



[www.Estero-fl.gov](http://www.Estero-fl.gov)

**COVID-19 NOTICE:**

The June 8, 2021 Village Planning Zoning and Design Board Meeting will be conducted physically in Council Chambers at Village Hall, 9401 Corkscrew Palms Circle, with an opportunity to participate virtually. The meeting will be broadcast live via the Village of Estero website link: <https://estero-fl.gov/council/watch-meetings-online/>. Access in Council Chambers will be limited in order to comply with the safety instructions relating to COVID-19. Please see page 3 of this agenda for further information and instructions for public participation.

**AGENDA**

**PLANNING ZONING AND DESIGN BOARD**

**9401 Corkscrew Palms Circle, Estero, Florida**

**June 8, 2021**

**4:30 P.M.**

*Planning Zoning and Design Board: Co-Chairman - Scotty Wood; Co-Chairman Howard Levitan: Anthony Gargano; Kristin Jeannin; Barry Jones; Marlene Naratil; Michael Sheeley; James Tatoes; Jim Wallace*

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. APPROVAL OF AGENDA**
- 5. BUSINESS**

Items on the agenda are generally treated in sequential order, and due to the length of the agenda any or all of the items listed for discussion may be rescheduled to a later date for consideration. Note: Meetings have a curfew of 9:00 P.M.

**Consent Agenda**

- (1) Approval of April 20, 2021 meeting minutes.

**6. PUBLIC INFORMATION MEETING (No votes are taken at Public Information Meetings)  
The public will have an opportunity to speak for three minutes per agenda item.**

- (1) Estero Crossing (District 5) Oak & Stone Restaurant  
10500 Corkscrew Road, proposed one-story 5,300± square foot restaurant on an out-parcel located at the northeast portion of Estero Crossing which is located 1,000 feet west of the intersection of Corkscrew Road and I-75.

The applicant will provide an overview of the Oak and Stone Restaurant, the first Commercial Building to request a Development Order.

**7. WORKSHOP**

- (1) Estero Crossing (DOS2020-E007) (District 5) Art Sculpture  
10500 Corkscrew Road, ±43-acre site (total project size) located on the south side of Corkscrew Road, 1,000 feet west of the intersection of Corkscrew Road and I-75.

The applicant seeks the Planning Zoning and Design Board's review of the proposed art sculpture required by the development's zoning approval.

**8. PUBLIC HEARINGS (Quasi-Judicial)  
The public will have an opportunity to speak for five minutes per agenda item.**

- (1) Clean Machine Car Wash (DOS2021-E002) (District 3)  
Located on the east side of US 41 at the intersection of US 41 and Vintage Parkway. The vacant parcel is approximately 200 feet north of Aldi Grocery Store and opposite Breckenridge Drive.

- Public Information Meetings were held August 12, 2020 and January 13, 2021 and a Workshop was held May 11, 2021.
- Applicant seeks Development Order to construct a 3,610 square foot drive through car wash and associated infrastructure on a 1-acre vacant parcel.
- See Staff Report
- *Applicant requests approval of the Development Order and Monument Sign.*

- (2) Extra Space Storage at Coconut Point (Commercial Paint Permit Submittal #3308592) (District 1)  
8420 Murano Del Lago Drive, 119,439 square foot, 4 story self-storage building located on Murano Del Lago Drive, East of US 41 and south of Pelican Colony Boulevard.

- Public Information Meeting was held September 2, 2020, Public Hearing was held December 9, 2021 and continued for further revisions.



- *Applicant requests approval to re-paint the existing building to shades of tan and pale green.*

(3) Lee Health Medical Building – Shoppes at University Highlands (DOS2021-E003) (District 5)

19511 Highlands Oaks Drive, located on the southwest corner of Everblades Parkway South and Ben Hill Griffin Parkway.

- Request Development Order to build a 20,000± square foot medical building on a vacant parcel which is part of the partially developed Shoppes at University Highlands.
- A Public Information Meeting was held January 27, 2021.
- See Staff Report
- *Applicant requests approval of the Development Order.*

**9. PUBLIC INPUT (Each individual will be given five minutes to speak)**

**10. BOARD COMMUNICATIONS**

(a) **Next meeting – July 13, 2021**

**11. ADJOURN**

**COVID-19 INFORMATION AND INSTRUCTIONS**

**To view and/or participate in the Planning Zoning and Design Board Meeting, the following options are available:**

- 1) View the meeting online, but not participate: You may watch the meeting via the Village of Estero website link: <https://estero-fl.gov/council/watch-meetings-online/>.
- 2) View the meeting online as indicated above and provide public comment prior to the meeting by utilizing the eComment Card on the Village website: <https://estero-fl.gov/ecomment-cards/>. Please fill out all required information. Comments must be received by noon on Monday, June 7<sup>th</sup> and they will be distributed to the Board but will not be read at the meeting.
- 3) Council Chambers will be open to the public during the meeting, in accordance with social distancing orders. Public who attend in person may speak during scheduled public comment periods. Participants are recommended to wear their own-supplied mask.

For additional information or for special assistance prior to the meeting, please contact Carol Sacco, Village Clerk at, [sacco@estero-fl.gov](mailto:sacco@estero-fl.gov) or 239-221-5035.

If you desire to address the Council, please complete a Public Comment Card located on the table in the lobby and return it to the Clerk. Citizens desiring to speak must step up to the podium, state their full name and address and/or whom he or she represents.

ADA Assistance – Anyone needing special assistance at the Board meeting due to a disability or physical impairment should contact Executive Assistant, Carol Sacco, 239-221-5035, at least 48 hours prior to the meeting.

Pursuant to Section 286.0105, Florida Statutes:

“If a person decides to appeal any decision made by the board, agency, or commission with respect to any matter considered at such meeting or hearing, he or she will need a recording of the proceeding, and that, for such purpose, he or she may need to ensure that a verbatim recording of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.”

Final Action Agenda/Minutes are supplemented by audio and video recordings of the meetings, as well as transcripts. Video recordings of Design Review Board meetings from June 8, 2016 forward, as well as agendas, staff reports, resolutions, ordinances, and other documents related to the meetings can be viewed online at <https://estero-fl.gov/agendas/> at the corresponding meeting date.

**DRAFT**

**FINAL ACTION AGENDA/MINUTES**

**Planning Zoning and Design Board Meeting**

**Village of Estero  
9401 Corkscrew Palms Circle  
Estero, FL 33928  
April 20, 2021 4:30 p.m.**

1. **CALL TO ORDER:** 4:38 p.m.
2. **PLEDGE OF ALLEGIANCE:** Led by Chairman Wood
3. **ROLL CALL:**

Present: Co-Chairman Scotty Wood and Co-Chairman Howard Levitan, and Boardmembers Marlene Naratil Arrived 4:45 pm, Anthony Gargano Arrived 5:00 pm, James Tatooles, Kristin Jeanin, Michael Sheeley, James Tatooles, and Jim Wallace (via teleconference). Absent: Boardmember Barry Jones.

Also present: Village Land Use Counsel Nancy Stroud, Community Development Director Mary Gibbs, Development Review Manager Jim Hart, and Deputy Village Clerk Tammy Duran

4. **APPROVAL OF AGENDA:**  
  
A motion to approve the agenda was made and duly passed.
5. **BUSINESS:**  
  
(a) **PowerPoint Presentation: Land Use Regulation Process**

**Staff Presentation/Comments:**

Mary Gibbs, Community Development Director  
Nancy Stroud, Village Land Use Council

**Board Questions or Comments:**

Board Members Gargano, Naratil, Tatoes, Jeannin, Sheeley, Wallace, Co-Chairman Wood, and Co-Chairman Levitan.

**Public Comment:** None.

The meeting went into recess at 7:01 p.m. and reconvened at 7:10 p.m.

**(b) Board Discussion**

Co-Chairman Wood.

**6. PUBLIC INPUT:** None.

**7. BOARD COMMUNICATIONS:**

**(a) Next meeting – May 11, 2021**

A motion to adjourn was made and duly passed.

**8. ADJOURNMENT:** 7:50 pm

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Tammy Duran  
Deputy Village Clerk





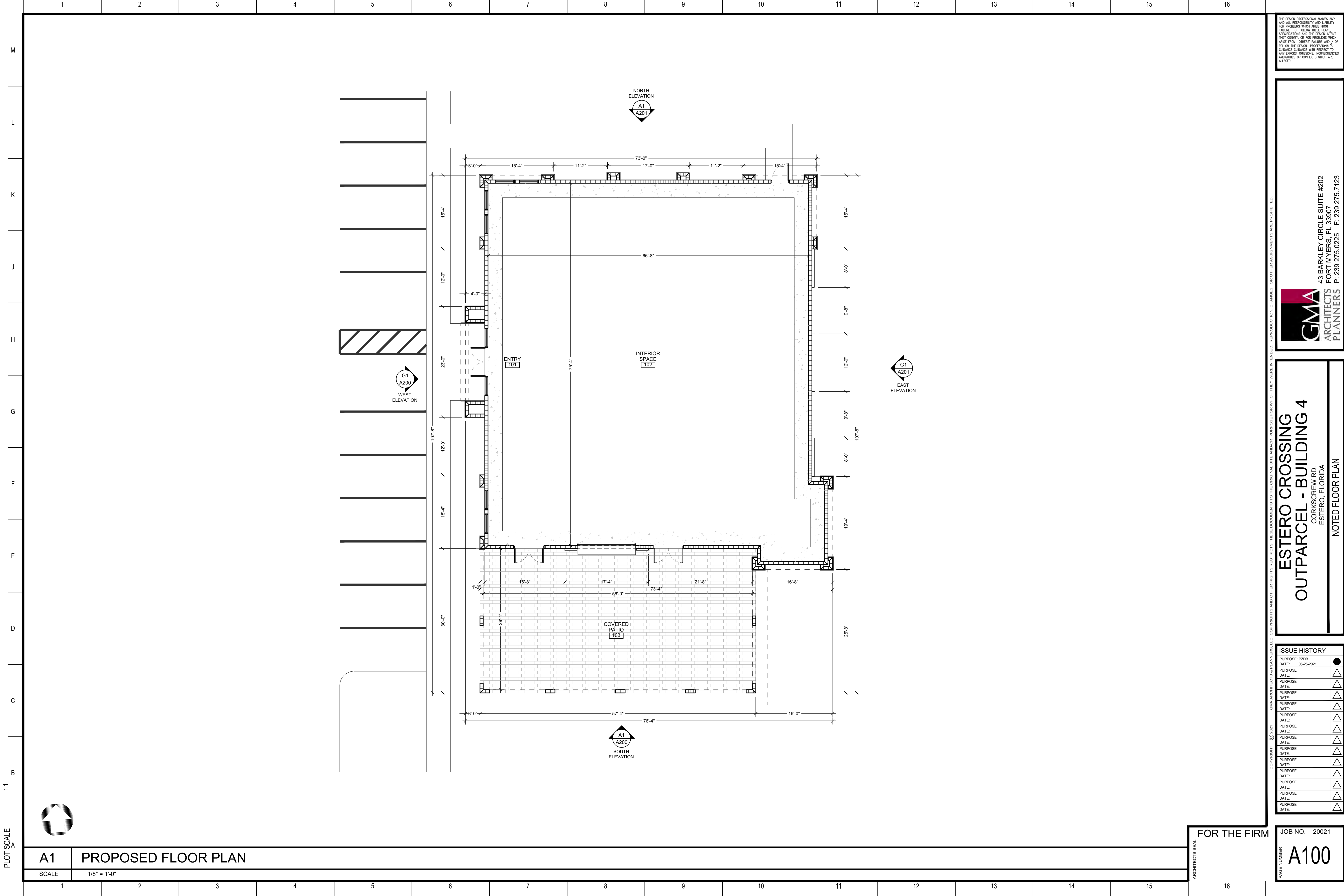
# ESTERO CROSSING - BUILDING 4

CORKSCREW RD.  
ESTERO, FL 33928  
STRAP : 35-46-25-E1-U2192.2338

RENDERING







THE DESIGN PROFESSIONAL WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT, THEIR CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE AND / OR FOLLOW THE DESIGN PROFESSIONAL'S OBLIGATIONS, INCLUDING WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

**GMA**  
 ARCHITECTS  
 PLANNERS

43 BARKLEY CIRCLE SUITE #202  
 FORT MYERS, FL 33907  
 P: 239 275.0225 F: 239 275.7123

**ESTERO CROSSING  
 OUTPARCEL - BUILDING 4**  
 CORKSCREW RD.  
 ESTERO, FLORIDA

NOTED FLOOR PLAN

ISSUE HISTORY	
PURPOSE: P208	●
DATE: 05-25-2021	
PURPOSE:	△
DATE:	△
PURPOSE:	△
DATE:	△
PURPOSE:	△
DATE:	△
PURPOSE:	△
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DATE:	△
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DATE:	△
PURPOSE:	△
DATE:	△



**A1** PROPOSED FLOOR PLAN  
 SCALE 1/8" = 1'-0"

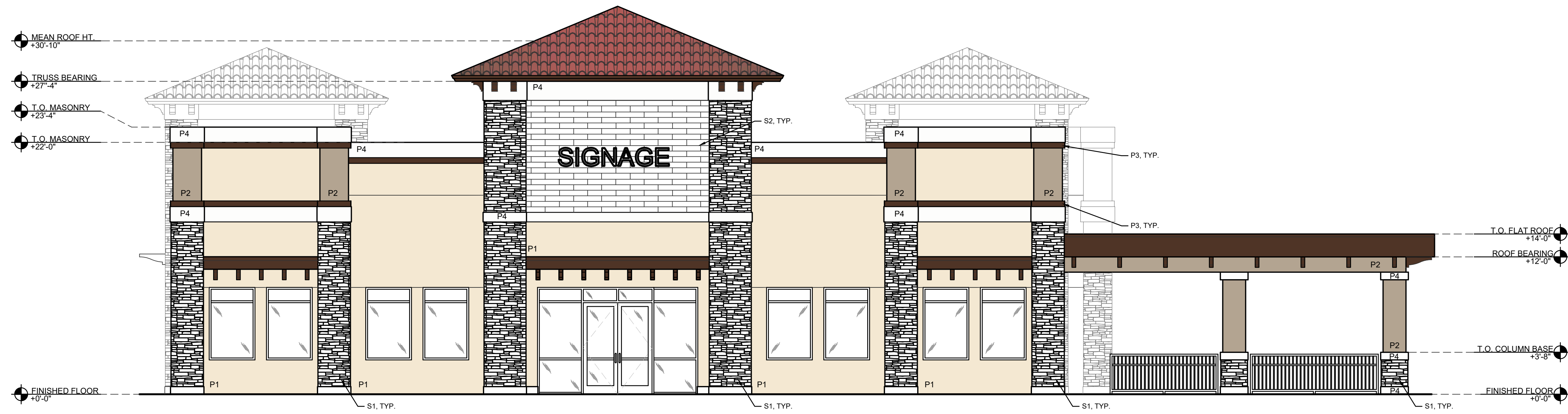
FOR THE FIRM

JOB NO. 20021  
 PAGE NUMBER **A100**

ARCHITECTS SEAL



THE DESIGN PROFESSIONAL WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT. THE DESIGN PROFESSIONAL'S OBLIGATION, EXTENDING WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.



