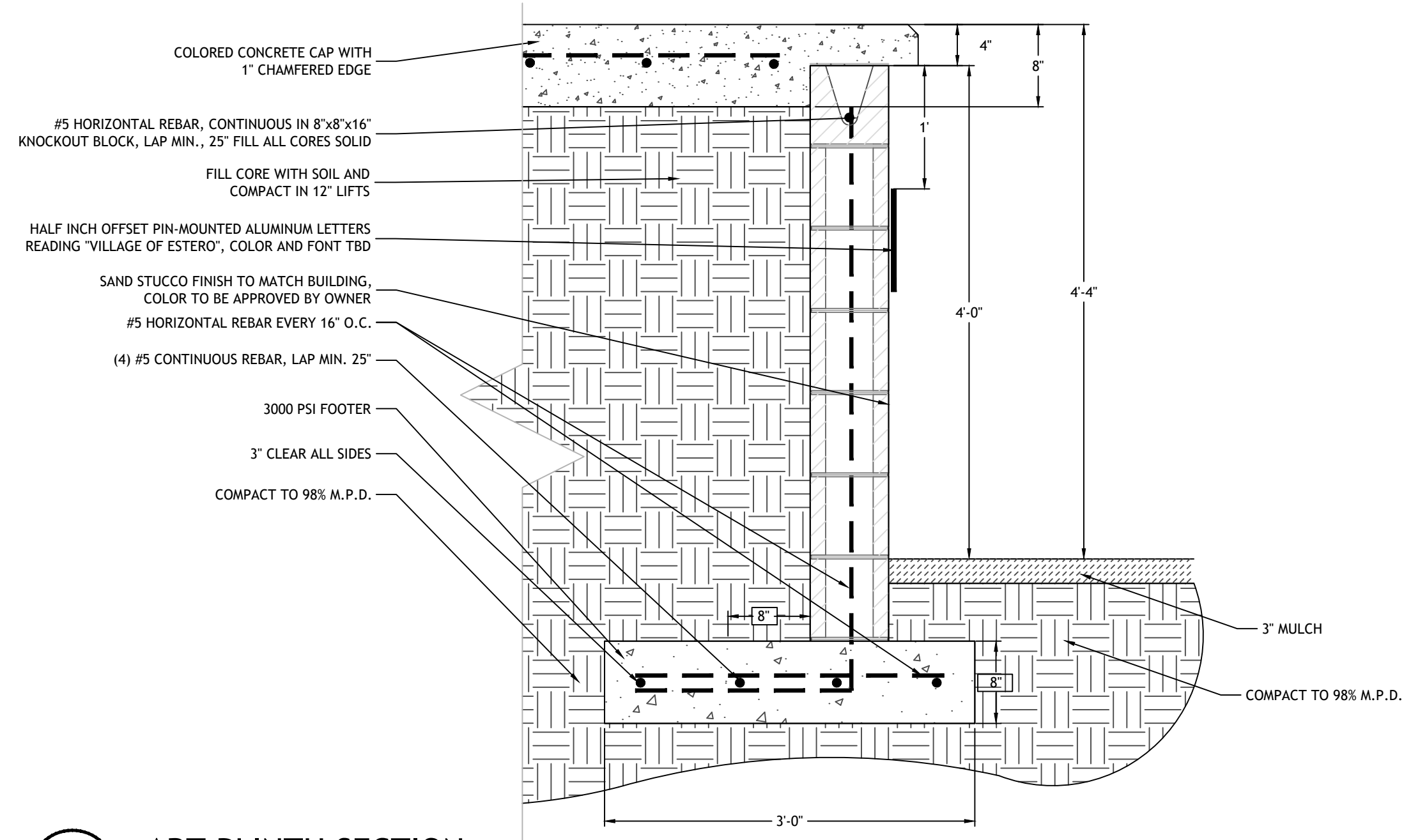


**2**  
LD-1  
**ROCK W/ UNDERLAYMENT**

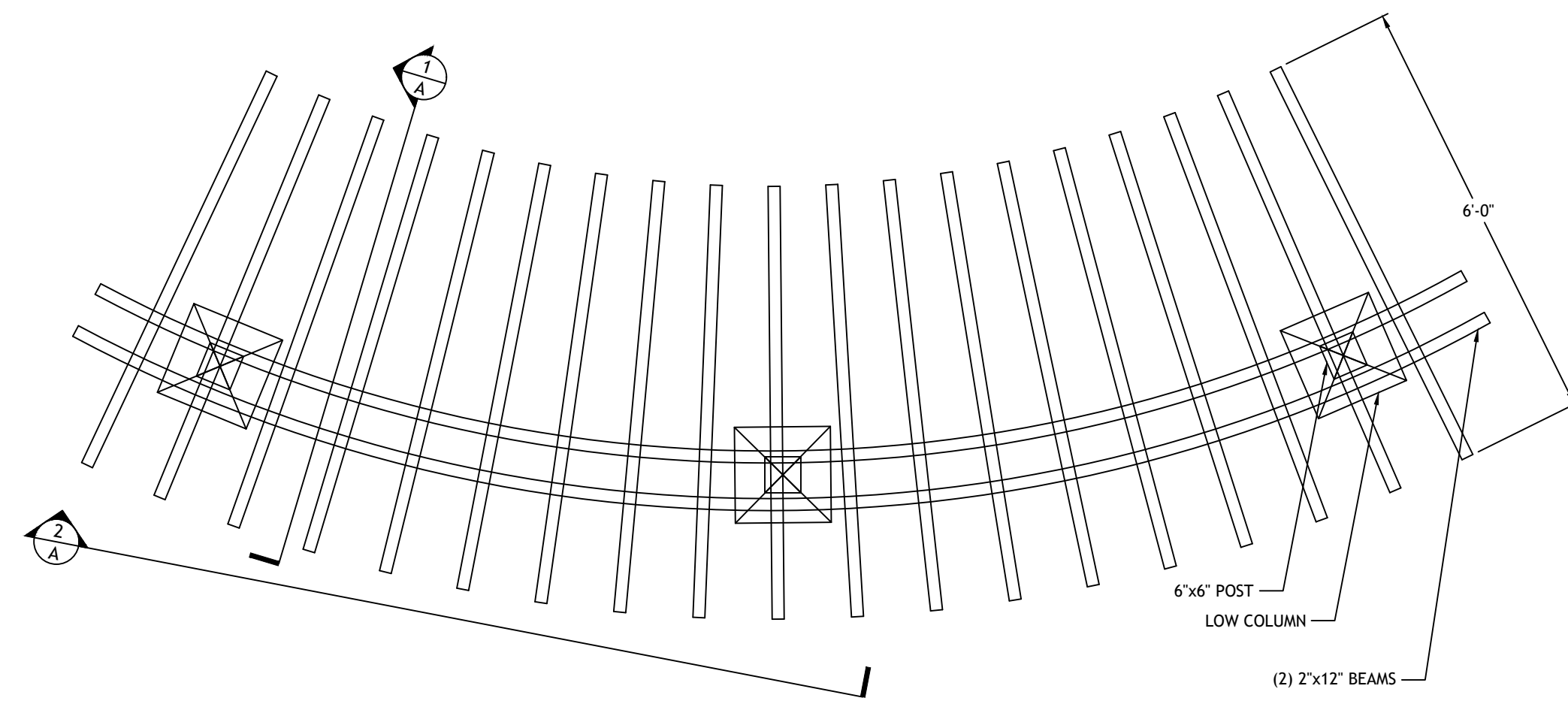
- NOTES:  
 -SEE PAVEMENT LEGEND FOR PAVEMENT SPECIFICATIONS AND PATTERNS  
 -BEDDING SAND TO BE CONCRETE SAND, ALL BEDDING SAND TO CONFORM TO ASTM C33 OR CSA A23.1  
 -NO MASONRY SAND, LIMESTONE SCREENINGS, CRUSHED SHELL OR STONE DUST WILL BE ACCEPTED AS AN ALTERNATE SAND SETTING MATERIAL.  
 -ALL SAND FOR JOINTS SHALL CONFORM TO ASTM C144. BEDDING SAND CAN BE USED FOR JOINTS UNLESS OTHERWISE SPECIFIED.



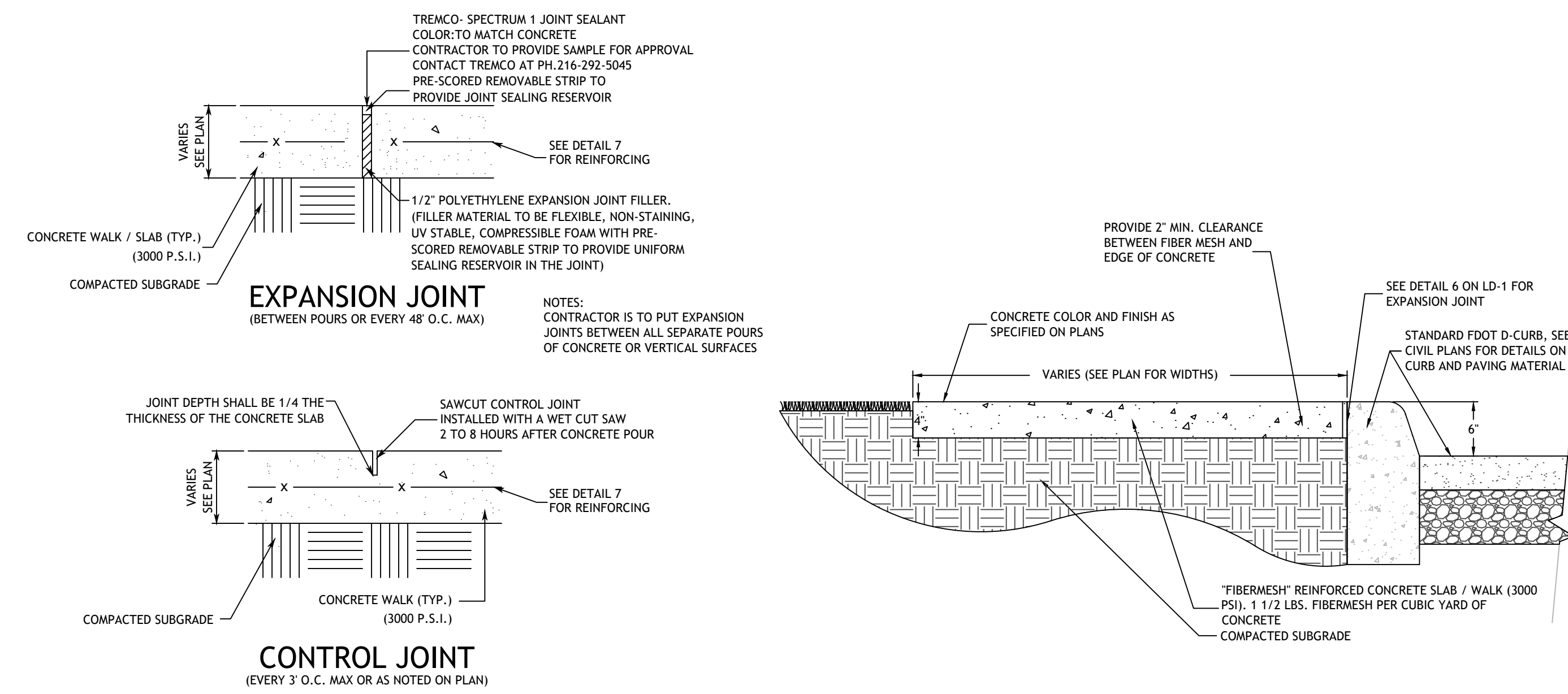
**3**  
LD-1  
**CONC. PAVER SECTION W/ CRUSHED CONC. BASE**  
SCALE: N.T.S.



**4**  
LD-1  
**ART PLINTH SECTION**  
SCALE 1"=1'-0"

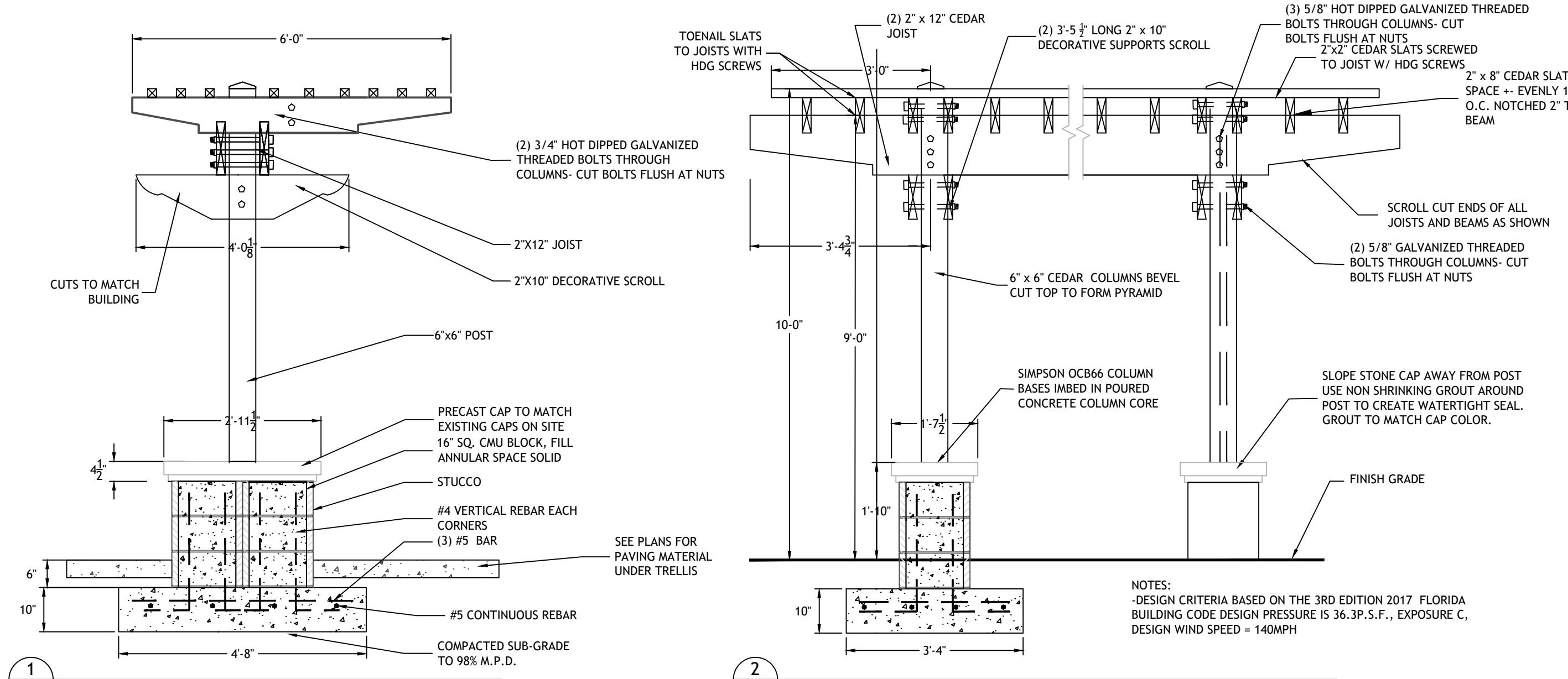


**5**  
LD-1  
**TRELLIS (PLAN VIEW)**  
SCALE 1/2"=1'-0"



**6**  
LD-1  
**CONCRETE JOINT DETAILS**  
N.T.S.

**7**  
LD-1  
**4" CONC. WALK**  
SCALE 1"=1'-0"



**8**  
LD-1  
**TRELLIS**  
SCALE 1/2"=1'-0"



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 239-288-2537  
 ARCHITECT  
**GMA ARCHITECTURE**  
 43 BARKLEY CIR #202  
 FT MYERS | FLORIDA, 33907  
 239-275-0225