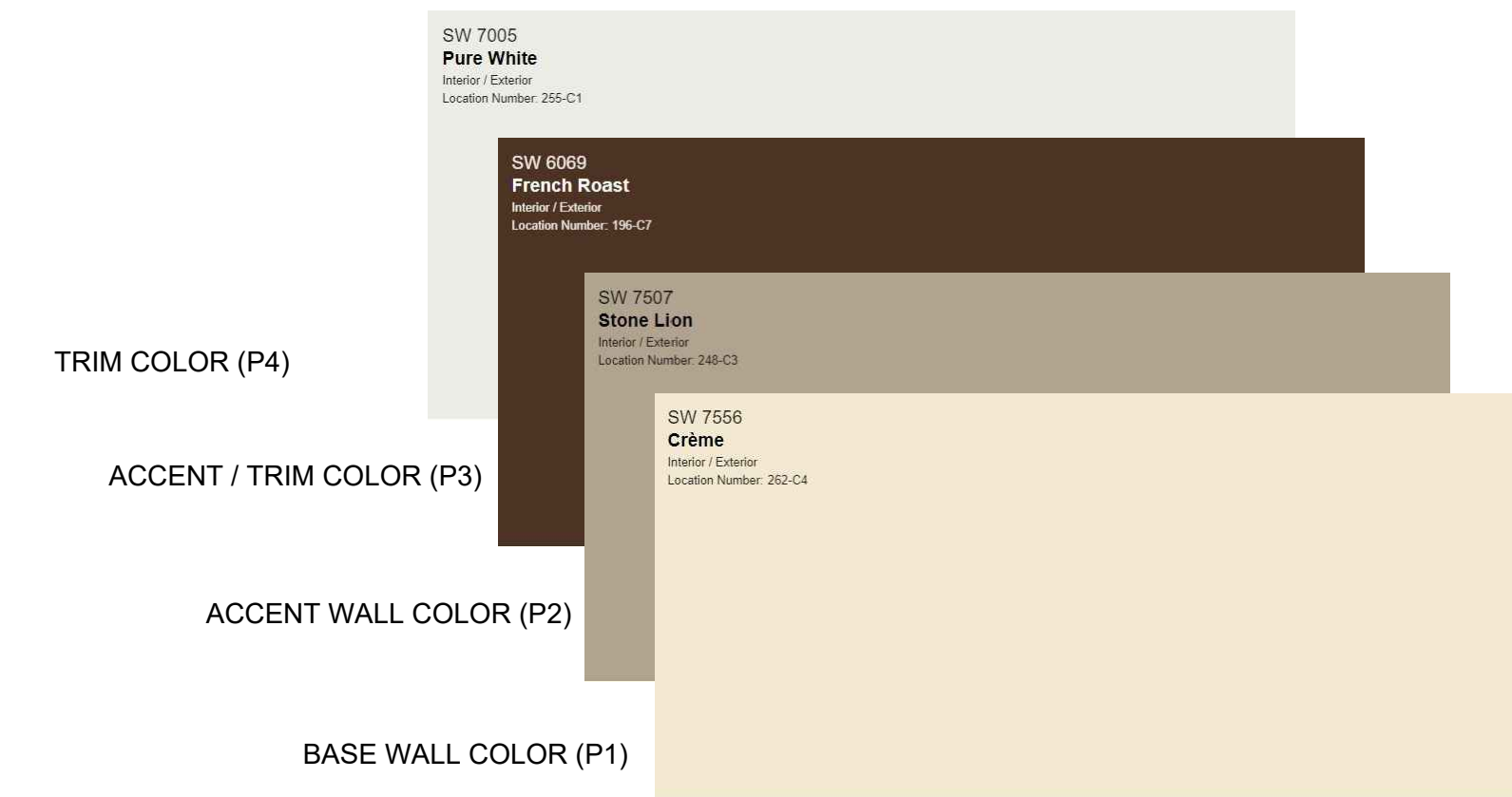
**G1 WEST EXTERIOR ELEVATION - ENTRY**

SCALE 3/16" = 1'-0"



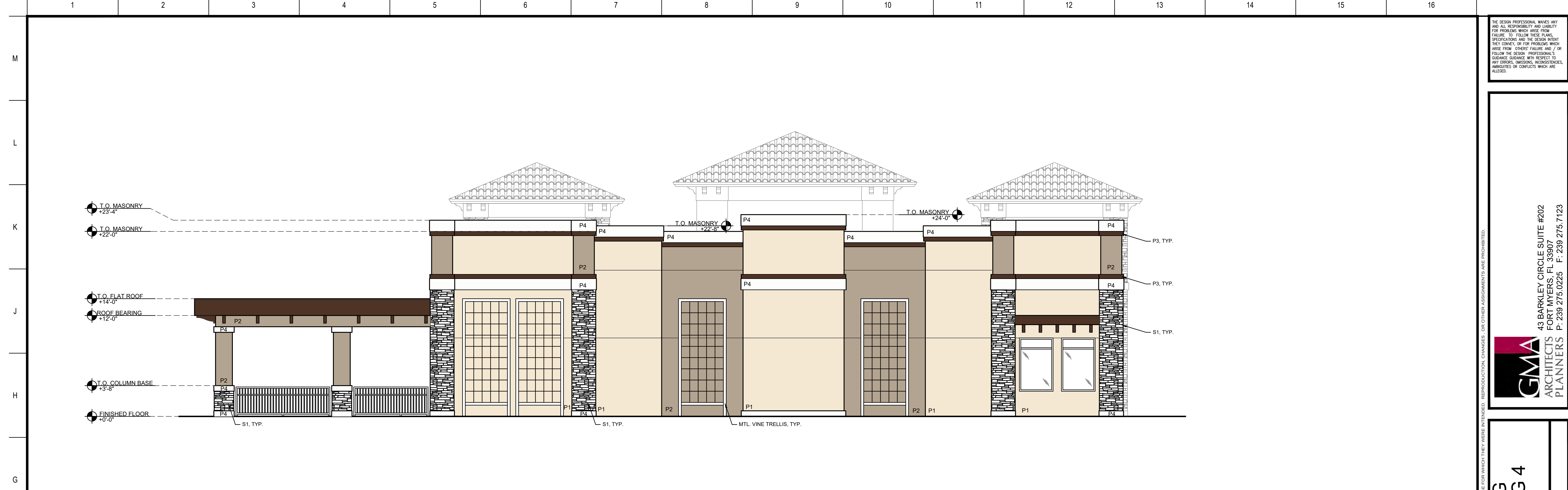
**A1 SOUTH EXTERIOR ELEVATION**

SCALE 3/16" = 1'-0"



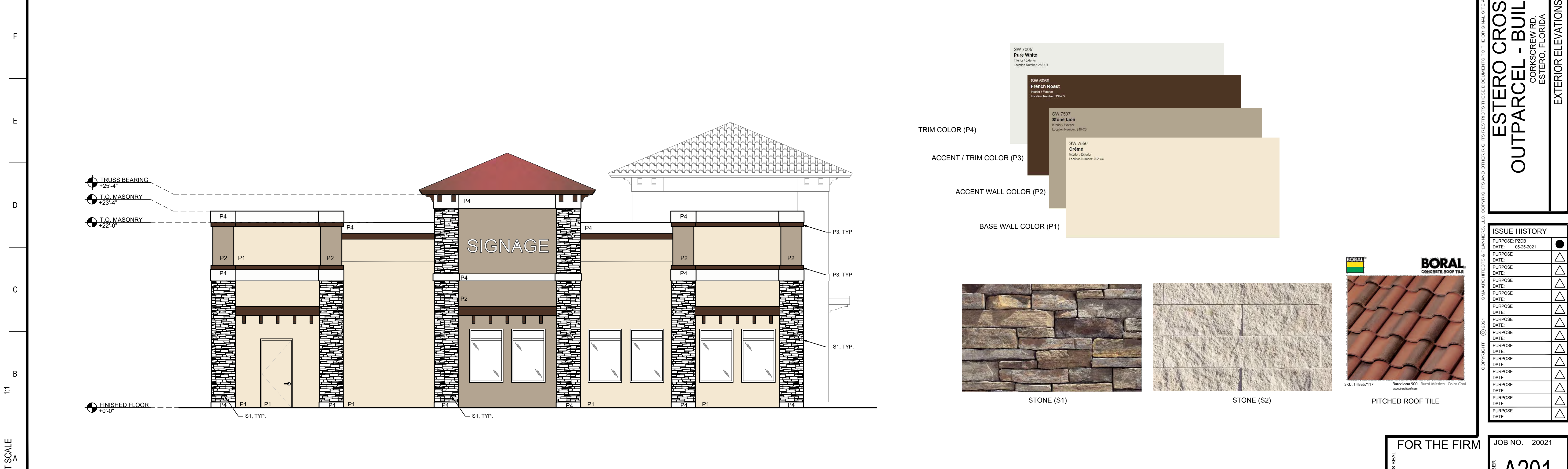
PLOT SCALE





**G1 EAST EXTERIOR ELEVATION - REAR**

SCALE 3/16" = 1'-0"



**A1 NORTH EXTERIOR ELEVATION**

SCALE 3/16" = 1'-0"

THE DESIGN PROFESSIONAL WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT. THE DESIGN PROFESSIONAL'S OBLIGATION, DUTY AND LIABILITY WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

**GMA**  
 ARCHITECTS & PLANNERS  
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**ESTERO CROSSING  
 OUTPARCEL - BUILDING 4**  
 CORKSCREW RD.  
 ESTERO, FLORIDA  
 EXTERIOR ELEVATIONS

ISSUE HISTORY	
PURPOSE: P208	●
DATE: 05-25-2021	
PURPOSE:	△
DATE:	
PURPOSE:	△
DATE:	
PURPOSE:	△
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PURPOSE:	△
DATE:	

FOR THE FIRM

JOB NO. 20021

PAGE NUMBER **A201**

ARCHITECT'S SEAL



# ESTERO CROSSING OAK AND STONE

CORKSCREW ROAD | ESTERO, FLORIDA 33928

## CONSULTANTS

Client

SD ESTERO CROSSING, LLC  
2639 PROFESSIONAL CIRCLE, SUITE 101  
NAPLES, FLORIDA 34119

Civil  
Engineer

DELISI FITZGERALD, INC  
1605 HENDRY STREET  
FT. MYERS, FLORIDA 33901

## PROJECT SITE VICINITY MAP



## INDEX OF DRAWINGS

DRAWING	DRAWING TITLE	P.I.M.
COVER	COVER	05/28/2021
LC1.00	LANDSCAPE CALCULATIONS	05/28/2021
L1.00	LANDSCAPE DEVELOPMENT PLAN	05/28/2021
LD-1	LANDSCAPE DETAILS	05/28/2021
LD-2	LANDSCAPE SPECIFICATIONS	05/28/2021
LD-3	IRRIGATION SPECIFICATIONS	05/28/2021











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**DELISI FITZFERALD INC**  
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239-418-0691  
239-288-2537

ARCHITECT  
**GMA ARCHITECTURE**  
43 BARKLEY CIR #202  
FT MYERS | FLORIDA, 33907  
239-275-0225

**OWNER**

**STOCK DEVELOPMENT**  
2639 PROFESSIONAL CIRCLE, SUITE 102  
NAPLES | FLORIDA  
239-592-7394

**ESTERO CROSSING  
OAK AND STONE**

**CORKSCREW ROAD  
ESTERO | FLORIDA**

**SIGNATURE & SEAL**

FL Registration: LC26000471

P. I. M.

**ISSUE DATE**

1	P.I.M.	05-28-21
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**REVISIONS**

NO.	COMMENTS	DATE

**SHEET INFORMATION**

JOB NUMBER	20040
DRAWN BY	HB/GS
CHECKED BY	HB

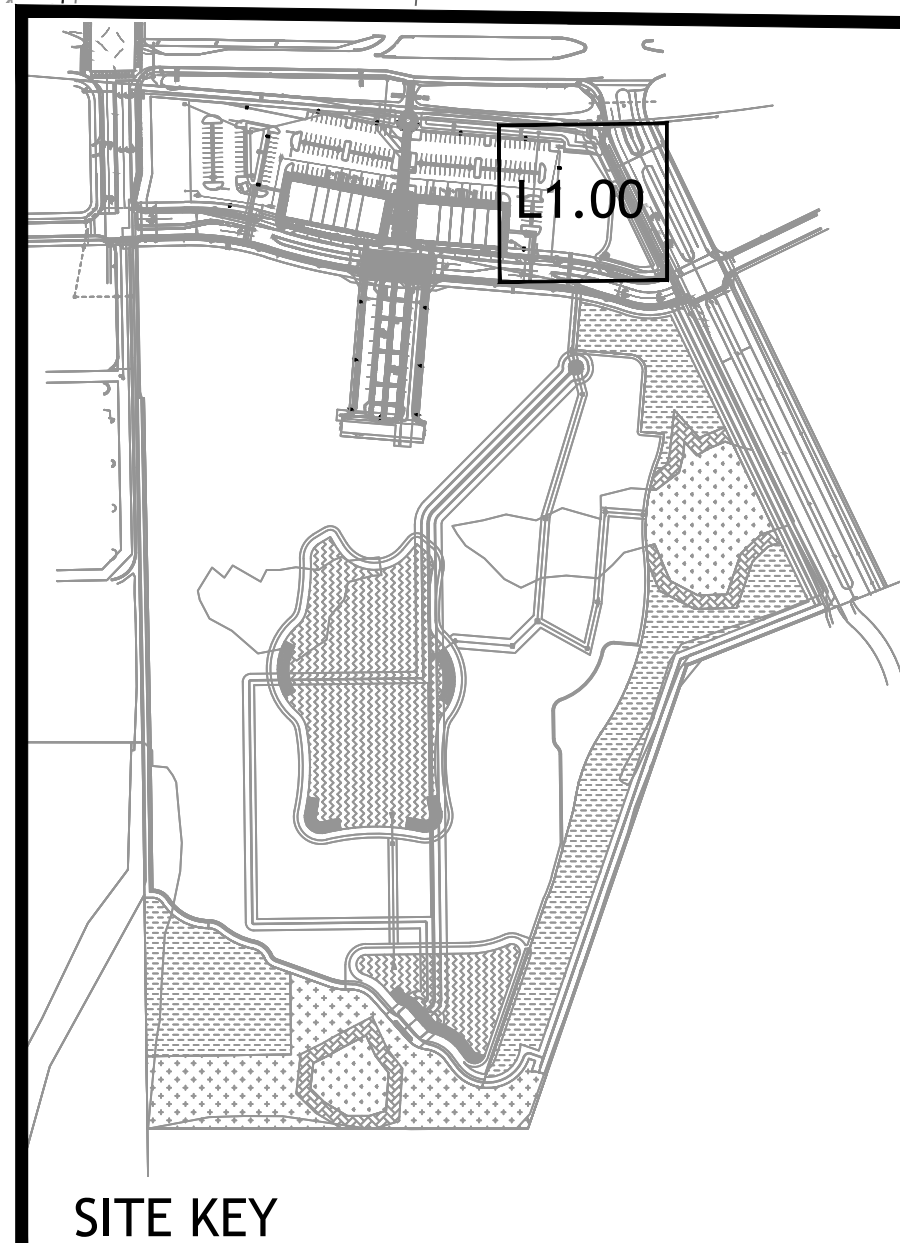
SCALE: 1"=10'-0"