**OWNER**  
**STOCK DEVELOPMENT**  
 2639 PROFESSIONAL CIRCLE, SUITE 102  
 NAPLES | FLORIDA  
 239-592-7394

**ESTERO CROSSING  
 COMMERCIAL & RESIDENTIAL  
 ENTRANCE**  
 CORKSCREW ROAD  
 ESTERO | FLORIDA

SIGNATURE & SEAL

FL Registration: LC26000471

**DO PLANS**

ISSUE DATE	NO.	COMMENTS	DATE
	1	DO PLANS	07-10-20
	2	DO PLANS	09-28-20
	3	DO PLANS	11-08-20
	4	DO PLANS	01-14-21

**REVISIONS**

NO.	COMMENTS	DATE

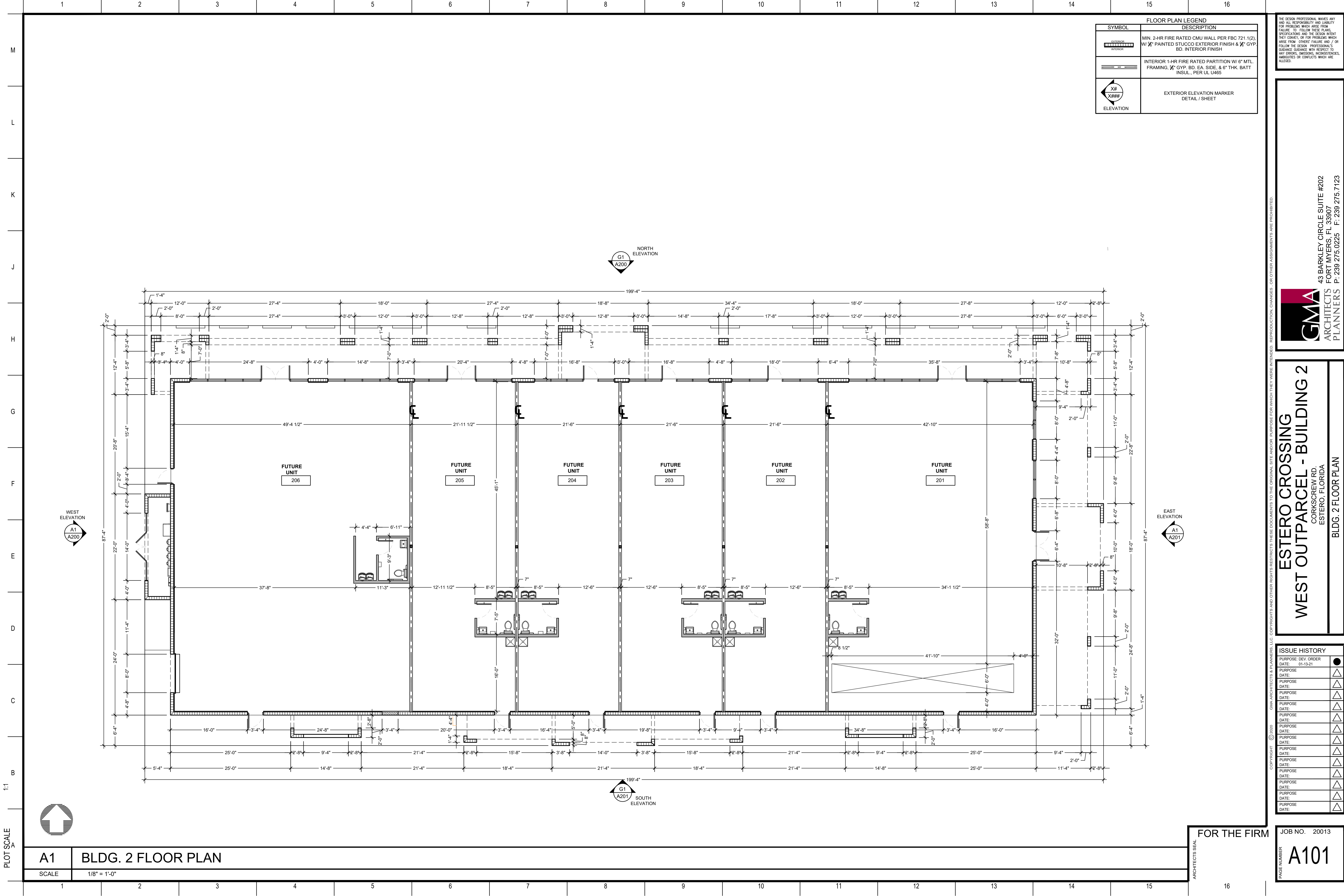
**SHEET INFORMATION**  
 JOB NUMBER: 20040  
 DRAWN BY: HB/GS  
 CHECKED BY: HB

SCALE: NO SCALE



**HARDSCAPE  
 DETAILS**

**LD-1**



FLOOR PLAN LEGEND	
SYMBOL	DESCRIPTION
	MIN. 2-HR FIRE RATED CMU WALL PER FBC 721.1(2), W/ 1/2" PAINTED STUCCO EXTERIOR FINISH & 1/2" GYP. BD. INTERIOR FINISH
	INTERIOR 1-HR FIRE RATED PARTITION W/ 6" MTL. FRAMING, 1/2" GYP. BD. EA. SIDE, & 6" THK. BATT INSUL., PER UL U465
	EXTERIOR ELEVATION MARKER DETAIL / SHEET

THE DESIGN PROFESSIONAL WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT. THE DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE AND / OR FOLLOW THE DESIGN PROFESSIONAL'S ADVICE, GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

**GMA**  
 ARCHITECTS & PLANNERS  
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**ESTERO CROSSING**  
**WEST OUTPARCEL - BUILDING 2**  
 CORKSCREW RD.  
 ESTERO, FLORIDA  
 BLDG. 2 FLOOR PLAN

ISSUE HISTORY	
PURPOSE: DEV. ORDER	●
DATE: 01-15-21	
PURPOSE:	▲
DATE:	
PURPOSE:	▲
DATE:	
PURPOSE:	▲
DATE:	
PURPOSE:	▲
DATE:	
PURPOSE:	▲
DATE:	
PURPOSE:	▲
DATE:	
PURPOSE:	▲
DATE:	
PURPOSE:	▲
DATE:	

**A1** BLDG. 2 FLOOR PLAN  
 SCALE 1/8" = 1'-0"

FOR THE FIRM

JOB NO. 20013  
 PAGE NUMBER **A101**

PLOT SCALE 1:1

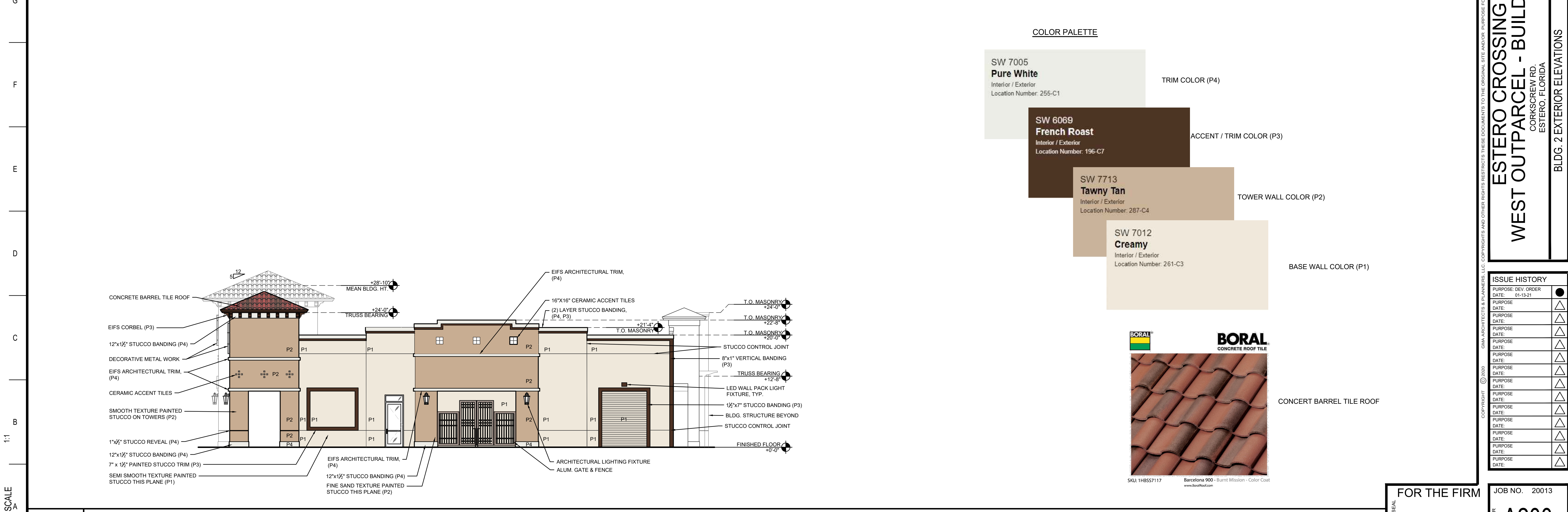
ARCHITECTS SEAL





**G1 BLDG. 2 NORTH EXTERIOR ELEVATION - FRONT**

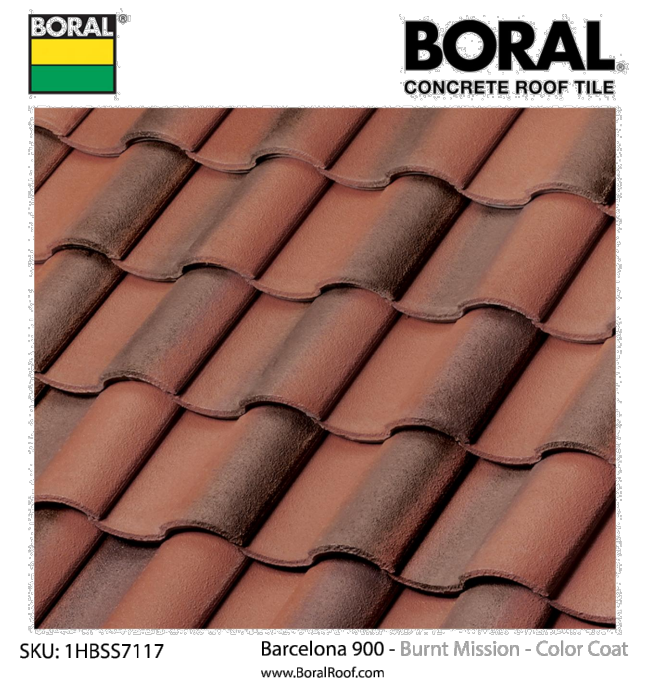
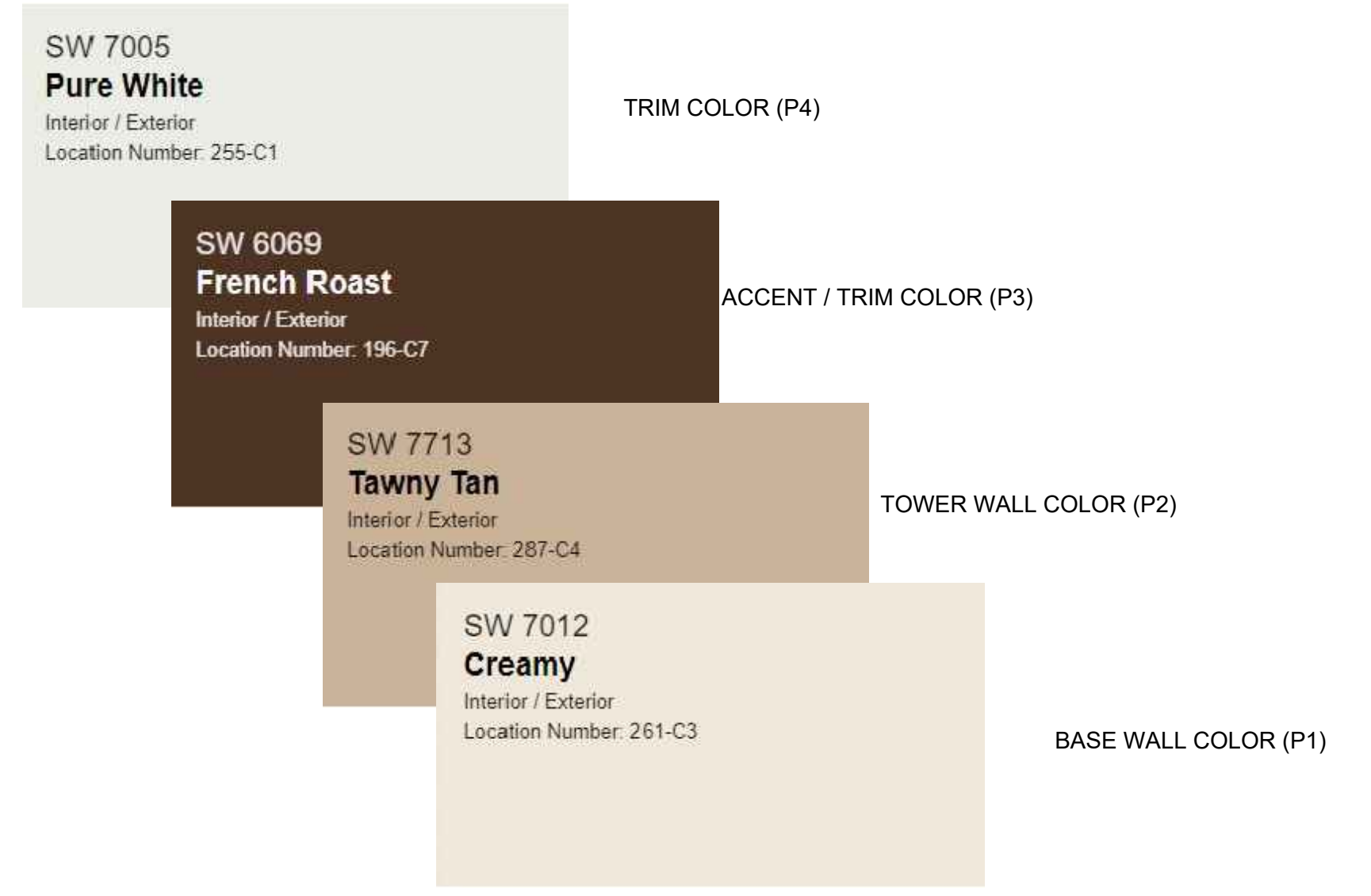
SCALE 1/8" = 1'-0"



**A1 BLDG. 2 WEST EXTERIOR ELEVATION - RIGHT**

SCALE 1/8" = 1'-0"

**COLOR PALETTE**



CONCRETE BARREL TILE ROOF

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 FORT MYERS, FL 33907  
 P: 239 275.0225 F: 239 275.1723

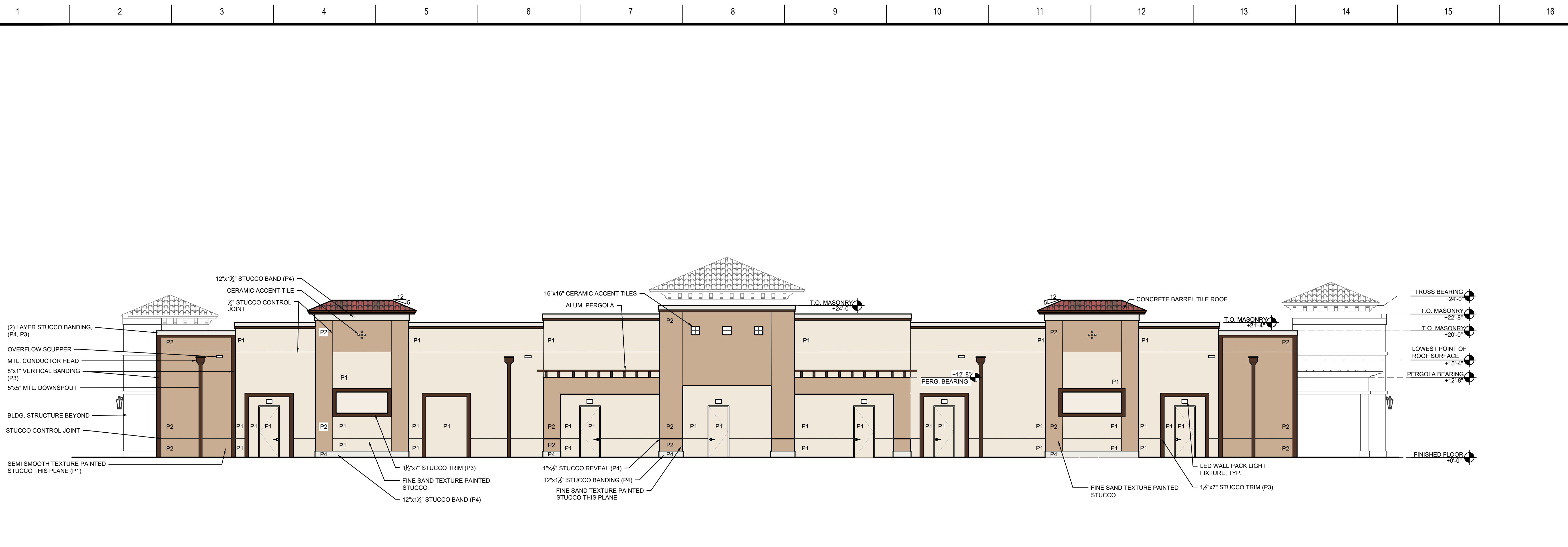
**ESTERO CROSSING**  
**WEST OUTPARCEL - BUILDING 2**  
 CORKSCREW RD.  
 ESTERO, FLORIDA  
 BLDG. 2 EXTERIOR ELEVATIONS

ISSUE HISTORY	
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DATE: 01-15-21	
PURPOSE:	△
DATE:	△
PURPOSE:	△
DATE:	△
PURPOSE:	△
DATE:	△
PURPOSE:	△
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PURPOSE:	△
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PURPOSE:	△
DATE:	△

FOR THE FIRM

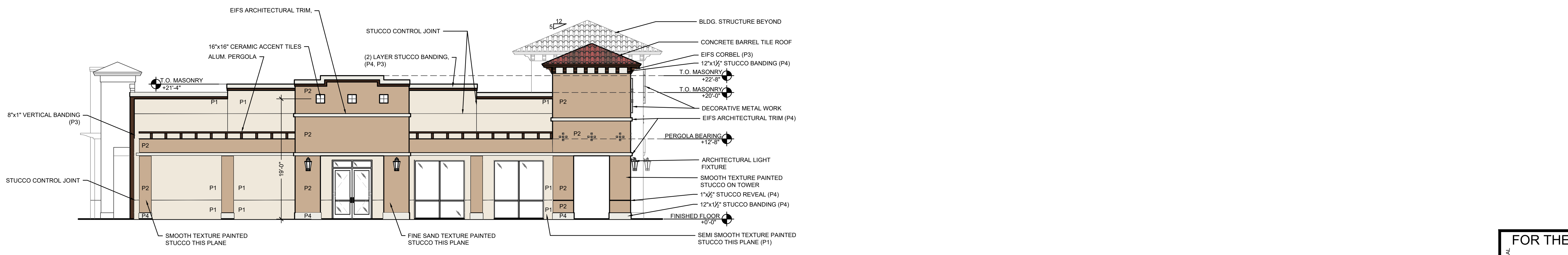
JOB NO. 20013  
 PAGE NUMBER **A200**





**G1 BLDG. 2 SOUTH EXTERIOR ELEVATION - REAR**

SCALE 1/8" = 1'-0"



**A1 BLDG. 2 EAST EXTERIOR ELEVATION - LEFT**

SCALE 1/8" = 1'-0"

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 ARCHITECTS  
 FORT MYERS, FL 33907  
 PLANNERS P: 239 2715.0225 F: 239 2715.7123

**ESTERO CROSSING**  
**WEST OUTPARCEL - BUILDING 2**  
 CORKSCREW RD.  
 ESTERO, FLORIDA  
 BLDG. 2 EXTERIOR ELEVATIONS

ISSUE HISTORY	
PURPOSE: DEV. ORDER	●
DATE: 01-13-21	
PURPOSE:	△
DATE:	
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PURPOSE:	△
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DATE:	