**LANDSCAPE  
DEVELOPMENT  
PLAN**

**L1.00**

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# ESTERO CROSSING - OAK & STONE - PUBLIC INFORMATION MEETING

ESTERO, FL  
JUNE 2021



## CONSULTANT TEAM

STOCK DEVELOPMENT, *Developer*



BOOTH DESIGN GROUP, *Landscape Architecture*



GMA ARCHITECTS AND PLANNERS, *Architect*



DELISI FITZGERALD, INC., *Civil Engineering*



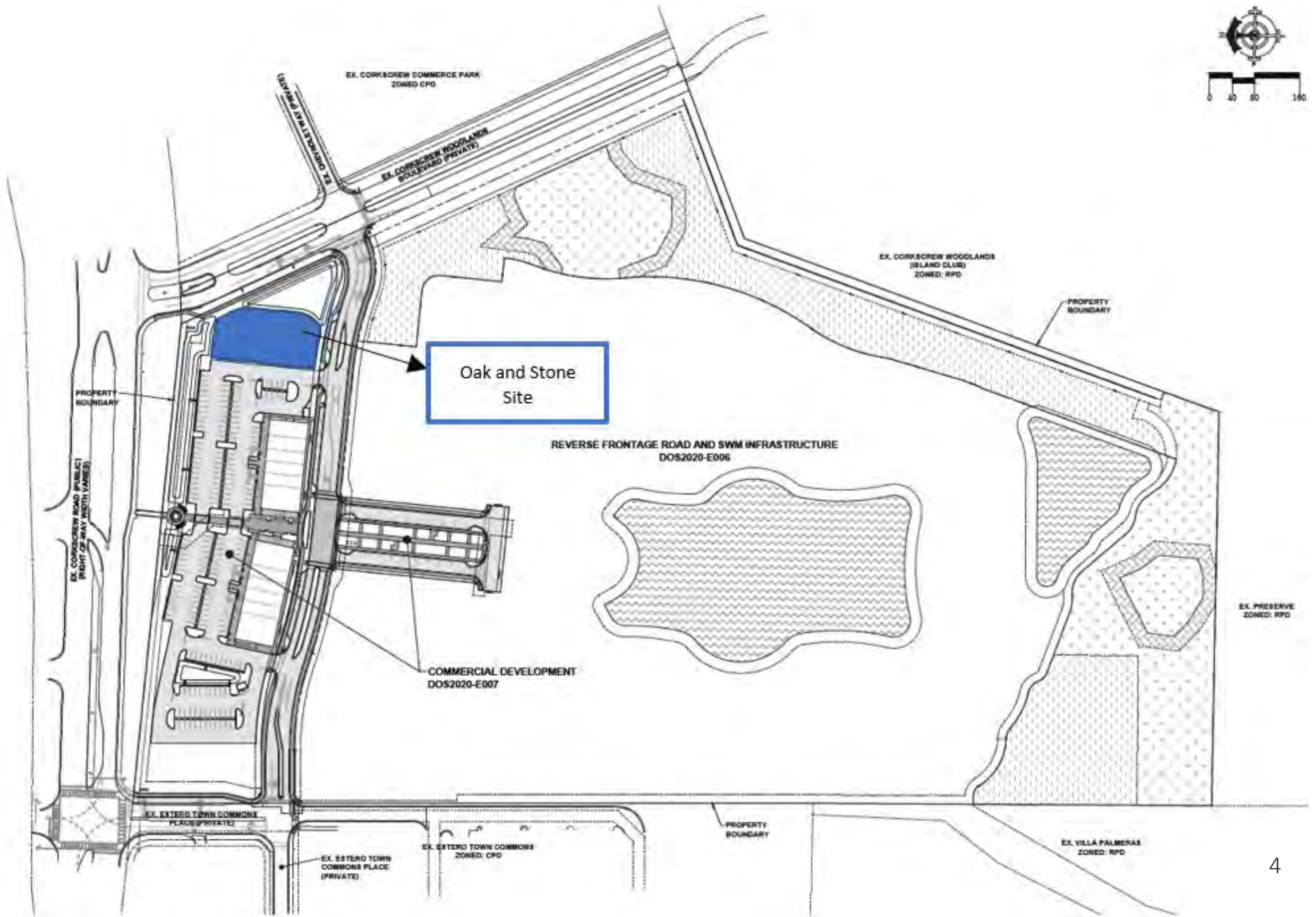
# VICINITY MAP



# ESTERO CROSSING



# SITE CONTEXT





# SITE PLAN

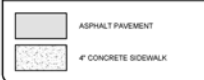
## GENERAL DEVELOPMENT NOTES:

- ALL CONTRACTORS AND SUB-CONTRACTORS SHALL MAINTAIN THEIR WORK AND THE SITE RELATIVE TO THEIR WORK IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN AND ALL REQUIREMENTS OF THE PROJECT PER F.D. 5 PERMIT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO DEVIATE IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL PERMITTING REQUIREMENTS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE VILLAGE OF ESTERO LAND DEVELOPMENT CODE.
- THE CONTRACTOR SHALL RETURN ON THE WORK SITE AT ALL TIMES COPIES OF ALL PERMITS NECESSARY FOR ANY CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND CONTACT ALL UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES IN THE AREA 72 HOURS MINIMUM PRIOR TO COMMENCING CONSTRUCTION.
- THE LOCATION OF EXISTING UTILITIES, SIDEWALKS, PAVEMENT, VEGETATION AND MISCELLANEOUS IMPROVEMENTS ARE APPROXIMATE. THE EXACT FIELD LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD PRIOR TO COMMENCING ANY CONSTRUCTION.
- THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988 IS THE BENCHMARK DATUM FOR THIS PROJECT.
- ANY PUBLIC LAND CORNER WITHIN LIMITS OF CONSTRUCTION IS TO BE PROTECTED. ANY LAND CORNER MONUMENT IN DANGER OF BEING DESTROYED MUST BE PROPERLY REFERENCED BY THE CONTRACTOR.
- EXISTING IMPROVEMENTS SHALL BE RESTORED TO A CONDITION EQUIVALENT TO THAT WHICH EXISTED PRIOR TO COMMENCING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY ELEVATION IN PLAN INFORMATION SHALL BE REPORTED TO THE ENGINEER AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER WRITTEN APPROVAL FOR ANY DEVIATIONS FROM THE PLANS AND/OR SPECIFICATIONS.
- UNDERGROUND CONTRACTOR SHALL MINIMIZE THE WORK AREA AND WIDTH OF ALL TRENCHES TO AVOID DISTURBANCES OF NATURAL VEGETATION. SPILL FROM TRENCHES SHALL BE PLACED ONLY ON PREVIOUSLY CLEARED AREAS OR AS DIRECTED BY THE OWNER. CONTRACTOR SHALL NOT REMOVE OR DISTURB ANY TREES AND/OR SHRUBS WITHOUT PRIOR APPROVAL OF THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ADJACENT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROL SHALL BE IN ACCORDANCE WITH FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS. TRAFFIC CONTROL AND SAFE PRACTICES PROCEDURES SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO THE BEGINNING OF CONSTRUCTION.
- NO DEWATERING IS PROPOSED WITH THIS PROJECT. IF DEWATERING IS REQUIRED, A PERMIT FROM SWPMD IN ACCORDANCE WITH 62C.30, F.A.C. SHALL BE OBTAINED.
- THE REVERSE FRONTAGE ROAD, ESTERO TOWN COMMONS PLACE & CORKSREW WOODLANDS BOULEVARD SHALL BE MAINTAINED IN FULL CUTOFF BY THE ESTERO CROSSING PROPERTY OWNERS ASSOCIATION.
- NO BLASTING IS PROPOSED WITH THIS PROJECT.

## SIGNING AND MARKING NOTES:

- ALL SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE F.D.O.T. STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, THE F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND PUBLISHED STANDARDS.
- PAVEMENT MARKINGS SHALL BE PERMANENT REFLECTIVE TRAFFIC PAINT WITH GLASS BEADS IN ACCORDANCE WITH F.D.O.T. SPECIFICATIONS SECTION 710.
- ALL STOP SIGN LOCATIONS SHALL INCLUDE A 24" PAINTED WHITE STOP BAR UNLESS NOTED OTHERWISE.
- ALL SIGNING, PAVEMENT MARKINGS, STREET NAME SIGNS, ETC. ARE TO BE INCLUDED IN THE LUMP SUM PRICE FOR SIGNING AND MARKING.
- THE CONTRACTOR SHALL COMPLY WITH THE "STATE OF FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS" AND WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

## LEGEND



USE	MAX INTENSITY <sup>(1)</sup>	PREVIOUSLY PROVIDED	PROPOSED USE PROJECT	TOTAL TO DATE
MULTI-FAMILY RESIDENTIAL	306 UNITS	0	0	0
RETAIL, COMMERCIAL	60,000 SF	23,800 SF	5,310 SF	29,130 SF

(1) MAXIMUM INTENSITIES PER ORDINANCE 2019-29

CATEGORY	REQUIRED	PROVIDED
MINIMUM BUILDING SETBACKS		
CORKSREW ROAD R.O.W.	20 FT	125.8 FT
CORKSREW WOODLANDS ROAD E.O.P.	20 FT	41.7 FT
"MAIN STREET" ROADWAY (ESTERO TOWN COMMONS PLACE)	5 FT	20.0 FT
OTHER PERIMETER BOUNDARIES (WEST BOUNDARY)	20 FT	N/A
MINIMUM BUILDING SEPARATION	20 FT	115.8 FT
MAXIMUM BUILDING HEIGHT	45 FT (3 STORIES)	20 FT (1 STORY)
MAXIMUM LOT COVERAGE	4%	13% <sup>(1)</sup>

(1) LOT COVERAGE FOR THE COMMERCIAL OUTPARCEL INCLUDES PREVIOUSLY PERMITTED BUILDINGS PER DOS2020-E007

REQUIRED	PROVIDED
COMMERCIAL REQUIREMENT PER VILLAGE OF ESTERO LDC, 5-12 128 SF FOR MORE THAN 5,000 SF UP TO 10,000 SF	5,310 SF
REQUIRED COLLECTION AREA	128 SF
PROVIDED	
14' x 10' ENCLOSURE	140 SF

NOTES:  
1. THE ENCLOSURE SHALL HAVE A MINIMUM 12 FEET WIDE CLEAR OPENING.  
2. A MINIMUM OVERHEAD CLEARANCE OF 22 FEET IS REQUIRED.

BUILDING	SQ. FT. FLOOR AREA	STORIES
OAK & STONE	5,310	1

OUTPARCEL AREA	REQUIRED OPEN SPACE	OPEN SPACE PROVIDED
5.06 AC.	0.51 AC. (10% MIN.)	1.71 AC.

NOTES:  
1. REQUIRED OPEN SPACE PER ORDINANCE 2019-29.

PROPERTY LINE	ADJACENT USE	BUFFER REQUIRED
NORTH	R.O.W.	20 TYPE 'D' <sup>(1)</sup>
EAST	R.O.W.	20 TYPE 'D'
SOUTH	R.O.W.	ALTERNATE <sup>(2)</sup>
WEST	R.O.W.	20 TYPE 'D'

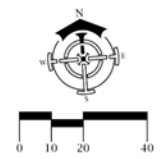
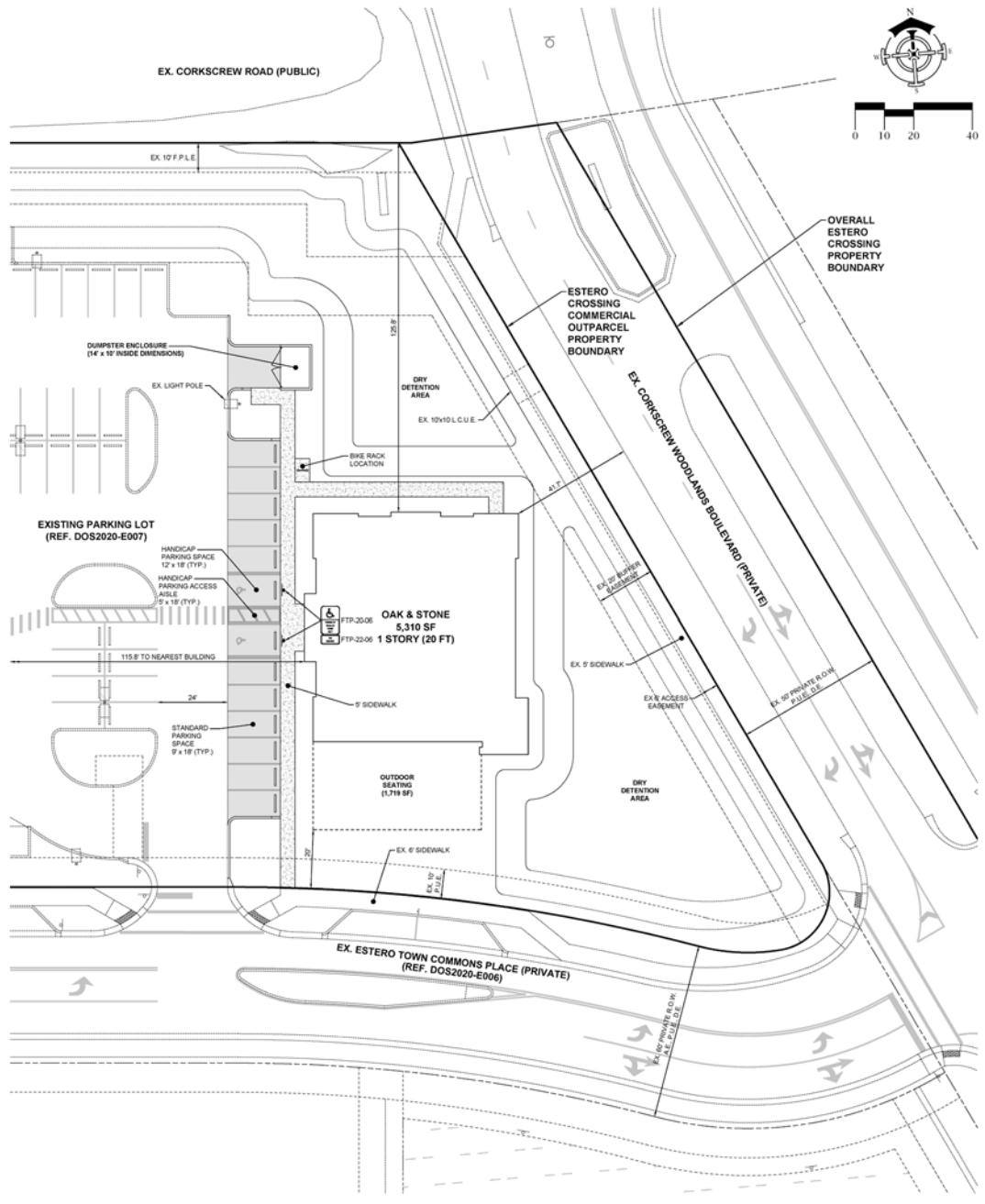
(1) 20' ENHANCED TYPE 'D' BUFFER REQUIRED PER ORDINANCE 2019-29  
(2) ALTERNATE PLANTING PER PATTERN BOOK PER ORDINANCE 2019-29

USE	RATIO	REQUIRED	PROVIDED
PREVIOUSLY PERMITTED BUILDINGS (REF. DOS2020-E007)			
MULTIPLE OCCUPANCY COMPLEX	4.5 PER 1,000 SF OF FLOOR AREA (23,800 SF)	108	108
OAK & STONE			
RESTAURANT	12.5 PER 1,000 SF OF FLOOR AREA (5,310 SF + 1,719 OUTDOOR SEATING)	88	88
FUTURE BUILDING			
	TOTAL SPACES	196	218 (102)

COMMERCIAL	REQUIRED	PROVIDED
COMMERCIAL	5% OF REQUIRED VEHICLE SPACES	5

COMMERCIAL	REQUIRED	PROVIDED
COMMERCIAL	1 SPACE FOR THE FIRST 10,000 SF OF FLOOR AREA (5,310 SF)	0 (SEE NOTE #4)

- NOTES:  
1. "N" REPRESENTS THE NUMBER OF HANDICAP SPACES INCLUDED IN THE TOTAL SPACES.  
2. PARKING REQUIREMENTS PER VILLAGE OF ESTERO LDC, 5-204.B.  
3. BICYCLE PARKING REQUIREMENTS PER VILLAGE OF ESTERO LDC, 5-206.  
4. GOODS SHALL NOT BE DELIVERED VIA LARGE SEMI-TRAILERS OR FULL TRAILER TRUCKS SO NO LOADING SPACES ARE REQUIRED PER VILLAGE OF ESTERO LDC, 5-206.