FOR THE FIRM

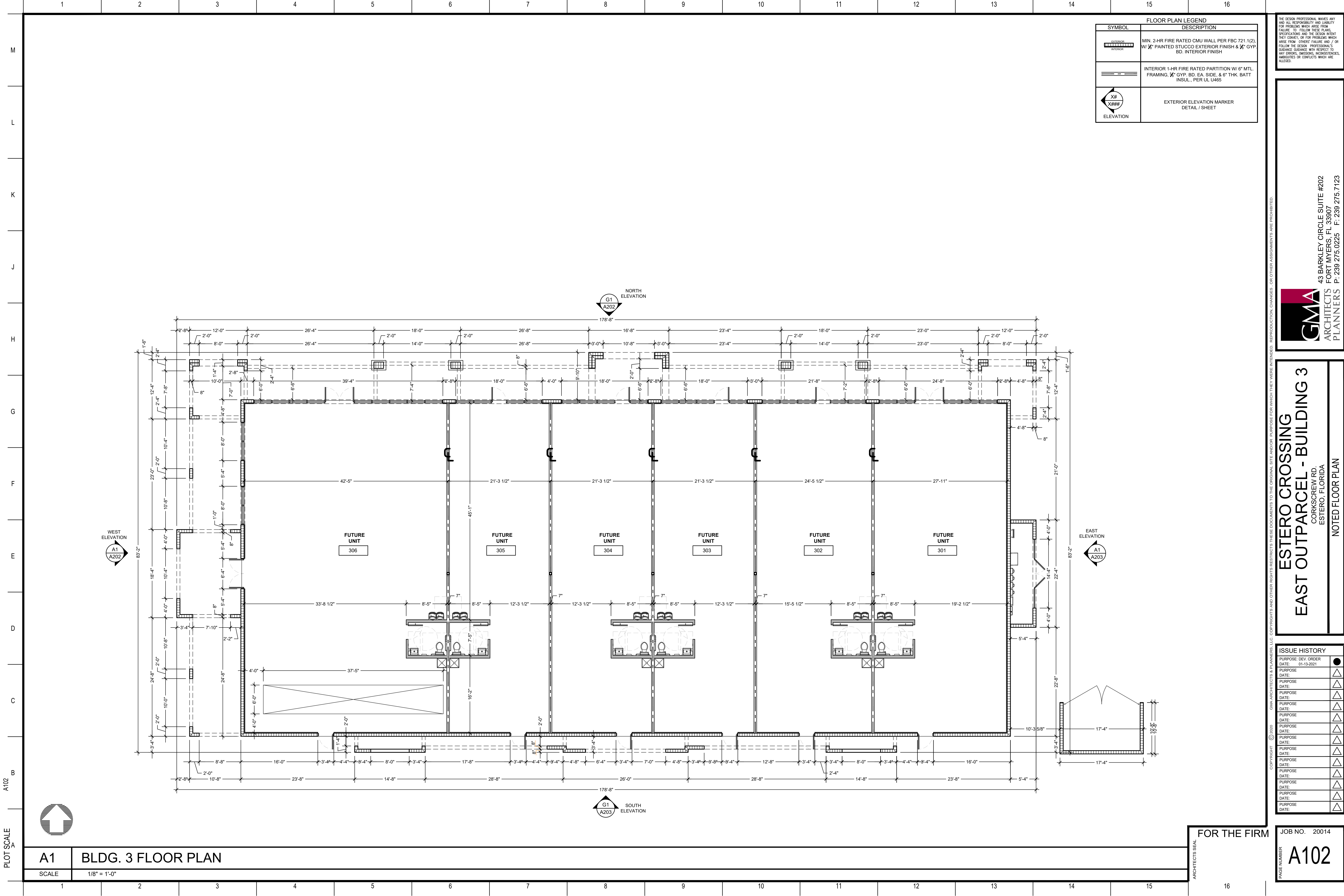
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PAGE NUMBER  
**A201**

M  
L  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A  
PLOT SCALE 1:1

M  
L  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A





FLOOR PLAN LEGEND	
SYMBOL	DESCRIPTION
	MIN. 2-HR FIRE RATED CMU WALL PER FBC 721.1(2), W/ PAINTED STUCCO EXTERIOR FINISH & 1/2" GYP. BD. INTERIOR FINISH
	INTERIOR 1-HR FIRE RATED PARTITION W/ 6" MTL. FRAMING, 1/2" GYP. BD. EA. SIDE, & 6" THK. BATT INSUL., PER UL U465
	EXTERIOR ELEVATION MARKER DETAIL / SHEET

THE DESIGN PROFESSIONAL WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT. THE DESIGN PROFESSIONAL'S LIABILITY IS LIMITED TO THE DESIGN INTENT ONLY. THE DESIGN PROFESSIONAL'S LIABILITY DOES NOT EXTEND TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

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**ESTERO CROSSING  
 EAST OUTPARCEL - BUILDING 3**  
 CORKSCREW RD.  
 ESTERO, FLORIDA  
 NOTED FLOOR PLAN

ISSUE HISTORY	
PURPOSE: DEV. ORDER	●
DATE: 01-15-2021	
PURPOSE:	▲
DATE:	
PURPOSE:	▲
DATE:	
PURPOSE:	▲
DATE:	
PURPOSE:	▲
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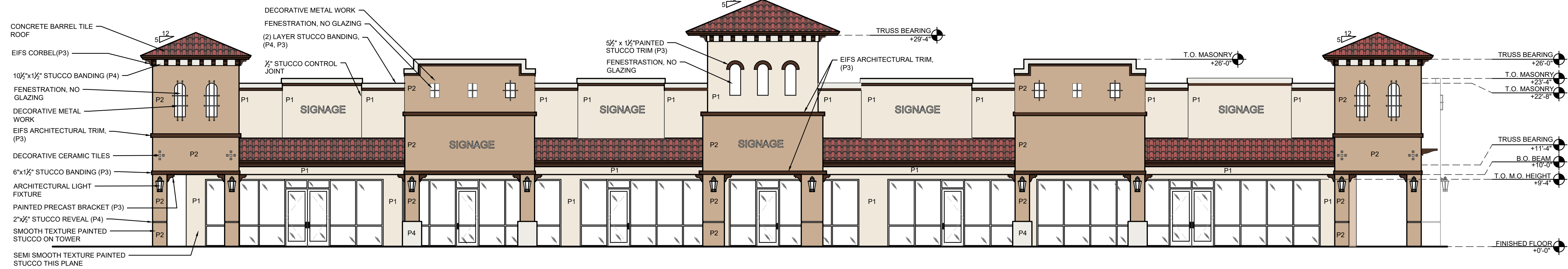
**A1** BLDG. 3 FLOOR PLAN  
 SCALE 1/8" = 1'-0"

FOR THE FIRM

JOB NO. 20014  
 PAGE NUMBER **A102**

PLOT SCALE A102

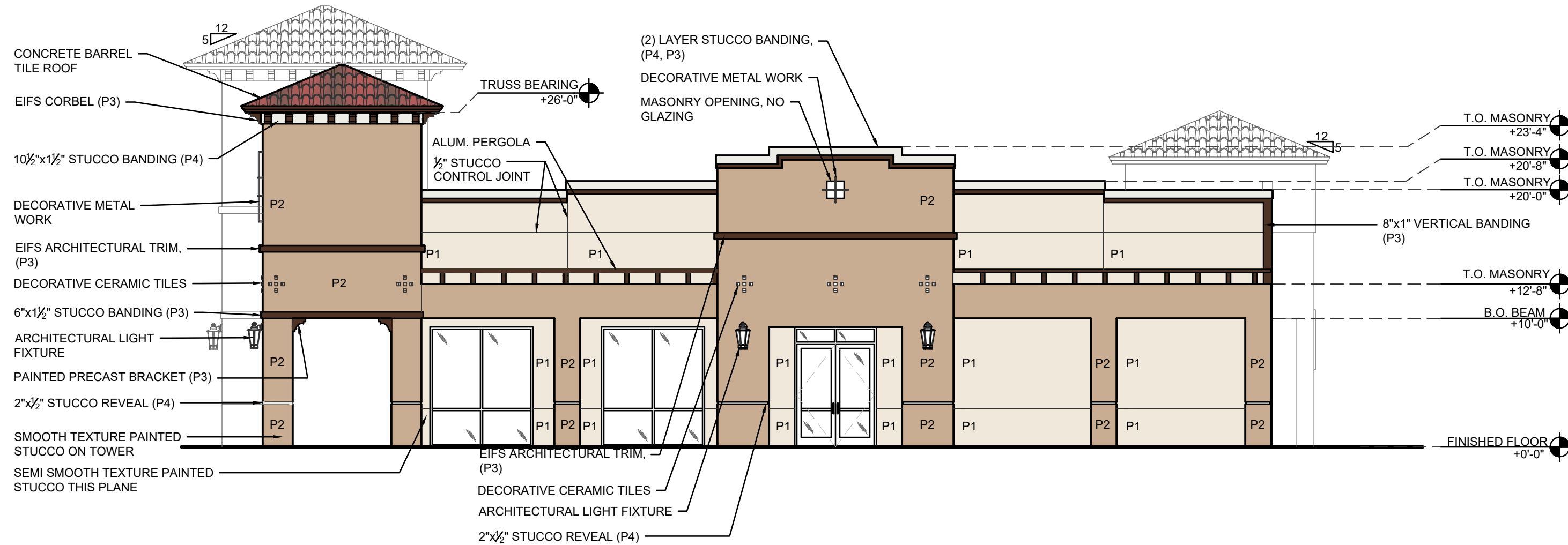
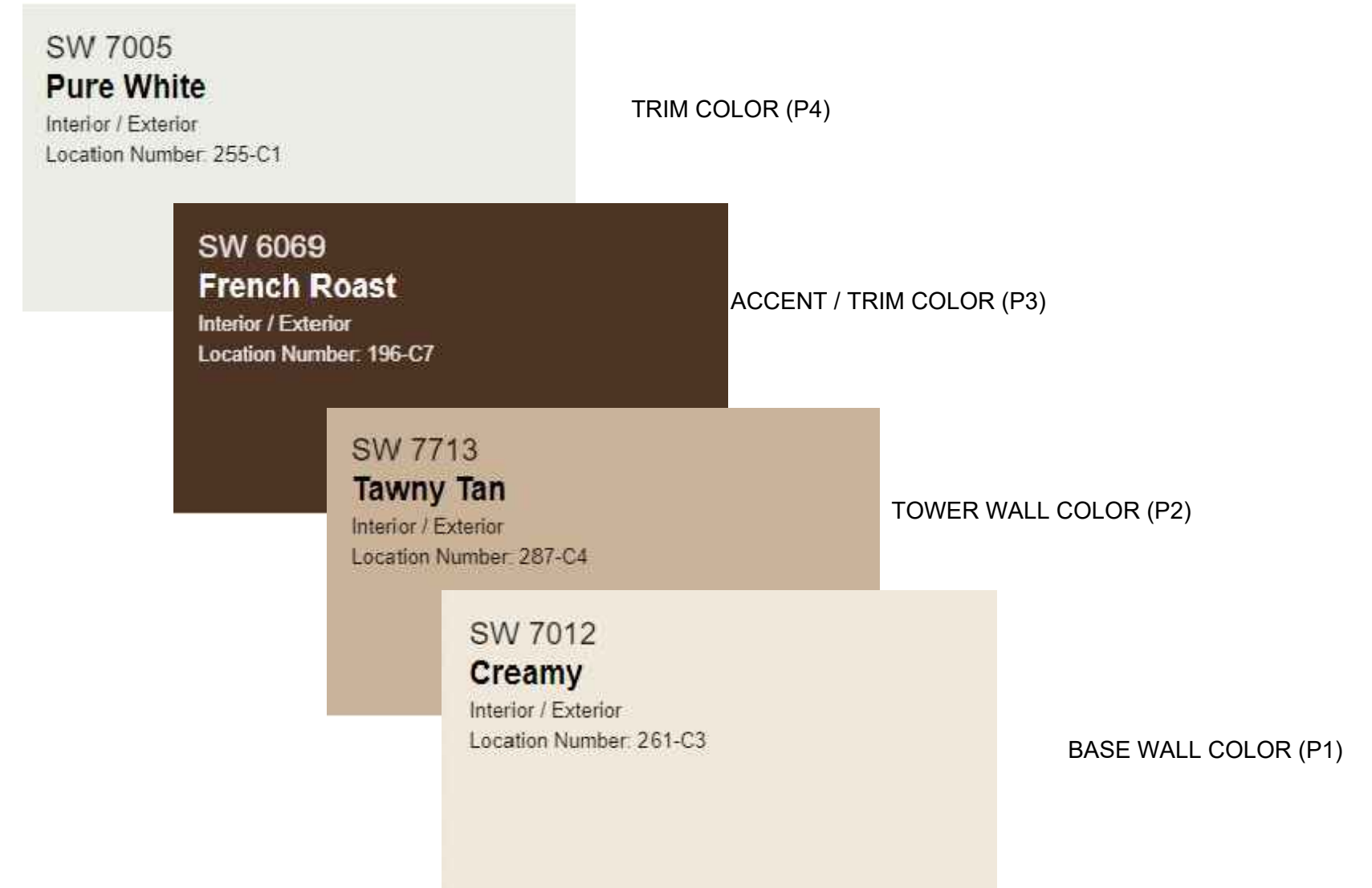
ARCHITECTS SEAL



**G1 BLDG. 3 NORTH EXTERIOR ELEVATION - FRONT**

SCALE 1/8" = 1'-0"

**COLOR PALETTE**



**A1 BLDG. 3 WEST EXTERIOR ELEVATION - RIGHT**

SCALE 1/8" = 1'-0"



BORAL CONCRETE ROOF TILE  
SKU: 11B557117 Barcelona 900 - Burnt Mission - Color Coat  
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**GMA**  
ARCHITECTS & PLANNERS  
43 BARKLEY CIRCLE SUITE #202  
FORT MYERS, FL 33907  
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**ESTERO CROSSING**  
**EAST OUTPARCEL - BUILDING 3**  
CORKSCREW RD.  
ESTERO, FLORIDA  
BLDG. 3 EXTERIOR ELEVATIONS

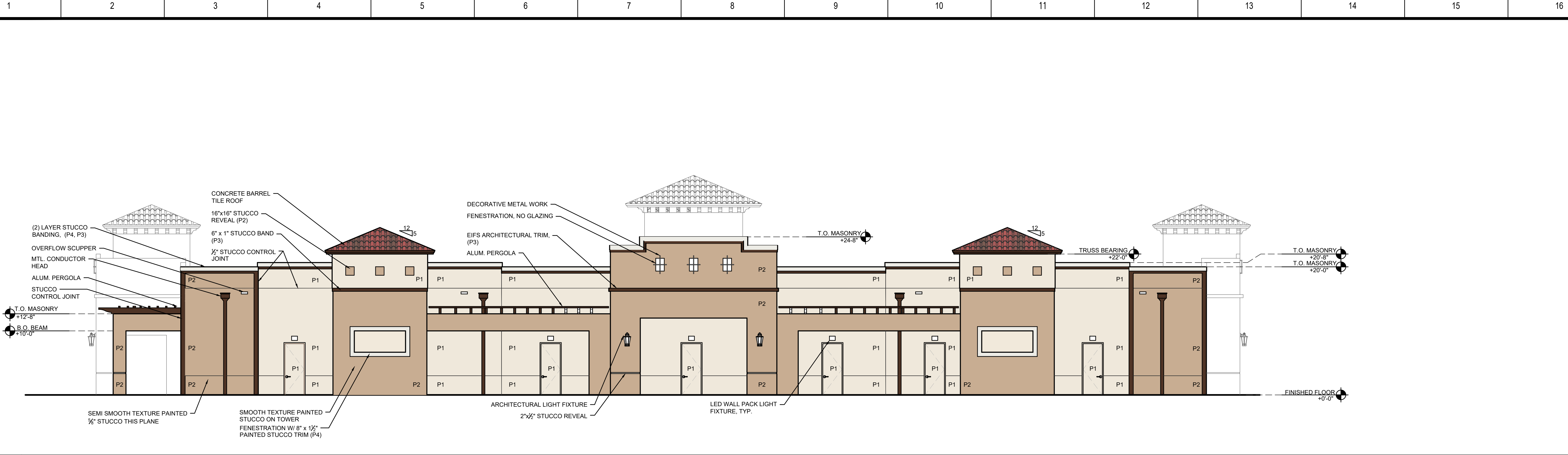
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DATE: 01-15-2021	
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PURPOSE:	△
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FOR THE FIRM

JOB NO. 20014

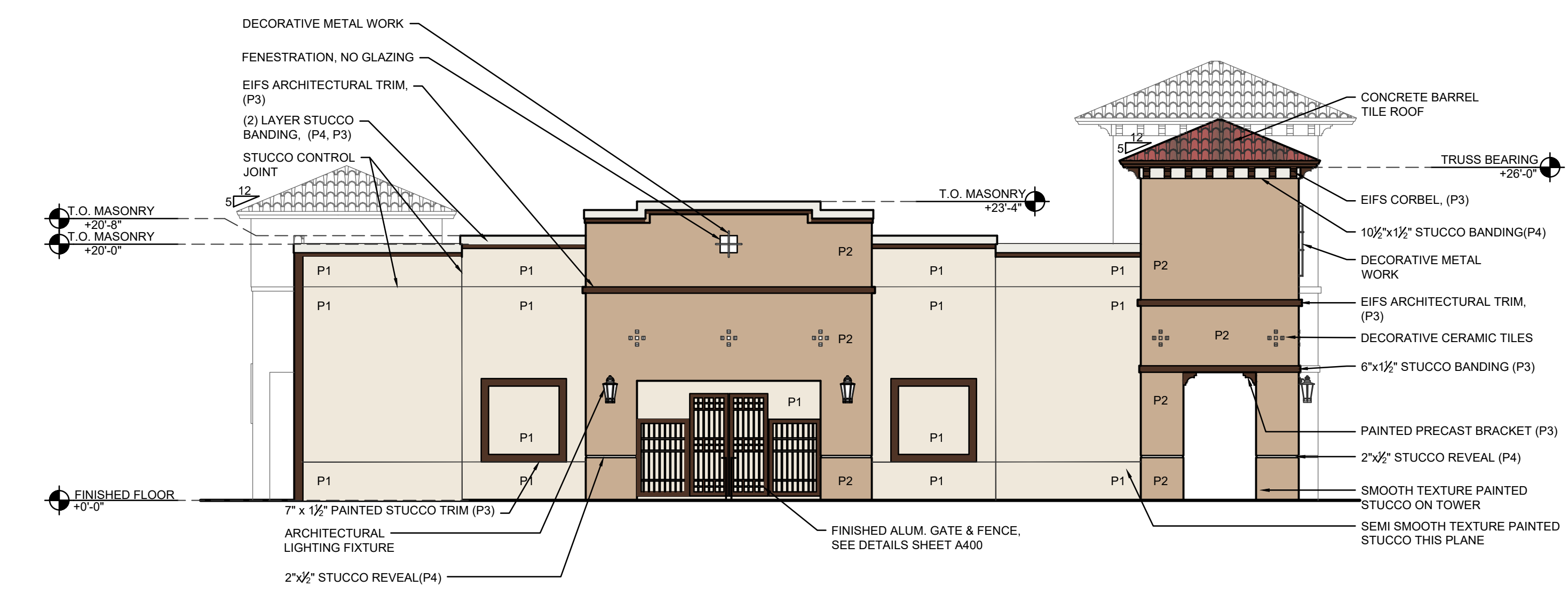
PAGE NUMBER  
**A202**





**H1 BLDG. 3 SOUTH EXTERIOR ELEVATION - REAR**

SCALE 1/8" = 1'-0"



**A1 BLDG. 3 EAST EXTERIOR ELEVATION - LEFT**

SCALE 1/8" = 1'-0"

THE DESIGN PROFESSIONAL WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE AND / OR FOLLOW THE DESIGN PROFESSIONAL'S OBLIGATIONS WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