**DELISI FITZGERALD, INC.**  
Planning - Engineering - Project Management

1605 Hendry Street  
Fort Myers, FL 33901  
(239) 418-0691  
(239) 418-0692 Fax

Florida Certificate of Authorization  
Engineering LB #0978

ENGINEER OF RECORD:  
JOHN V. WOODRA, P.E. (P.C. 104,149)  
FLORIDA P.E. NO. 18217

NO. 164126 IN DESIGN, DRAWING, AND/OR DESIGN

OWNER / DEVELOPER:  
**SD ESTERO CROSSING, LLC**  
2400 PROFESSIONAL CIRCLE, SUITE 101  
ESTERO, FL 33922  
(239) 555-7346

PROJECT:  
**ESTERO CROSSING OAK & STONE**

PLAN REVISIONS	DATE	DESCRIPTION

**SITE LAYOUT, SIGNING AND MARKING PLAN**

Project Manager	JTW
Drawn By	CAS
Checked By	JTW
Project Number	21582
Located in Section(s)	35
Township	46 S Range
County, State	LEE COUNTY, FL

Sheet Number: 5

# LANDSCAPE PLANS



BBS - SHADY LADY BLACK OLIVE



CA - CRINUM LILY



DRS - DURANTA STANDARD



FM - GREEN ISLAND FICUS



HS - HIBISCUS STANDARD



IX - RED TAIWAN IXORA



JC - DWARF SHORE JUNIPER



POP - PRINGLES PODOCARPUS



RI - DWARF INDIAN HAWTHORN



SN - WHITE BIRD OF PARADISE



TJV - VARIEGATED CONFEDERATE JASMINE

BUILDING PERIMETER PLANT MATERIAL SCHEDULE							
PLANT MATERIAL NOTES: 1. THE CONTRACTOR SHALL AND BE RESPONSIBLE FOR THE PLANT SIZE AND NOT SOLLEY BY THE CONTAINER. CONTAINER IS PROVIDED AS A MIN. SIZE. 2. THE GENERAL CONTRACTOR/LANDSCAPE CONTRACTOR SHALL PERFORM A MIN. OF 3 SOIL TEST FROM VARIOUS LOCATION AROUND SITE AFTER FILL HAS BEEN COMPLETED. TEST SHALL BE SUBMITTED TO OWNER/LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO ANY PLANTS BEING INSTALLED. SITES LARGER THEN 10 ACRES SHALL HAVE A MIN. OF 5 SOILS SAMPLES TESTED. 3. IN A CONFLICT BETWEEN THE PLANS AND THE SPECIFICATIONS/PLANT MATERIAL SCHEDULE, THE PLANS SHALL GOVERN.							
QTY	CODE	BOTANICAL NAME	COMMON NAME	SPECIFICATION	NATIVE	DROUGHT TOLERANCE	NOTES
2	BBS	BUCCIDA BUCERAS 'SHADY LADY'	SHADY LADY BLACK OLIVE	12' HT. x 6' SPR. FULL, 3.5' CAL.	NO	YES	
4	CA	CRINUM AUGUSTUM 'QUEEN EMMA'	QUEEN EMMA CRINUM LILY	7 GAL, 36" HT. MIN. x 30-36" SPD.	NO	YES	
2	DRS	DURANATUS ERECTUS	DURANATA STANDARD	16' HT. x 18" SPD.	YES	YES	
20	FM	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL, 18-18" HT. X 12" SPD. FULL	NO	YES	
2	HS	HIBISCUS 'STANDARD'	TREE-FORM HIBISCUS	6' HT. x 3' SPR. 30" C.T.	NO	YES	
29	IX	IXORA 'RED TAIWAN DWARF'	RED TAIWAN IXORA	3 GAL, 20" HT. X 12" SPD. FULL	NO	YES	
35	JC	JUNIPERUS CONFERTA COMPACTA	DWARF SHORE JUNIPER	1 GAL, 8" HT. X 12" SPD.	NO	YES	
49	POP	PODOCARPUS MACROPHYLLA 'PRINGLES'	PRINGLES PODOCARPUS	3 GAL, 18" HT. X 12" SPD. DENSE	NO	YES	
1	RI	RAPHIDOLEPIS INDICA 'WHITE'	DWARF INDIAN HAWTHORN	3 GAL, 16" HT. X 18" SPD. DENSE	YES	YES	
40	SN	STRELTZIA NICOLAI	WHITE BIRD OF PARADISE	8-10' HT., HEAVY	NO	YES	
45	TJV	TRACHELOSPERMUM JAS. VARIEGATED	VARIEGATED CONFEDERATE JASMINE	1 GAL, 10-12" SPD.	NO	YES	

BUILDING FOUNDATION LANDSCAPE AREA REQUIREMENTS			
	BUILDING FOOTPRINT	BUILDING PERIMETER	LANDSCAPE PROVIDED
G&M AND STONE	7,260 S.F.	380 L.F.	726 S.F., 5,525 S.F.

VEHICULAR USE AREA LANDSCAPE REQUIREMENTS	
TOTAL VEHICULAR USE AREA (VUA) CALCULATIONS SUBMITTED AND APPROVED AS PART OF ESTERO CROSSING COMMERCIAL DO PLANS	

LANDSCAPED OPEN SPACE	
CALCULATIONS SUBMITTED AND APPROVED AS PART OF ESTERO CROSSING COMMERCIAL DO PLANS.	

LANDSCAPE MATERIAL QUANTITIES	
SHREDED HARDWOOD MULCH, COLOR HARDWOOD BROWN	14 C.Y.
MEXICAN BEACH STONE	.5 C.Y.
ST. AUGUSTINE FLOPATAM (SOD)	T.B.D.

\*QUANTITIES ARE PROVIDED AS A COURTESY. CONTRACTOR TO VERIFY ALL QUANTITIES. TREES NOT INCLUDED IN PLANT BEDS TO HAVE A MIN. 4 DIA. MULCH RING

BUFFER PERIMETER CALCULATIONS	
PERIMETER BUFFER CALCULATIONS SUBMITTED AND APPROVED AS PART OF ESTERO CROSSING COMMERCIAL DO PLANS	

GENERAL NOTES	
1. CONTRACTOR SHALL VISIT THE SITE AND INFORM HIMSELF FULLY AS TO CONDITIONS THEREON AND OF ADJACENT SITES WHICH WILL BE AFFECTED BY THE WORK.	
2. DO NOT WILLFULLY VIOLATE ANY ORDINANCES, REGULATIONS, ORDINANCES, EXISTING TREE CANOPIES, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE DESIGN/ENGINEERING. SUCH OBSERVATIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT/OWNERS REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT REPORTED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.	
3. THE DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. ALL BRACKETS, TEMPORARY SUPPORTS, SHORING, ETC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OBSERVATION VISITS TO THE JOB SITE BY THE LANDSCAPE ARCHITECT/OWNERS REPRESENTATIVE DOES NOT INCLUDE INSPECTION OF CONSTRUCTION METHODS AND FOR SAFETY CONDITIONS AT THE WORK SITE. THESE VISITS SHALL NOT BE CONSIDERED AS CONTINUOUS AND DETAILED INSPECTIONS.	
4. CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING HIS WORK PRIOR TO CONSTRUCTION.	
5. NO CONTRACTOR IDENTIFICATION SIGNS SHALL BE PERMITTED ON THE PROJECT, EXCEPT AS APPROVED BY THE OWNER.	
6. ALL PERMITS NECESSARY ARE TO BE PROVIDED BY THE INSTALLING CONTRACTOR INCLUDING ALL COSTS. THE CONTRACTOR SHALL NOT KNOWINGLY VIOLATE CONDITIONS OF THE PERMITS. ALL CONFLICTS WITH THE PERMIT CONDITIONS AND THE PLANS, DETAILS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT REPRESENTATIVE. THE CONTRACTOR SHALL FAMILIARIZE AND SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE APPROVED TREE PERMIT.	
7. ALL UTILITIES TO REMAIN IN PLACE, EXCEPT AS INDICATED ON THE DRAWINGS, CONTACT "ONE-CALL" AT 811 AT LEAST 48 TO 72 HOURS PRIOR TO EXCAVATION FOR VERIFICATION OF EXISTING UTILITY LOCATIONS PRIOR TO ANY EXCAVATIONS. HOT ALL UTILITIES ARE HIBBERS OF THE "ONE-CALL" SYSTEM. THEREFORE, DIRECT CONTACT WITH THE UTILITY COMPANY MAY BE REQUIRED. CONTRACTOR SHALL CONTACT CITY OF TREASURE ISLAND FOR LOCATION OF UNDERGROUND STORM WATER, SEWER AND WATER UTILITIES AND LATERAL LINES THAT MIGHT BE PRESENT, ALL UTILITIES TO REMAIN IN PLACE, EXCEPT AS INDICATED ON THE PLANS.	
8. LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE PLANS, BUT DO NOT PURPORT TO BE ABSOLUTELY CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING HIS WORK PRIOR TO CONSTRUCTION.	
9. CONTRACTOR SHALL MAKE ALL EFFORTS TO LIMIT THE "TRACKING" OF SOIL ONTO CITY/COUNTY STREETS FROM HAULING ACTIVITIES. CONTRACTOR SHALL REMOVE ALL SOIL FROM CITY/COUNTY STREETS RESULTING FROM CONSTRUCTION ACTIVITIES.	
10. CAREFULLY REVIEW THE PLANS AND THE SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ITEMS CONTAINED HEREIN. IF THERE IS A CONFLICT BETWEEN THE PLANS AND THE SPECIFICATIONS, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.	
11. IN A CONFLICT BETWEEN THE PLANS AND THE SPECIFICATIONS, THE PLANS SHALL GOVERN.	
12. THE CONTRACTOR SHALL PROVIDE A SUBMITTAL LOG FOR APPROVAL BY THE PROJECT REPRESENTATIVE. ALL SUBMITTALS ARE TO INCLUDE THE NUMBERING SYSTEM DEVELOPED IN THE SUBMITTAL LOG.	
13. THE CONTRACTOR SHALL PROVIDE A 24 HOUR EMERGENCY CONTACT PERSON AT THE PRE-CONSTRUCTION MEETING.	
14. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT IN WRITING, AND REQUEST A FINAL INSPECTION. ANY ITEMS THAT ARE JUDGED INCOMPLETE OR UNACCEPTABLE BY THE OWNER OR THE LANDSCAPE ARCHITECT SHALL BE PROMPTLY CORRECTED BY THE CONTRACTOR.	
15. SIDEWALK / PAVING LAYOUT SHALL BE FIELD-STAKED USING G.P.S. BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINAL WORK AND INSTALLATION. THE CONTRACTOR MUST NOTIFY THE L.A. AT LEAST FORTY EIGHT HOURS IN ADVANCE OF THE REQUIRED REVIEW. ALL OF THE PROPOSED LOCATIONS SHALL BE MARKED FOR A SPECIFIC PHASE OF WORK PRIOR TO CALLING FOR A REVIEW. COORDINATES THAT DO NOT RESULT IN THE GEOMETRY SHOWN ON THE PLANS SHALL BE CHECKED BY THE CONTRACTOR'S SURVEY CREW. CORRECTIONS OF TRAIL SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT. LAYOUT MUST COMPLY WITH TDR PERMIT	
16. ALL CONCRETE WALKS SHALL NOT EXCEED A SLOPE OF 1:20, AND CROSS SLOPES ON ALL CONCRETE SIDEWALKS SHALL NOT EXCEED 2%. IF THE SIDEWALK DOES EXCEED THIS SLOPE, ADA COMPLIANT HANDICAP RAMPS WILL BE REQUIRED.	
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESORBING AND THE COST OF ALL REQUIRED CONCRETE TESTING. TESTING SHALL INCLUDE BUT NOT BE LIMITED TO MATERIALS FOR PAVING SUB-BASE, ASPHALT PAVING, STRUCTURAL AND PAVING CONCRETE.	
18. CONTRACTOR TO MAINTAIN EXISTING BENCH MARKS, HORNBOLMS, AND OTHER REFERENCE POINTS WITHIN AND ADJACENT TO THE PROJECT LIMITS. CONTRACTOR TO CONTACT ALL RESPONSIBLE PARTIES IF RELOCATION IS REQUIRED OF BENCHMARKS AND OTHER REFERENCE POINTS.	
19. CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY'S ARCHEOLOGICAL EXPERT IF DURING THE EXCAVATION PROCESS ARTICLES OF SIGNIFICANCE ARE UNCOVERED.	
20. ANY CHANGES MADE BY THE FILED BY THE CONTRACTOR OR OWNER REGARDING THE HARBORCAMP PLACEMENT SHALL BE FULLY RECORDED WITH AS-BUILTS AND PROVIDED TO THE OWNER AND L.A.	
21. DESIGN, MATERIALS, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED BELOW OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE, PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE OWNER, OWNERS REPRESENTATIVE AND THE APPLICABLE GOVERNING CODE AUTHORITY.	
22. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTORS OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.	



144 Second St. N. Ste. 302  
St. Petersburg, FL 33701  
772.822.5888  
CONSULTANTS  
DLSI DESIGN  
DELSI FITZGERALD INC  
1605 HENRY STREET  
FT WERTH, FLORIDA  
239-416-0091  
239-286-2531  
ARCHITECT  
G&M ARCHITECTURE  
43 BARRELY CIR 2002  
FT WERTH, FLORIDA, 33907  
239-475-0225

OWNER  
STOCK DEVELOPMENT  
2610 PROFESSIONAL CIRCLE, SUITE 100  
MAPLES, FLORIDA  
239-905-7394

ESTERO CROSSING  
OAK AND STONE  
CORKSCREW ROAD  
ESTERO | FLORIDA  
SIGNATURE & SEAL

PL Registration: LC26000471  
P.I.M.  
ISSUE DATE  
1 | 1.16.24 | 09-28-21

REVISIONS		
NO.	DATE	DESCRIPTION

NO SCALE  
LANDSCAPE SCHEDULES AND CALCULATIONS  
LC- 1.00

● IRRIGATION SYSTEM TO BE DESIGNED TO ELIMINATE WATERING OF IMPERVIOUS SURFACES





# ARCHITECTURAL CHARACTER

## “Mediterranean” Style Architecture

The “Mediterranean” style embraces the historical design of the Mediterranean regions with the modernity of “Florida Coastal” style of architecture. Exterior elements such as **white smooth finished stucco**, **barrel tile roofs**, **arched openings** and **detailed gables** give the Mediterranean flavor. The clean modern massing of the architecture and the resort atmosphere created by lush landscaping and inviting amenity spaces, lend towards the “Florida Coastal” style. This elegant composition achieves a **harmonious** and **stylish** design of architecture that is timeless, graceful and will enhance the community of the Village of Estero for years to come.

## Design Approach

Create a design that is timeless and graceful

- Barrel tiled roofs of warm and rich texture.
- Detailed roof gables with simple but enhancing design elements.
- Stylized windows – respectful yet contemporary.
- White smooth finished stucco – blending of classic and modern styles.
- Balconies with rustic wood detailing and respectfully placed arches.
- Identifiable and inviting building entries.
- Architecture and exterior spaces that create a resort style experience.