**GMA** ARCHITECTS & PLANNERS  
 43 BARKLEY CIRCLE SUITE #202  
 FORT MYERS, FL 33907  
 P: 239 275.0225 F: 239 275.1723

**ESTERO CROSSING**  
**EAST OUTPARCEL - BUILDING 3**  
 CORKSCREW RD.  
 ESTERO, FLORIDA  
 BLDG. 3 EXTERIOR ELEVATIONS

ISSUE HISTORY	
PURPOSE: DEV. ORDER	●
DATE: 01-15-2021	
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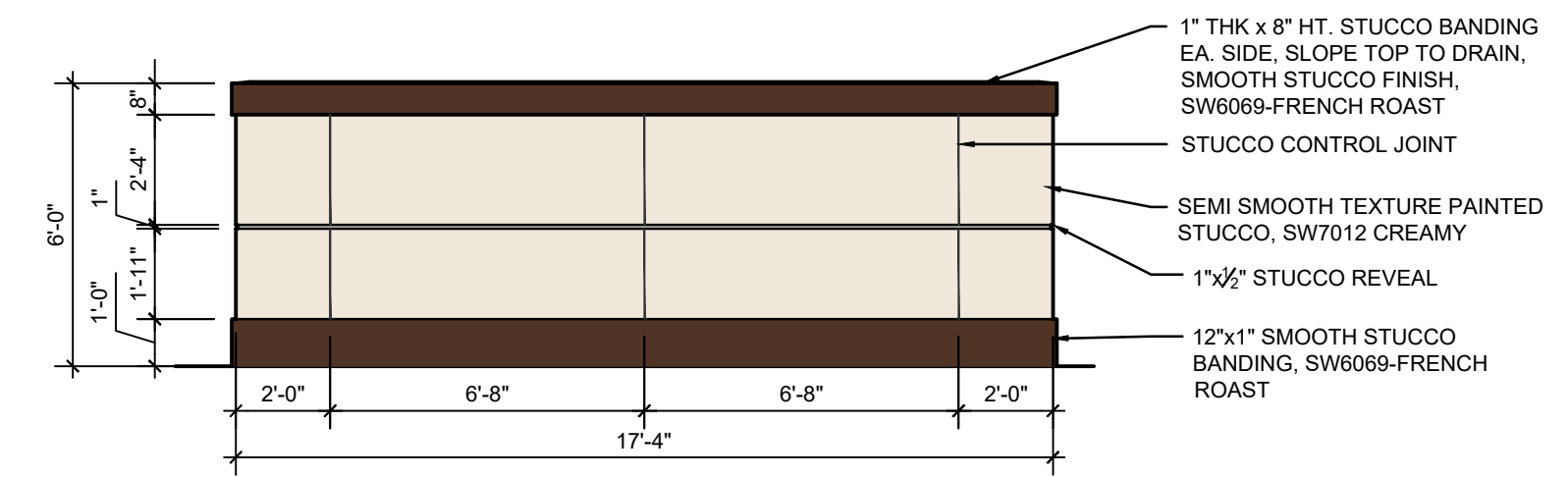
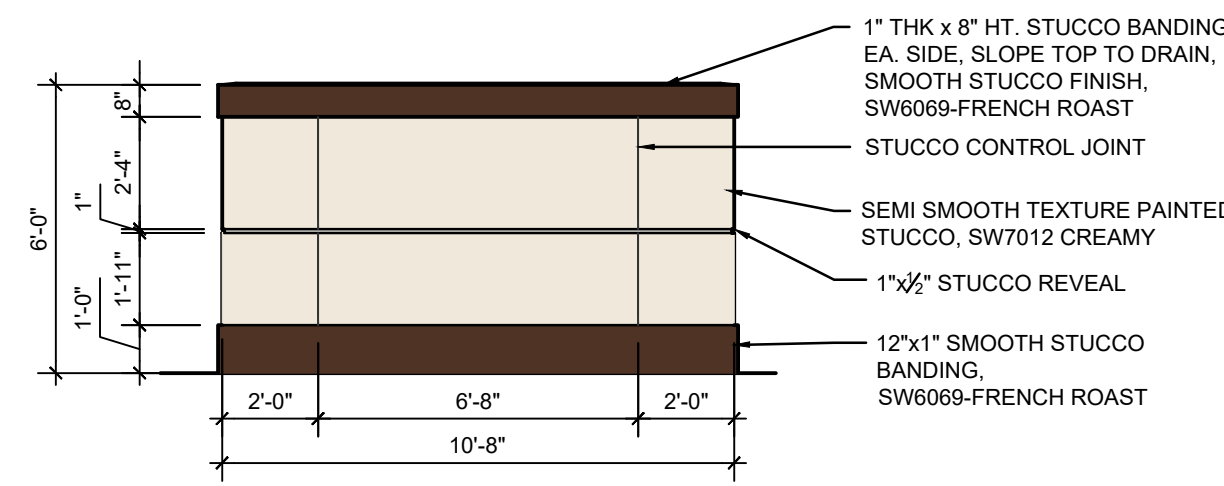
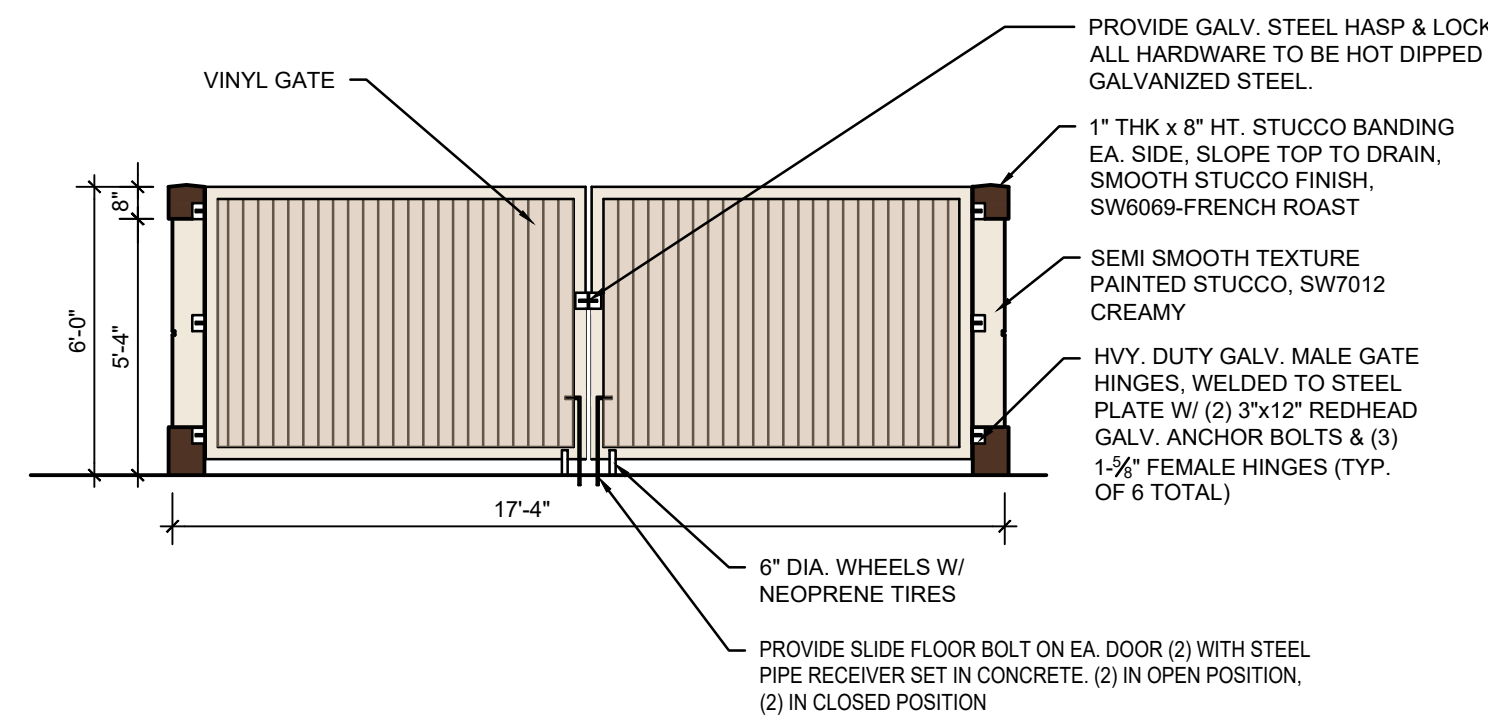
FOR THE FIRM

JOB NO. 20014

PAGE NUMBER **A203**

PLOT SCALE

ARCHITECTS SEAL



H1 DUMPSTER ENCLOSURE FRONT ELEVATION, TYP.