ARCHITECTURAL PLANS

ESTERO CROSSING - BUILDING 4

CORKSCREW RD.  
ESTERO, FL 33928  
STRAP : 35-46-25-E1-U2192.2338

RENDERING







# BUILDING ELEVATIONS



**G1 WEST EXTERIOR ELEVATION - ENTRY**

SCALE 3/16" = 1'-0"



## ESTERO CROSSING

**A1 SOUTH EXTERIOR ELEVATION**

SCALE 3/16" = 1'-0"

TRIM COLOR (P4)

ACCENT / TRIM COLOR (P3)

ACCENT WALL COLOR (P2)

BASE WALL COLOR (P1)



STONE (S1)



STONE (S2)



FITCHED ROOF TILE

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**GMA**  
 ARCHITECTS  
 PLANNERS  
 43 BAPALVEY CIRCLE SUITE #202  
 FORT MYERS, FL 33907  
 P. 239.275.0225 F. 239.275.7123

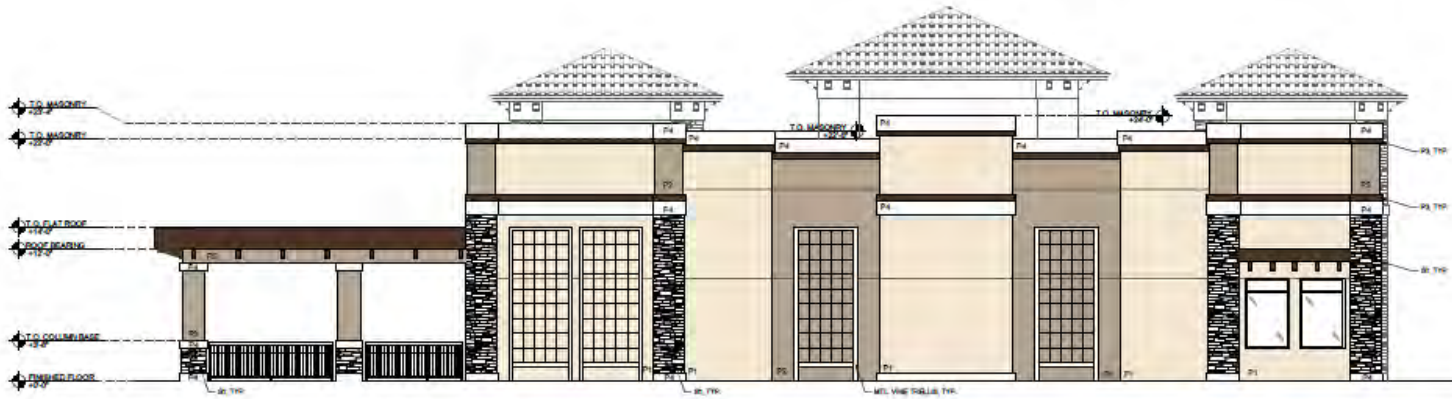
**ESTERO CROSSING**  
**OUTPARCEL - BUILDING 4**  
 CONCEPT REVISION  
 ESTERO, FLORIDA  
 EXTERIOR ELEVATIONS

ISSUE HISTORY	
NO.	DESCRIPTION
1	ISSUE 1
2	ISSUE 2
3	ISSUE 3
4	ISSUE 4
5	ISSUE 5
6	ISSUE 6
7	ISSUE 7
8	ISSUE 8
9	ISSUE 9
10	ISSUE 10
11	ISSUE 11
12	ISSUE 12
13	ISSUE 13
14	ISSUE 14
15	ISSUE 15
16	ISSUE 16
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38	ISSUE 38
39	ISSUE 39
40	ISSUE 40
41	ISSUE 41
42	ISSUE 42
43	ISSUE 43
44	ISSUE 44
45	ISSUE 45
46	ISSUE 46
47	ISSUE 47
48	ISSUE 48
49	ISSUE 49
50	ISSUE 50

FOR THE FIRM  
 DATE: 10/20/2021  
**A200**



# BUILDING ELEVATIONS



**G1 EAST EXTERIOR ELEVATION - REAR**

SCALE 3/16" = 1'-0"

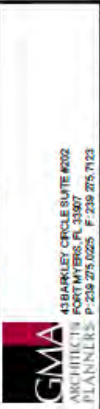


**A1 NORTH EXTERIOR ELEVATION**

SCALE 3/16" = 1'-0"



43 BARKLEY CIRCLE SUITE #202  
FORT MYERS, FL 33907  
P: 239.275.0225 F: 239.275.7123



**ESTERO CROSSING  
OUTPARCEL - BUILDING 4**  
ESTERO, FLORIDA  
EXTERIOR ELEVATIONS

ISSUE HISTORY

NO.	DATE	DESCRIPTION
1		
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FOR THE FIRM

JOB NO: 20021

1A201





Village of  
**ESTERO**

ESTERO CROSSING

---

**SCULPTURE PROPOSAL**

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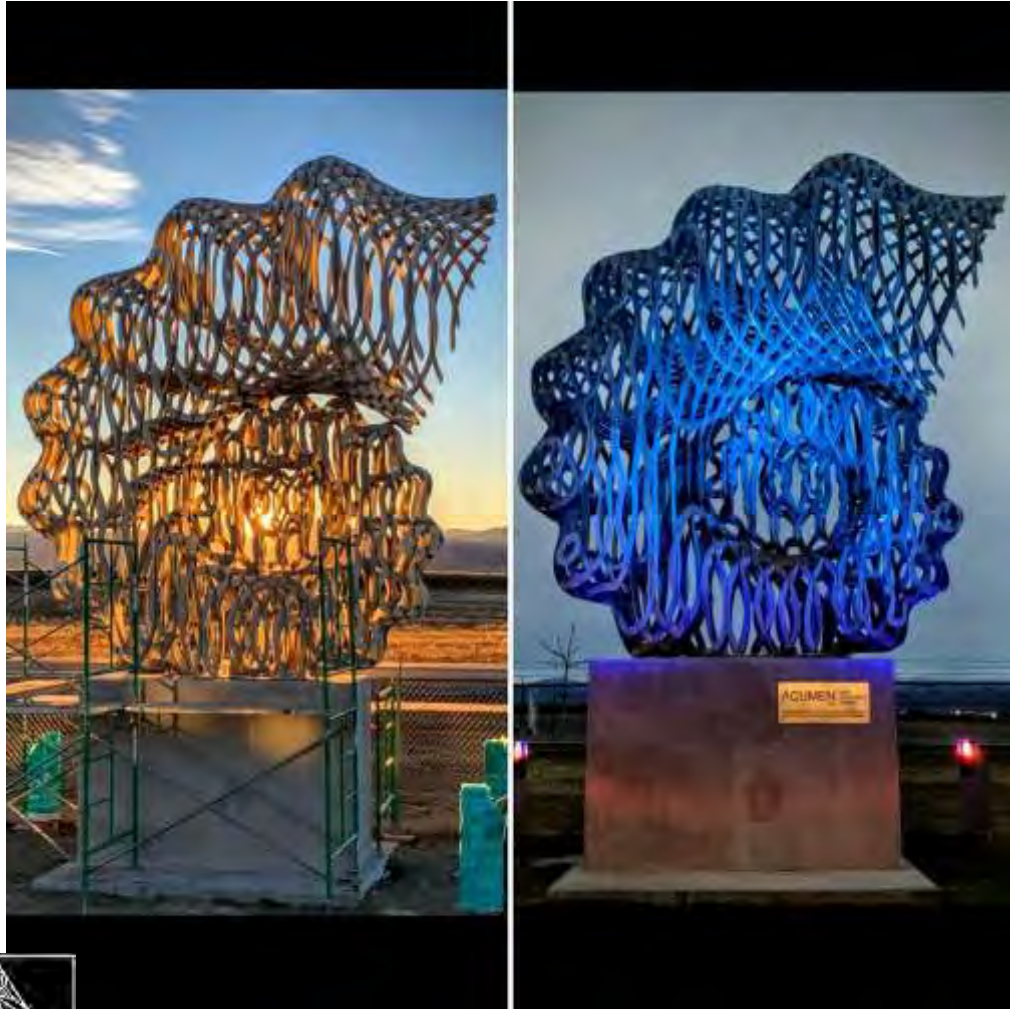


# RECENT WORKS





# 2021 WORKS



ACUMEN - Loveland, CO

NURTURE - Altamonte Springs, FL





# INSPIRATION

## ESTUARIES

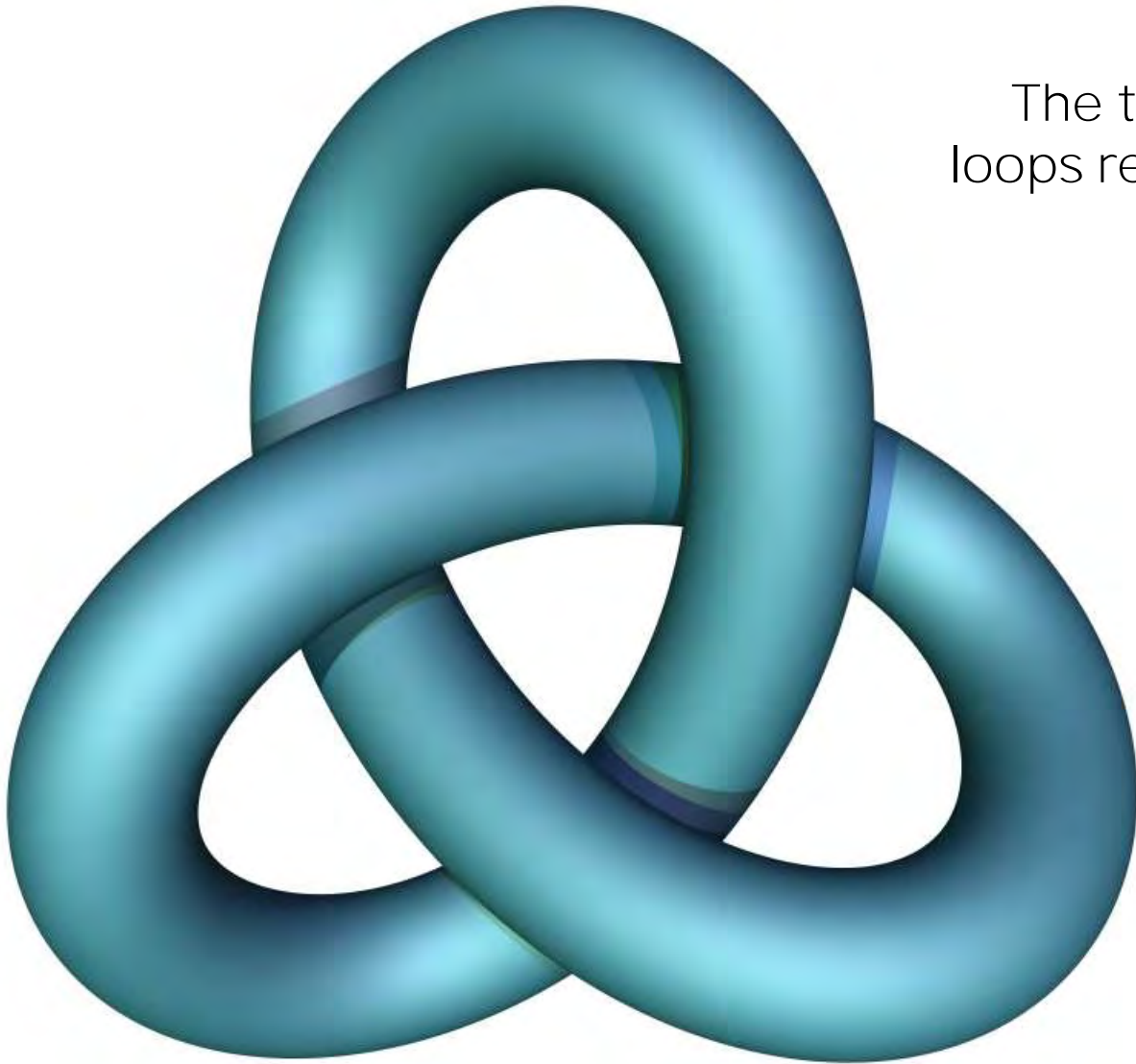


“Estero” is Spanish for estuary, the place where fresh and saltwater mix.

Estuaries are home to unique plant and animal communities that have adapted to brackish water—a mixture of fresh water draining from the land and salty seawater.

# INSPIRATION

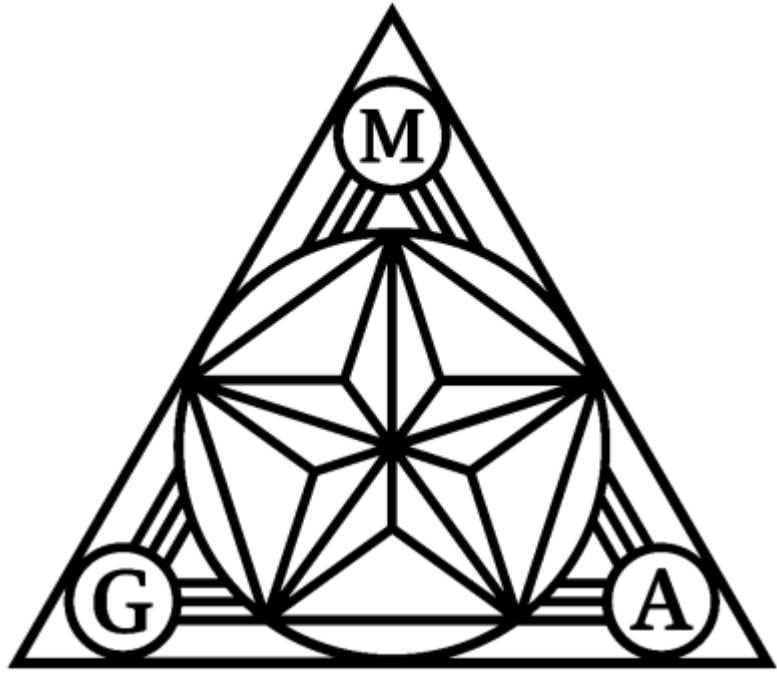
## TREFOIL KNOT



The trefoil is a sign of perpetuity, with the three loops representing the past, present, and future---or life, death, and rebirth.

It is also a symbol of fertility and abundance. It has no beginning and no end, a sign of the perpetual cycles of nature.

When thinking of the cyclical nature of the estuary, with the never ending process of evaporation, condensation, and the flow of gravity, I was drawn to the trefoil pattern.



**M · G · A**  

---

**SCULPTURE  
STUDIO**

**CONTINUUM**  
:a continual progression of elements





# ***CONTINUUM***

**SCULPTURE DIMENSIONS: ~10.5' x 6' x 14' TALL**

**MATERIAL: STAINLESS STEEL**

**COMPOSITION: ~90 INDIVIDUAL PIECES**

**PROJECTED WEIGHT: ~2,500 LBS**









M·G·A  
SCULPTURE  
STUDIO













ESTERO CROSSING













**Planning Zoning and Design Board**

***Staff Report***

<b>PROJECT NAME</b>
Clean Machine Estero
<b>CASE NUMBER</b>
DOS2021-E002
<b>MEETING DATE</b>
June 8, 2021
<b>REQUEST</b>
Development Order for an automated car wash and monument sign
<b>APPLICANT</b>
Clean Streak Ventures, LLC
<b>LOCATION</b>
On US-41 south of Vintage Parkway near The Vines
<b>PROPERTY SIZE</b>
1 acre±
<b>ZONING</b>
Parcel is zoned CC – Community Commercial
<b>PUBLIC INFORMATION MEETING DATES</b>
The DRB conducted meetings on August 12, 2020 and January 13, 2021

**Staff Recommendation**

Staff recommends approval with conditions of the Development Order. Staff believes with conditions the request meets the technical requirements of the Land Development Code.

The PZDB should review the project for compliance with general criteria of the Land Development Code and, in particular, the following facets:

1. Building architecture and colors
2. Site lighting elements and colors, including parking lot poles and fixtures
3. Connectivity
4. Landscaping and buffers for overall design and compatibility with the building and surrounding area

This project must be harmonious with the community and proposed developments in the general area, in conformity with good design, contributing to the image of the Village, not of inferior quality, and consistent with the Land Development Code. If the PZDB denies the application, it must state its findings regarding the criteria.



**Project Summary**

This project consists of a one-story automated car wash with 3,667 square feet of floor area on 1 acre on the southeast corner of US-41 and Vintage Parkway S.E which is part of TRACT "E" 'VINTAGE GOLF AND COUNTRY CLUB' (Plat Book 37, Page 41) STRAP #21-46-25-E4-0100E.0030. The project is bounded by The Vines entrance to the north; an undeveloped commercial parcel to the east; Tyson Eye to the south; and the Gulf Professional Center to the west across US 41.

**Request**

The applicant is requesting approval of a Development Order for a proposed automated car wash and monument sign. The project was reviewed by the DRB at several meetings and workshops. Staff has also reviewed the plans in detail. Staff includes Village Staff as well as Lee County Utilities, Lee County Department of Transportation, San Carlos Fire District, Lee Tran and Lee County Solid Waste Division. Staff believes the Development Order plans meet the technical requirements of the Land Development Code.

During the course of the review of the development order, the developer reached out to the adjacent Vines residential community for their comments and concerns and provided supplemental materials (noise study).

**Architecture and Height**

The Design Review Board suggested that the architectural plans initially submitted needed revisions. The applicant modified the plans several times. Most recently, two color palettes were shown by the applicant at the workshop of the Planning Zoning and Design Board on May 11<sup>th</sup>. The Planning Zoning and Design Board suggested the applicant return with one color theme. The applicant revised the plans based on suggestions from the workshop and is proposing the beige and brown color scheme. Staff believes the revised plans are consistent with the Code, and blend with the surrounding uses.

The maximum height for the zoning district is 45 feet, and both the building roof and tower comply with the height. The central tower is the tallest feature at a maximum height of 39.5 feet.

**Transportation**

The project will generate 78 peak hourly trips. According to the FDOT 2018 Lee County Traffic Worksheet US-41 is operating at LOS = “C” for the link from Vintage Parkway south to Estero Pkwy. This link will continue to operate at LOS = “C” with the proposed traffic. This project will pay road impact fees.

Nineteen (19) parking spaces are provided.

A new 5-foot-wide concrete sidewalk is proposed to be constructed along the access drive then southwest along Vintage Parkway S.E to connect to the US-41 sidewalk. The Proposed Site Plan showing the connectivity is provided in the applicant’s presentation.

**Stormwater**

The surface water management system consists of catch basins, pipes and swales to capture stormwater runoff and convey to the master SWM system for water quality treatment and attenuation prior to outfall into The Vines system via an existing control structure.

The proposed surface water management system design and calculations have been reviewed by the Village staff and a SFWMD ERP modification (Permit # 36-00478-S) has been approved. The proposed elevation of the finished floor is 16.35 feet NAVD88.

### **Lighting**

Consistent with Land Development Code Section 34-625, site lighting is provided by LED luminaire full cut-off fixtures mounted at 20 feet on poles, and wall mounted sconce style fixtures, all textured black color, which produce an average of 1.1 footcandles (fc) illumination in the main parking lot with a maximum 0.5 fc measured at the property line onto the adjacent commercial property to the south. All LED luminaires are limited to a maximum IES “BUG” rating of: B = 1, U = 0, G = 1, and a Correlated Color Temperature (CCT) of 3,000 K which meet the Village requirements. Details of the light poles and fixtures are provided with the applicant’s documents.

### **Landscaping**

The developer is proposing to save ten (10) heritage trees and is only removing one of the live oak trees (14” dbh) due to its health condition as determined by a licensed arborist. A 25-foot-wide Type D buffer is provided along US-41 (SW) and Vintage Parkway S.E. (NW) to screen the parking and building. A 20-foot-wide Type D buffer is provided along the northeast property line to separate the commercial use from the access road. A 5-foot-wide Type A buffer is provided along the southeast property line to separate the commercial use from the adjacent Tyson Eye parcel. The existing landscaping within the Vintage Parkway ROW will remain as it is today. Landscaping is provided in the vehicular use areas and building perimeter plantings are also provided per the LDC.

### **Gathering Space**

A public gathering space with two benches and trash can is proposed along the sidewalk adjacent to the heritage trees.

### **Residential Impact Mitigation**

A requirement under the new Land Development Code (LDC Section 5-1303) addresses impacts of commercial uses when located in proximity to residential uses. The applicant has provided a narrative addressing those requirements, as well as a noise study (Acoustical Impact Study). The applicant’s key findings are listed below:

#### **A. Off-street Parking, Access, and Connectivity**

1. Off-street parking is provided per LDC Table 5-204.B.1.
2. The access points meet the spacing requirements of the LDC. The main entrance is located as far away from Vintage Parkway as possible.
3. The buffer has been provided per #2 above.
4. There is currently no sidewalk along Vintage Parkway or the access road to the east. The project proposes a new sidewalk along Vintage Parkway and the access road. This sidewalk connects to the existing sidewalk along US-41.

#### **B. Perimeter Buffers**

The proposed buffers meet the requirements of the LDC.

#### **C. Noise**

1. The sound study confirms that the noise levels will meet or exceed the LDC requirements.
2. The building is oriented with the entrance and exits to the tunnel north and south to direct sound away from the residential property to the east.
3. The central vacuum machines have been relocated into the principal structure to minimize the noise generated.
4. A wall has been extended at the exit of the tunnel on the east side nearest The Vines to help deflect the noise towards US-41 and away from The Vines.
5. A sound study has been conducted which shows that the proposed facility will operate within the limitations of the Estero Noise Control Ordinance.



6. A fast acting door at the exit of the tunnel that stays closed until the blowers are turned off has been added to help further mitigate the noise.

D. Other Hazardous or Adverse Impacts

1. A system of drains in the carwash tunnel that collect the runoff from the wash. The tunnel area drains into a series of structures (reclaimed tanks) that recycle the wash water to be reused for future washes. There is an overflow on this recycle system that routes the excess water through and oil/water separator which then drains into Lee County Utility's Central Sewer System. The car wash runoff will not enter the stormwater system.
2. The developer agrees to make any repairs caused by the construction of the car wash project to The Vines paver road from US-41 to the access road at the car wash entrance and appropriate striping after their construction is completed.

E. Operational Standards

1. The hours of operation have been adjusted to open the business at 8:00 a.m. – 8:00 p.m. instead of 7:00 a.m. – 8:00 p.m., as requested by The Vines.
2. No fleet accounts will be served at this location to help eliminate stacking of cars on the two lane access road that could cause blockage of that road.

**Staff Proposed Conditions**

In addition to the typical development order stipulations, staff is proposing 4 additional conditions:

1. Hours of operation will be limited to 8:00 a.m. to 8:00 p.m. daily.
2. The developer agrees to make any repairs caused by the construction of the car wash to The Vines paver road from US 41 to the access road at the car wash entrance, and appropriate striping, upon completion of the construction.
3. No fleet accounts will be serviced at this location.
4. The sign on the eastern facing tower shall be deleted from the plans, and the monument sign will remove the reference to "Free Vacuums".

Exhibits

Sound Studies 1-3



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## ACOUSTICAL IMPACT STUDY – ADDENDUM

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Date: 19 May 2021

To: Steve Lipofsky  
VP of Development

Clean Streak Ventures  
222 South Westmonte Drive, Suite 251  
Altamonte Springs, Florida 32714

From: Sam Shroyer, ASA INCE  
Edward Dugger, FAIA ASA NCAC INCE

Re: **Noise Impact Study Addendum**  
**Clean-Machine Car Wash**  
**US 41 & Vintage Parkway**  
**Estero, Florida 33928**  
ED+A 201246

Mr. Lipofsky,

As requested, this report has been prepared to serve as an addendum to the October 29, 2020 report prepared by Edward Dugger + Associates (ED+A). The findings, means of analysis, and conclusions of that report are summarized on the following pages. Comments provided by the Village of Estero on April 19, 2021 are also addressed.

Graphic plots illustrating anticipated sound levels throughout the area and the original ED+A report are included as exhibits.

Please contact ED+A with any further questions or comments.





## Summary

Edward Dugger + Associates (ED+A) were commissioned by Clean Streak Ventures in late 2020 to provide an assessment of noise-related impacts of the Clean-Machine Car Wash project, proposed for the southeast corner of U.S. 41 & Vintage Parkway in Estero, Florida.

This assessment consisted of:

1. A review of the proposed operations, equipment specifications, architectural plans and site surveys;
2. A community noise study documenting the existing ambient sound environment at and near the project site;
3. Sound level measurements at an existing franchise location in Bonita Springs to quantify the sound levels generated by operations;
4. Calculation of anticipated sound levels at the nearest residential and commercial properties following ANSI and ISO standard procedures;
5. Computer modeling to illustrate the attenuation of sound generated at the facility when observed in the surrounding area; and
6. Comparison of the predicted sound levels with noise level criteria prescribed by Estero (and Lee County) Ordinances.

ED+A's October 29, 2020 report documented the Clean-Machine Car Wash Acoustical Impact Study in detail, concluding that the proposed facility would operate in compliance with Estero and Lee County's Noise Control Ordinance. ED+A's conclusion was informed by long-term acoustical measurements at the project site, acoustical measurements at an existing Clean-Machine Car Wash, and the results of nationally- and internationally-recognized calculation methods for outdoor sound propagation.

## Regulatory Criteria

Operations at the property must adhere to the limits established by the Lee County Noise Control Ordinances and shall also not be plainly audible more than 25 ft onto residential properties. Additionally, noise sources shall be directed away from nearby residences.

Code of Laws and Ordinances of Lee County, Florida Chapter 24 $\frac{1}{4}$  Noise Control, or the "Lee County Noise Control Ordinance" is applicable to the subject property and surrounding area. The Ordinance provides two ways of determining whether a sound constitutes a noise disturbance: one prescribing specific maximum sound level limits based on the receiving property type and time of day and another more subjective set of standards.



Section 24¼-5(a) specifies the following sound level limits, to be measured at or within the real property line of the receiving land:

1. Residential
  - a. 7:00 a.m. – 10:00 p.m. 66 dBA
  - b. 10:00 p.m. – 7:00 a.m. 55 dBA
2. Commercial or business
  - a. 7:00 a.m. – 10:00 p.m. 72 dBA
  - b. 10:00 p.m. – 7:00 a.m. 65 dBA

The proposed facility will operate between 8:00 a.m. and 8:00 p.m. and will therefore be subject only to the day standards (7:00 a.m. – 10:00 p.m.) listed above.

Section 24¼-5(a)(4)(4) requires that ambient noise levels also be recorded and must be at least 5 dB below the sound level of the sound source under evaluation. If the ambient sound level is within 5 dB of the source level, no violation shall exist.

### **Ambient Sound Levels (Measured)**

Long-term acoustical measurements were conducted near the southeast corner of the project site for nearly seven consecutive days, beginning on September 29, 2020 and ending on October 6, 2020. The measurement location was approximately 300 ft from the center of U.S. 41, 132 ft to a point directly parallel to the proposed tunnel openings, and 260 to 270 ft from the nearest residential properties. The tunnel opening and nearest residential properties are approximately 168 ft and 540 to 560 ft from the center of U.S. 41, respectively.

Typical ambient sound levels at the site were determined from the resulting data. The average A-weighted equivalent-continuous sound level ( $L_{Aeq}$ )—or time-averaged sound level—of the twenty-four-hour periods of the measurement was 58.2 dBA. The primary source of sound in the area that ultimately determined the ambient sound levels was traffic on U.S. 41. Accordingly, sound levels varied considerably depending on the time of measurement; the average A-weighted day-average sound level ( $L_{Ad}$ )—measured between 7:00 a.m. and 10:00 p.m.—was 59.7 dBA, while the average A-weighted night-average sound level ( $L_{An}$ )—measured between 10:00 p.m. and 7:00 a.m. the following day—was 53.7 dBA.

Ambient sound levels were found to be almost entirely dependent on U.S. 41 traffic, which varies significantly not only over the course of a single twenty-four-hour observation period but also on the day of the week. The October 29, 2020 report includes several time-history plots and tables illustrating changes in sound level over time.



Therefore, the following values are considered to be representative of the ambient sound levels at and near the measurement location at the southeast corner of the project site:

1. Daily time-average  $L_{Aeq}$ : 58.2 dBA
2. Day (7:00 a.m. to 10:00 p.m.) average  $L_{Aeq}$  ( $L_{Ad}$ ): 59.7 dBA
3. Night (10:00 p.m. to 7:00 a.m.) average  $L_{Aeq}$  ( $L_{An}$ ): 53.7 dBA

### **Ambient Sound Levels (Calculated)**

Generally speaking, most sound sources can be classified as a point source or a line source. Point sources theoretically radiate sound equally in all directions and obey the inverse square law, which states that sound level due to a point source falls by 6 dB for every doubling of distance and increases by 6 dB for every halving of distance. At very large distances from the source, all sound sources behave as point sources. Line sources contain many point sources spread out along a line. In practice, free flowing highway traffic behaves as a line source. While sound spreads spherically around a point source, it spreads cylindrically around a line source. The cylindrical spreading implies a 3 dB reduction for every doubling of distance, or a 3 dB increase for every halving of distance from a line source.

In the context of this study, the car wash blowers would be classified as a point source and the traffic on U.S. 41 that ultimately determines the ambient sound levels would be classified as a line source.

Based on these principles, the measured ambient sound levels, and the respective distances between U.S. 41 and the aforementioned locations, ambient sound levels at the nearest residential properties would be anticipated to be approximately 57 dBA during the day and 51 dBA at night. Near the car wash tunnel, ambient sound levels would be anticipated to be 62 dBA during the day and 56 dBA at night.

### **Blower Sound Level Calculations**

ED+A conducted acoustical measurements at an existing Clean-Machine Car Wash in Bonita Springs, Florida on October 6, 2020. 77 dBA was measured 60 ft from the tunnel exit and 75 dBA was measured 75 ft from the tunnel exit. These values were utilized following the calculation procedures described above to estimate blower sound levels at the nearest residential properties.

The shortest distance between the tunnel exit and a residential property is approximately 368 ft. Based on this distance and the levels measured at the existing car wash, sound levels emanating from the tunnel exit would be expected to range from 59 to 61 dBA. These levels are below the daytime noise limit of 66 dBA provided by Section 24 $\frac{1}{4}$ -5 of

the Lee County Noise Control Ordinance for residential land uses. Additionally, they are within 5 dB of the estimated ambient sound level (57 dBA) at the residential properties.

However, these calculations assume unimpeded free-field sound propagation between the source and the receiver and do not account for several other factors providing sound level attenuation that would further reduce sound levels on these properties.

## Sound Level Attenuation

ANSI/ASA S12.62-2012 (ISO 9613-2:1996) specifies engineering methods for calculating the attenuation of sound during propagation outdoors in order to predict the levels of environmental noise at a distance from a variety of sources. Specific physical effects that contribute to sound attenuation are:

1. Geometrical divergence, or attenuation due to distance from the source;
2. Atmospheric absorption;
3. Ground effects;
4. Reflection from surfaces; and
5. Screening by obstacles.

Of these contributors, the attenuation provided by geometrical divergence is one of the most impactful; distance from the point of origination often provides the greatest reduction in sound level. As discussed previously, sound dissipates at different rates depending on the source classification (e.g., line source or point source).

An object shall be taken into account as a screening obstacle (often called a barrier) when it sufficiently obstructs the line-of-sight between a sound source and a receiving location. These obstructing barriers provide additional sound level attenuation, often referred to as insertion loss. Typically, a 5 dB reduction can be provided just by obstructing the line-of-sight between the source and the receiving location. Solid and massive structures—such as concrete—provide even greater sound level attenuation. The level of sound attenuation provided by these structures will vary based on the barrier's location and dimensions relative to the source and receiver locations. When a barrier is of substantial height and length, sound levels may be reduced by up to 25 dB—particularly if the sound source is very close to the structure, as in the case of the blowers in the car wash tunnel. These standard principles do not even account for ceiling or roof structures that would further limit the propagation of sound between the locations.

Due to the edges of the car wash tunnel, sound generated by the blowers will propagate out of the tunnel exit and entrance in a mostly directional manner, i.e., in the direction which the openings are facing. The car wash structure acts as a barrier of infinite height (due to the roof) where the line-of-sight between the source and receiving locations are



obstructed and only a limited amount of sound, if any at all, would diffract around the tunnel edges to propagate toward these properties.

Since the blowers are located within a partially-enclosed structure and the tunnel is oriented so that its openings are facing away from nearby residential properties, sound levels are anticipated to be well below—on the order of 5 to 20 dB—the 59 to 61 dBA range calculated previously at most residential properties.

### **Other Proposed Mitigation**

The Applicant is installing Sonny's Blower Inlet Silencer OEM replacement products on the car wash blowers. During the summer of 2020, ED+A conducted acoustical measurements at multiple car washes to quantify the sound level reduction provided by these devices for an unrelated endeavor. Subsequent analysis suggested that the devices reduce sound levels generated by the blowers by an additional 7 to 9 dB.