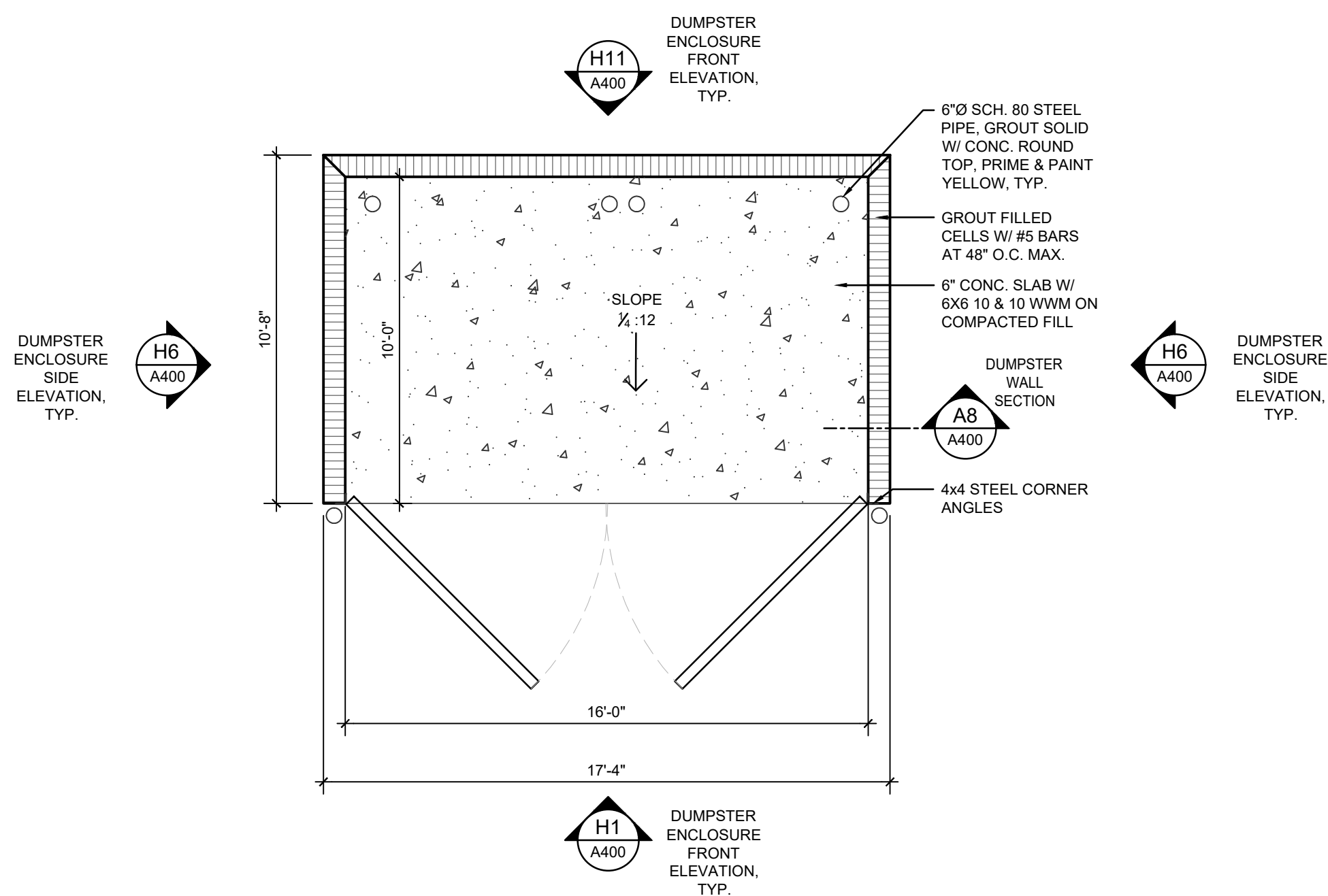
SCALE 1/4" = 1'-0"

H6 DUMPSTER ENCLOSURE SIDE ELEVATION, TYP.

SCALE 1/4" = 1'-0"

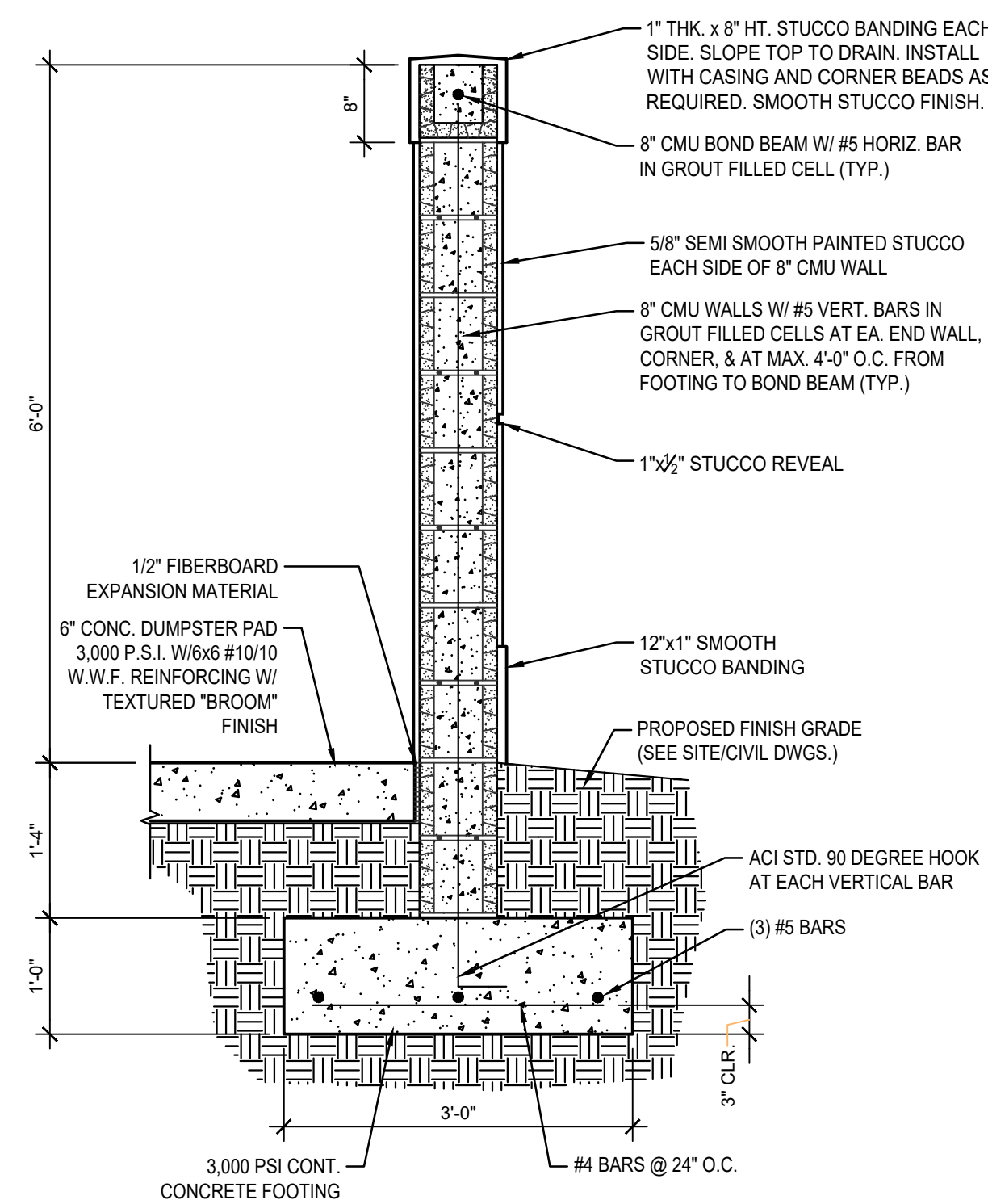
H11 DUMPSTER ENCLOSURE REAR ELEVATION, TYP.

SCALE 1/4" = 1'-0"



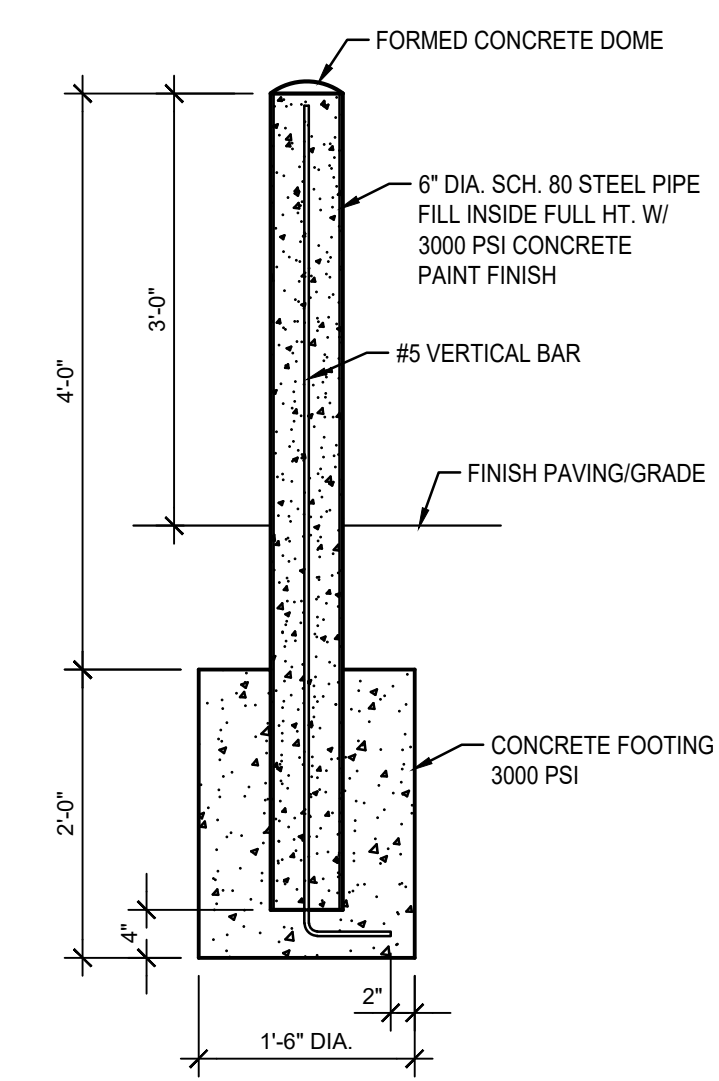
A1 ENLARGED PLAN - DUMPSTER ENCLOSURE, TYP.

SCALE 1/4" = 1'-0"



A8 DUMPSTER ENCLOSURE WALL SECTION, TYP.

SCALE 3/4" = 1'-0"



A13 BOLLARD DETAIL, TYP.

SCALE 3/4" = 1'-0"

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**ESTERO CROSSING  
 WEST OUTPARCEL - BUILDING 2**  
 CORKSCREW RD.  
 ESTERO, FLORIDA

TYPICAL DUMPSTER ENCLOSURE PLAN & DETAILS

ISSUE HISTORY	
PURPOSE: DEV. ORDER	●
DATE: 01-13-21	
PURPOSE:	▲
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FOR THE FIRM ARCHITECTS SEAL

JOB NO. 20013  
 PAGE NUMBER **A400**