Although the acoustical measurements and analysis, standardized calculation procedures followed by ED+A, and accepted physical and acoustical principles described all indicate that the proposed Clean-Machine Car Wash will operate in compliance with the Estero and Lee County Noise Control Ordinances and that the levels generated will be well below applicable limits, the applicant has also amended the design of the facility to include an additional wall extending beyond the tunnel exit to further block the line-of-sight (i.e., further reduce the propagation of sound levels) between the tunnel exit and residential properties in Estero Country Club. It is also ED+A's understanding that a retractable door system—intended to close during blower operation—will be installed at the tunnel exit.

### **Conclusion**

ED+A's analysis has resulted in the conclusion that the proposed Clean-Machine Car Wash will operate in compliance with Village of Estero and Lee County requirements. The contents of the previous sections that support this conclusion may be summarized as follows:

1. The facility operations must comply with the Lee County Noise Control Ordinance and additional standards imposed by the Village of Estero:
  - a. Maximum level of 66 dBA at residential properties, as measured at or within the real property line of the receiving land;
  - b. Maximum level of 72 dBA at commercial properties, as measured at or within the real property line of the receiving land;

- c. Measured sound levels generated by the source under evaluation must be at least 5 dB greater than measured ambient sound levels; and
    - d. Generated sound shall not be “plainly audible” more than 25 ft onto residential properties.
  2. Long-term acoustical measurements were conducted to determine ambient sound levels at and near the project site:
    - a. Ambient sound levels were found to be dependent U.S. 41 traffic volumes;
    - b. Average ambient sound levels measured at the southeast corner of the project site:
      - i. 58 dBA for twenty-four-hour periods
      - ii. 60 dBA for day periods between 7:00 a.m. and 10:00 p.m.
      - iii. 54 dBA for night periods between 7:00 a.m. and 10:00 p.m.
    - c. At the nearest residential properties, likely ambient sound levels were calculated to be:
      - i. 57 dBA for day periods between 7:00 a.m. and 10:00 p.m.
      - ii. 51 dBA for night periods between 7:00 a.m. and 10:00 p.m.
    - d. At locations aligned with the car wash tunnel, likely ambient sound levels were calculated to be:
      - i. 62 dBA for day periods between 7:00 a.m. and 10:00 p.m.
      - ii. 56 dBA for night periods between 7:00 a.m. and 10:00 p.m.
3. Sound levels measured at an existing Clean-Machine Car Wash were used to calculate sound levels at the nearest residential properties per the inverse square law. The levels at the nearest residential properties to the proposed facility were calculated to be between 59 and 61 dBA.
  - a. These levels are below the 66 dBA day limit of the Lee County Noise Control Ordinance; and
  - b. These levels are less than 5 dB above ambient sound levels at the residential properties (57 dBA).
  - c. These calculations do not account for physical effects that will further attenuate sound propagating to these locations, as specified by ANSI/ASA S12.62-2012 (ISO 9613-2:1996):
    - i. Atmospheric absorption;
    - ii. Ground effects;
    - iii. Reflection from surfaces; and
    - iv. Screening by obstacles.
4. There are several other factors that will further reduce sound levels at the residential properties:
  - a. Screening by barriers and/or building structures (e.g., the wall and roof structures of the car wash tunnel) will reduce sound levels by up to 20 dB at most residential properties;



- b. The orientation of the car wash tunnel that results in emanation from the tunnel openings that is more prominent in that direction than in other directions;
- c. The installation of Sonny's Blower Inlet Silencer OEM replacement products, which are anticipated to reduce sound levels generated by the blowers by 7 to 9 dB;
- d. An additional wall structure extending beyond the car wash tunnel to further obstruct the line-of-sight between the tunnel exit and the residential area;
- e. A retractable door system that will close when the blowers are operating.

### **Acoustical Modeling Exhibits**

ED+A also prepared three-dimensional computer models using the SoundPLAN Essential 5.1 acoustical modeling software, which calculates sound levels over large areas following the procedures of ISO 9613-2:1996. The program also utilizes publicly available geographical and building information (e.g., ground elevations and building heights), to adequately consider the effects of the environment around the project site.

The accompanying Exhibits illustrate the modeling results, which are consistent with ED+A's calculations and demonstrate compliance with applicable noise standards. Exhibit A shows ambient sound generated by the roadway as measured during the daytime periods of ED+A's long-term acoustical measurements. On the commercial properties northwest and south of the project site, these levels range from 57 to 69 dBA. Sound levels at the front of the nearest residences were roughly 57 dBA.





Exhibit B details sound generated by the proposed facility only, including additional mitigation features such as the wall extension and the silencer devices. Note that these calculations applied a reduction of 3.5 dB to account for the silencers, as opposed to the expected 7 dB reduction; this was done to provide a more conservative estimate of the sound levels emanating from the car wash tunnel. Sound levels on the commercial property northwest of the project site range are at and below 60 dBA while sound levels at the residential properties appear to vary between 45 and 51 dBA. These levels are considerably below the Ordinance limits and the ambient levels illustrated in Exhibit A.

Exhibit C includes sound level contributions from both the proposed facility and the existing ambient sound levels generated on the roadway. The addition of the car wash noise sources did not result in any notable increases above the ambient sound levels on the aforementioned properties as documented in Exhibit B but did result in sound level increases in the immediate vicinity of the tunnel. The results of this model support ED+A's conclusions that the facility will operate in compliance with applicable Ordinance standards and will have no significant noise level impact at the nearest residential properties.

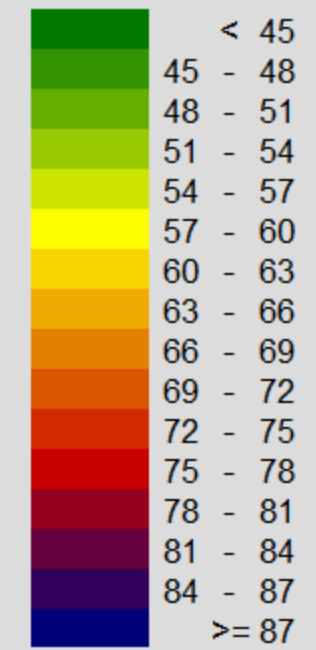
# Clean-Machine Car Wash Exhibit A

Ambient sound levels predominantly generated by vehicular traffic on U.S. 41.

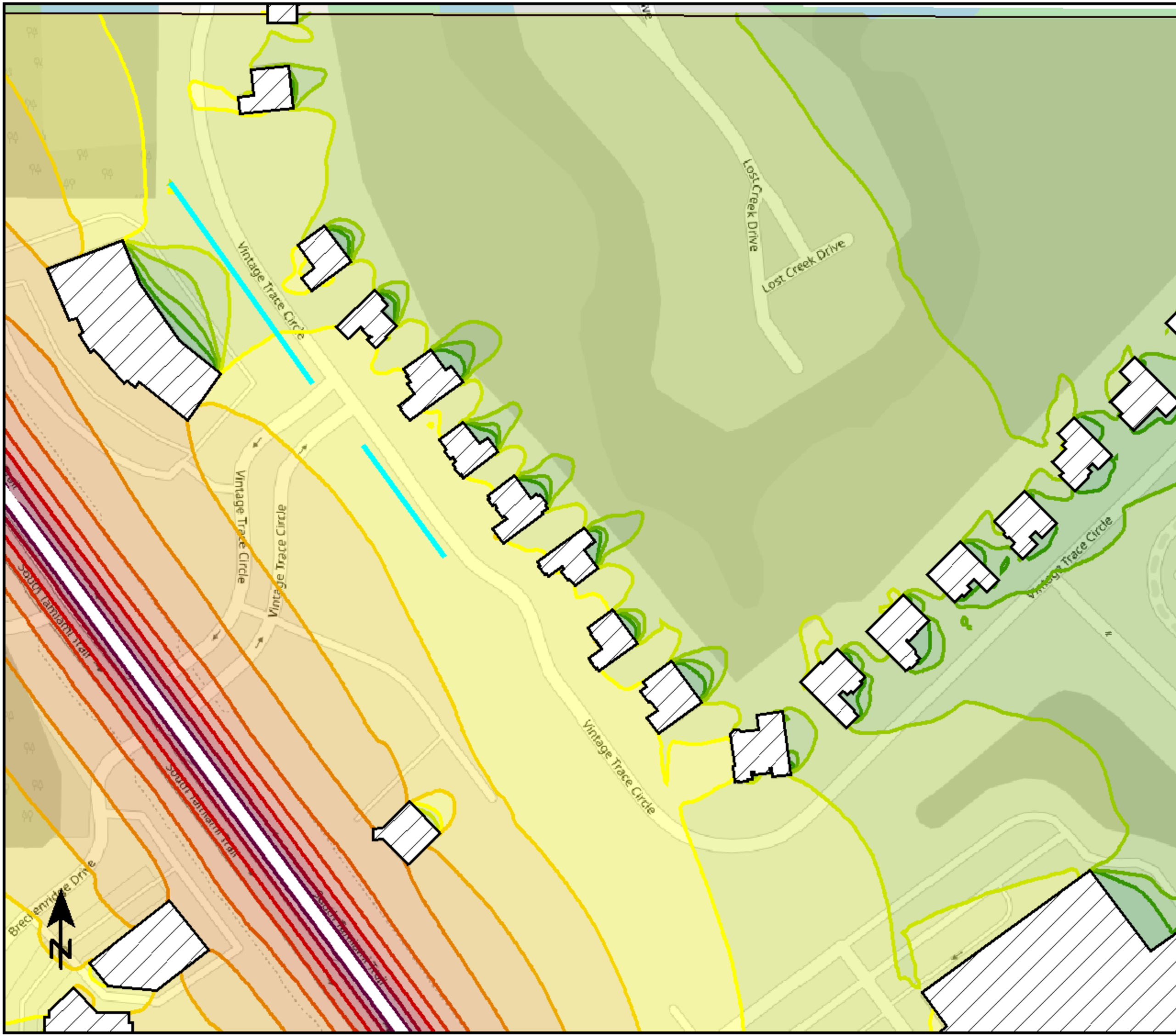
## Signs and symbols

-  Ground effects
-  Wall
-  Calculation area
-  Line source

## Levels in dB(A)



1 : 2564





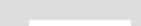




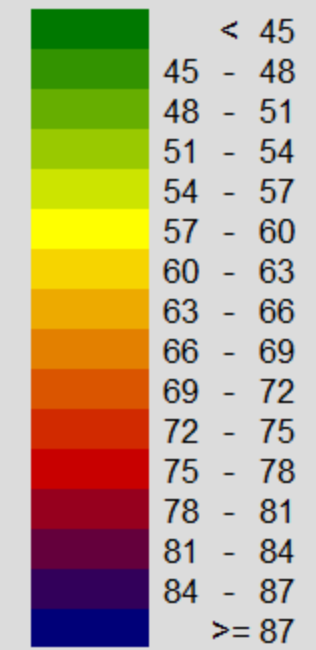
# Clean-Machine Car Wash Exhibit B

Calculated level of sound generated within the car wash tunnel and emanating from the tunnel openings.

## Signs and symbols

-  Wall
-  Wall
-  Building
-  Point source
-  Line source

## Levels in dB(A)



1 : 2564



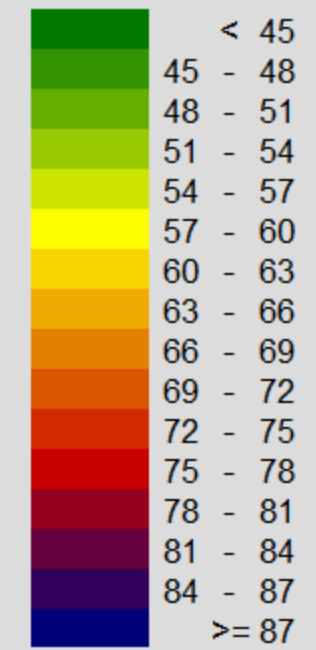
# Clean-Machine Car Wash Exhibit C

Combined sound levels generated by both the proposed car wash tunnel and U.S. 41.

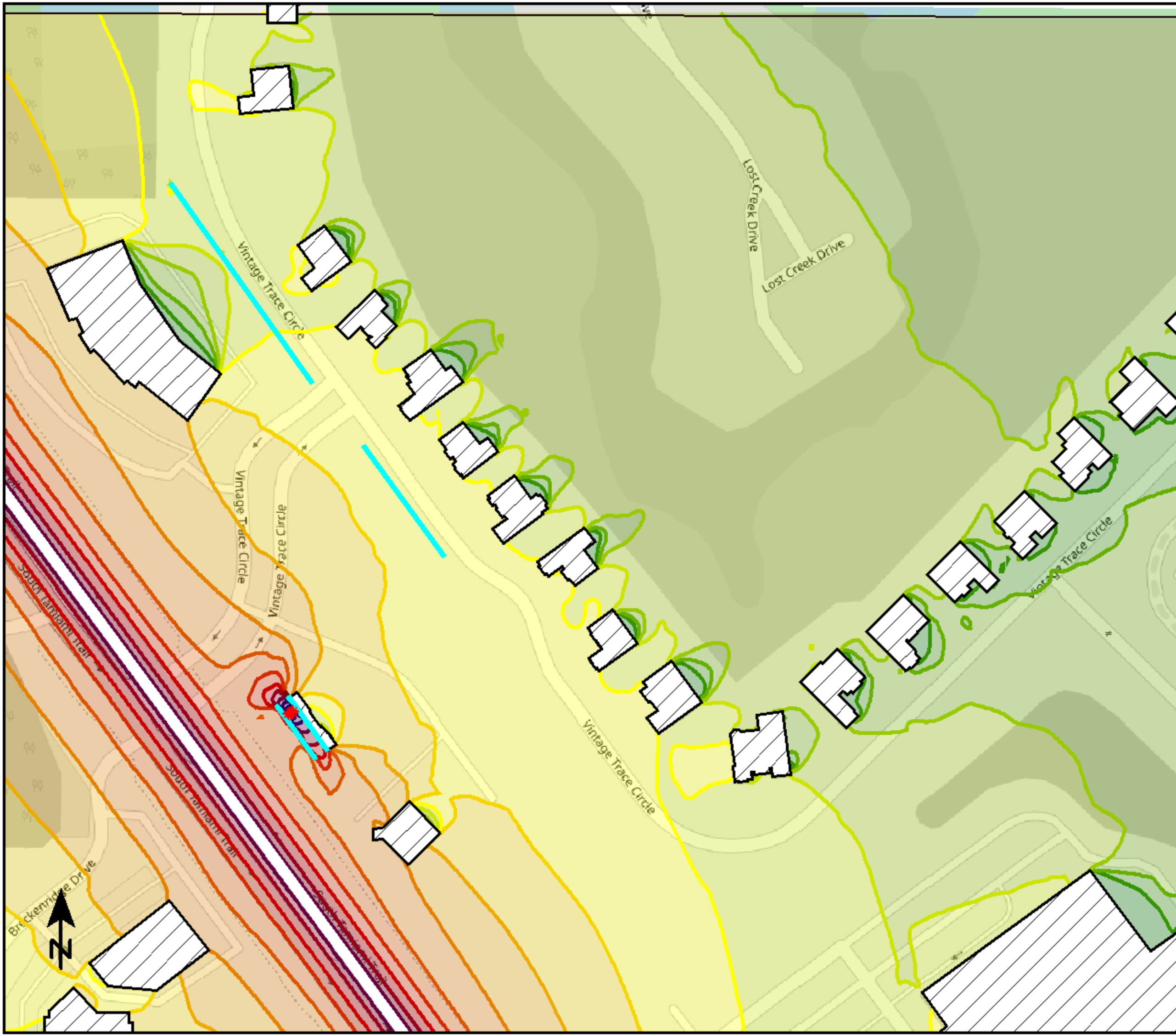
## Signs and symbols

- Wall
- Wall
- Building
- Point source
- Line source

## Levels in dB(A)



1 : 2564







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## ACOUSTICAL IMPACT STUDY

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Date: 29 October 2020

To: Steve Lipofsky  
VP of Development

Clean Streak Ventures  
222 South Westmonte Drive, Suite 251  
Altamonte Springs, Florida 32714

From: Sam Shroyer, ASA INCE  
Edward Dugger, FAIA ASA NCAC INCE

Re: **Noise Impact Study – Village of Estero**  
**Clean-Machine Car Wash**  
**U.S. 41 & Vintage Parkway**  
**Estero, Florida 33928**  
ED+A 201246

Mr. Lipofsky,

The following report documents an acoustical impact study prepared by Edward Dugger + Associates (ED+A) concerning the Clean-Machine Car Wash project, proposed for the southeast corner of U.S. 41 & Vintage Parkway in Estero, Florida. This assessment consisted of sound level measurements at an existing franchise location in Bonita Springs, a community noise study detailing the existing ambient sound environment at the proposed site, and an evaluation of the predicted sound level impact at the nearest residential and commercial properties, and a comparison of these levels with the limits prescribed by the Estero Noise Control Ordinance. The results of this study indicate that the proposed facility will operate within the limitations of the Estero Noise Control Ordinance Section 24 $\frac{1}{4}$ -5.

Please contact ED+A with any questions or comments regarding the contents of this report.



## SUMMARY

Edward Dugger + Associates (ED+A) has prepared this acoustical impact study in support of the Clean-Machine Car Wash facility proposed for the southeast corner of Vintage Parkway and U.S. 41 in Estero, Florida. ED+A conducted long-term acoustical measurements to document typical ambient sound levels near the project site. The resulting data were compared with American National Standards Institute (ANSI) guidelines for land use compatibility. Acoustical measurements were also performed at an existing Clean-Machine Car Wash facility in Bonita Springs, Florida in order to ascertain sound levels associated with the proposed facility's operations. Sound levels at the nearest noise-sensitive property boundaries were estimated following traditional acoustical calculation procedures, utilizing the measured sound levels and the distances between the predominant noise sources and the receiving locations. The results of these calculations were compared with the criteria of Section 24 $\frac{1}{4}$ -5 of the Estero Noise Control Ordinance. Based on this analysis, ED+A has concluded that the proposed facility will operate in compliance with the Estero Noise Control Ordinance.

## PROJECT INFORMATION

The Applicant is proposing the construction and operation of a Clean-Machine Car Wash facility at the southeast corner of Vintage Parkway and U.S. 41 in Estero, Florida (the site). The site, which is currently vacant, and the surrounding area are shown in Figure 1.

The site and adjacent properties east of U.S. 41 are designated as Urban Commercial land uses by the Village of Estero. Properties on the west side of U.S. 41 are designated as Transitional Mixed-Use land uses by the Village of Estero. Sound levels at the commercial properties immediately to the north and south of the project site are considered, but there are other uses in the area which are subject to stricter sound level limitations.

The residential properties in Estero Country Club to the north and east of the site are Village Neighborhood 1 land uses. The nearest of these properties on Vintage Trace Circle are considered the primary noise-sensitive receivers and are the focus of this study. Due to the irregular shapes and orientation of the site and these residential properties, the distance between these properties varies. The shortest distance from the site to a residential property is approximately 240 ft, but the nearest properties are roughly 300 ft from most locations along the site's northeast boundary.



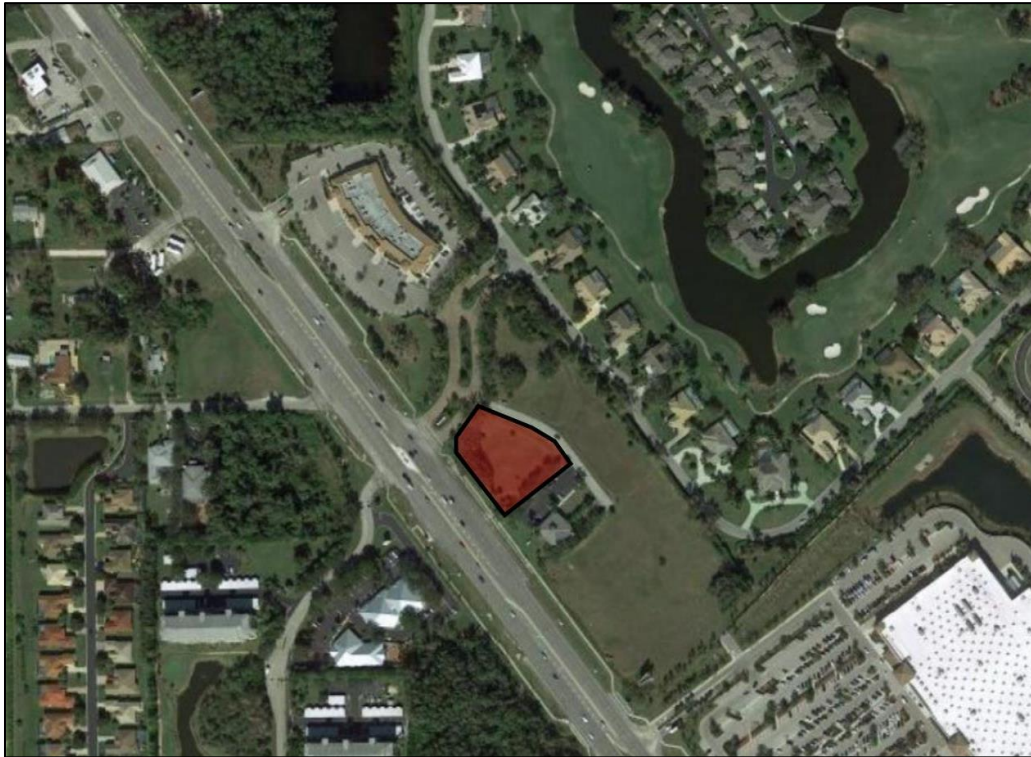


Figure 1. The project site (highlighted in red) and the surrounding area.

## ACOUSTICAL MEASUREMENTS

To prepare this analysis, ED+A conducted two sets of acoustical measurements:

1. Long-term sound level measurements at the project site to document the existing ambient sound level conditions, and
2. Observed sound level measurements at an existing Clean-Machine Car Wash facility in Bonita Springs to determine sound levels that will be produced by the proposed facility.

### Long-Term Ambient Measurements

A Type I acoustical measurement system was installed at the project site to document existing ambient sound levels in the area from September 29, 2020 to October 6, 2020. Notable components used to conduct these acoustical measurements, as well as the Bonita Springs measurements, are listed in Table 1.

The measurement microphone was placed near the southeast corner of the property (see Figure 2). The measurement microphone was oriented vertically on a tripod and housed in a weather-protective windscreen roughly 5.6 ft above ground as shown in Figure 3. The system and its components were calibrated before its deployment on September 29, 2020 and before its removal from the site on October 6, 2020.

<b>Table 1. Measurement Equipment</b>				
<b>Manufacturer</b>	<b>Model</b>	<b>Serial Number</b>	<b>Laboratory Calibration</b>	<b>Measurement Location(s)</b>
Brüel and Kjær	Type 2250-L Analyzer	3008039	June 17, 2020	Estero, Bonita Springs
Brüel and Kjær	Type 4952 Outdoor Microphone	3203561	March 11, 2020	Estero, Bonita Springs
Brüel and Kjær	Type 2270 Analyzer	2706869	April 7, 2020	Bonita Springs
Brüel and Kjær	Type 4189 Microphone	2726328	April 7, 2020	Bonita Springs
Brüel and Kjær	Type 4231 Sound Calibrator	2394124	August 25, 2020	Estero, Bonita Springs

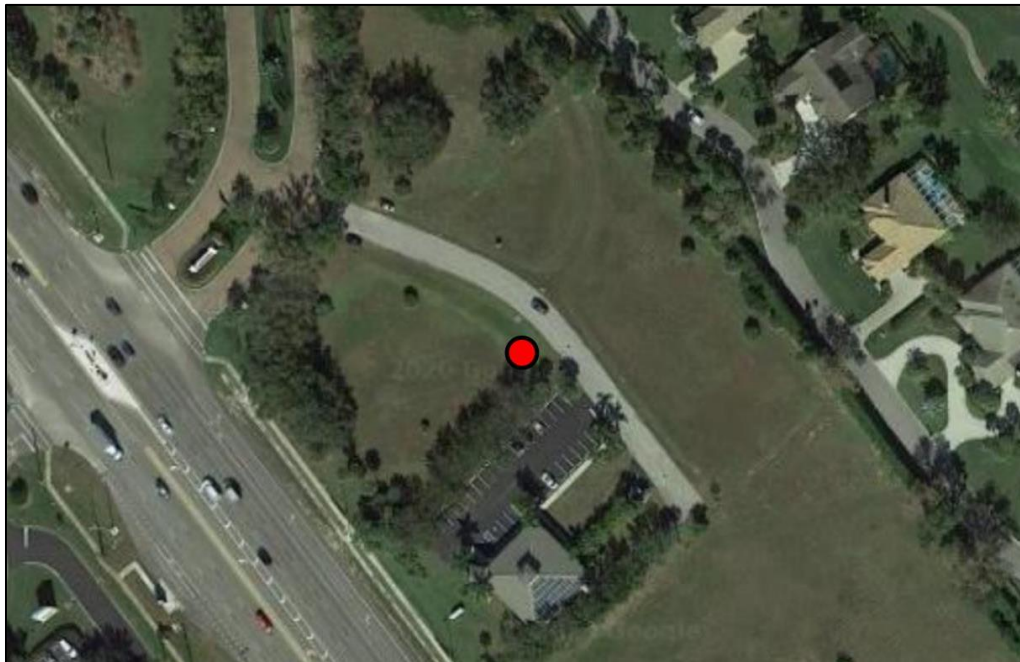


Figure 2. Location of long-term acoustical measurement system.





Figure 3. Measurement microphone used for long-term acoustical measurements at the project site.

### *Acoustical Quantities*

The systems continuously measured one-third octave band sound pressure levels and A-weighted broadband sound levels, integrating the measured levels into five-minute and one-hour time-averaged quantities, referred to as A-weighted equivalent-continuous sound pressure levels ( $L_{Aeq}$ ). The A-weighting filter was applied to the measured sound pressure levels as it best corresponds with human sensitivity to sound and is appropriate for most community noise assessments. Furthermore, the maximum permissible sound levels included in the Estero Noise Control Ordinance are specified in terms of A-weighted sound levels.

A-weighted tenth- and ninetieth-percentile-exceeded sound levels ( $L_{A10}$  and  $L_{A90}$ ) were also calculated for the same observation periods.  $L_{A10}$  and  $L_{A90}$  are the sound levels exceeded for ten- and ninety-percent of an observation period, respectively.  $L_{A90}$  are indicative of the “baseline” or “residual” sound level at a measurement location while  $L_{A10}$  demonstrates the influence of more intermittent sounds.

Time-averaged sound levels were also calculated for each day and portions of each day, including  $L_{Aeq}$ , day-average sound levels ( $L_{Ad}$ ), night-average sound levels ( $L_{An}$ ), and day-night average sound levels (DNL or  $L_{Adn}$ ). In accordance with ANSI standards, “day” is considered the time between 7:00 a.m. and 10:00 p.m. while “night” is considered the time between midnight and 7:00 a.m. and between 10:00 p.m. and midnight. DNL is the time-average sound level measured over a twenty-four-hour period but with a 10 dB “penalty” applied to sound levels measured at night to account for increased sensitivity to sound at these times.

DNL was developed by the U.S. Environmental Protection Agency (EPA) for the evaluation of community noise. It is also utilized by other agencies, including the Department of Housing and Urban Development (HUD), Department of Transportation (DOT) and the Federal Aviation Administration (FAA). DNL is the primary quantity utilized by ANSI community noise standards. HUD, DOT, and EPA recognize DNL of 55 dB as a goal for outdoors in residential areas to protect the public health and welfare. EPA strongly discourages the development of residential uses in areas with DNL greater than 65 dB.

Additionally, ANSI/ASA S12.9-2007 Part 5 *Quantities and Procedures for Description and Measurement of Environmental Sound – Part 5: Sound Level Descriptors for Determination of Compatible Land Use* provides guidance on the compatibility of various land uses with its acoustical environment using the annual average DNL (see Figure 4).

$L_{Aeq}$ ,  $L_{Ad}$ ,  $L_{An}$ , and DNL were calculated for each individual day of the measurement period. However, the values calculated for days during which sound levels were not measured for the full observation period for these quantities are only representative of the



period over which the levels were measured, and may not accurately represent the day, night, or twenty-four-hour period time-averaged sound levels.

A sound level comparison chart has been included as a reference to qualify the sound levels discussed throughout this report (see Figure 5). Generally, a 3 dB change in sound level is considered “just barely perceivable” while 6 dB changes are “readily perceivable.” An increase of 10 dB is a doubling in loudness while a 20 dB increase is considered a fourfold increase.

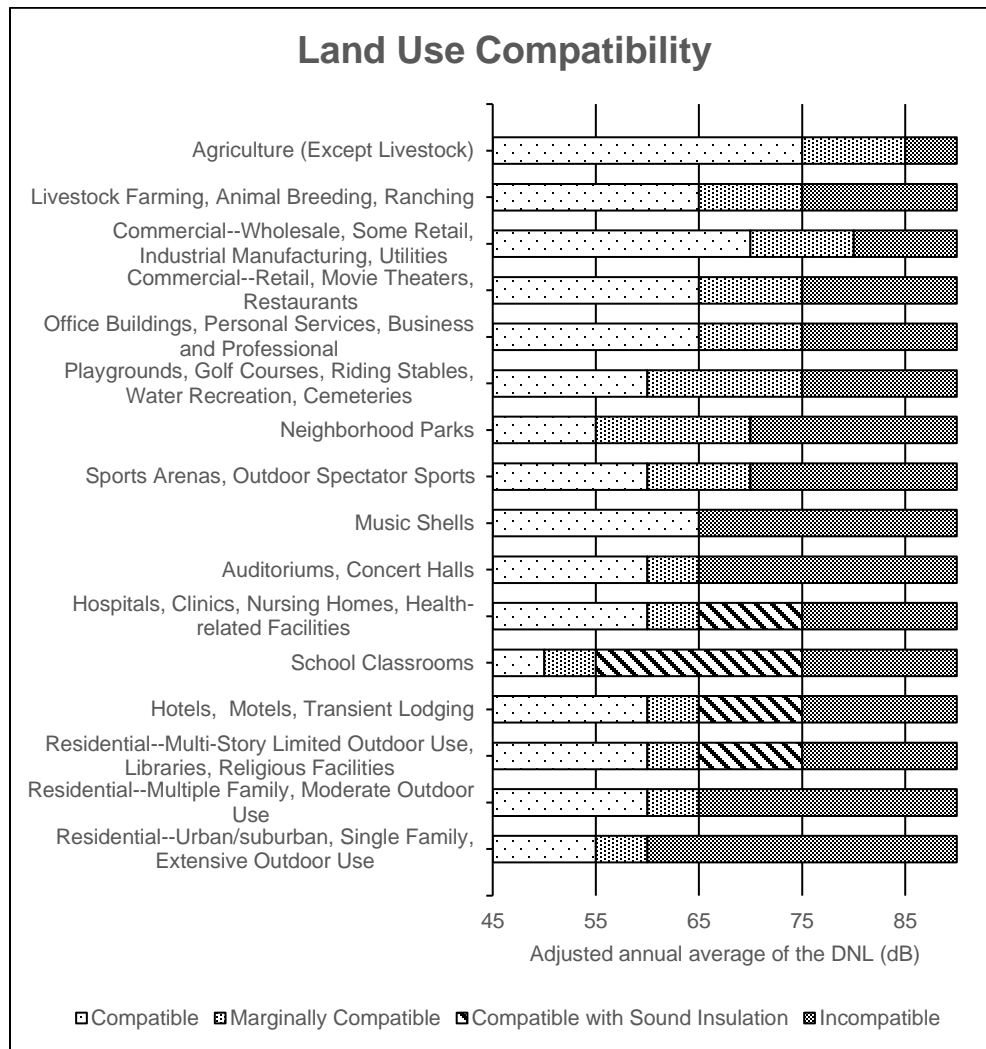


Figure 4. Land use compatibility based on DNL, reproduced from ANSI/ASA S12.9-2007 Part 5

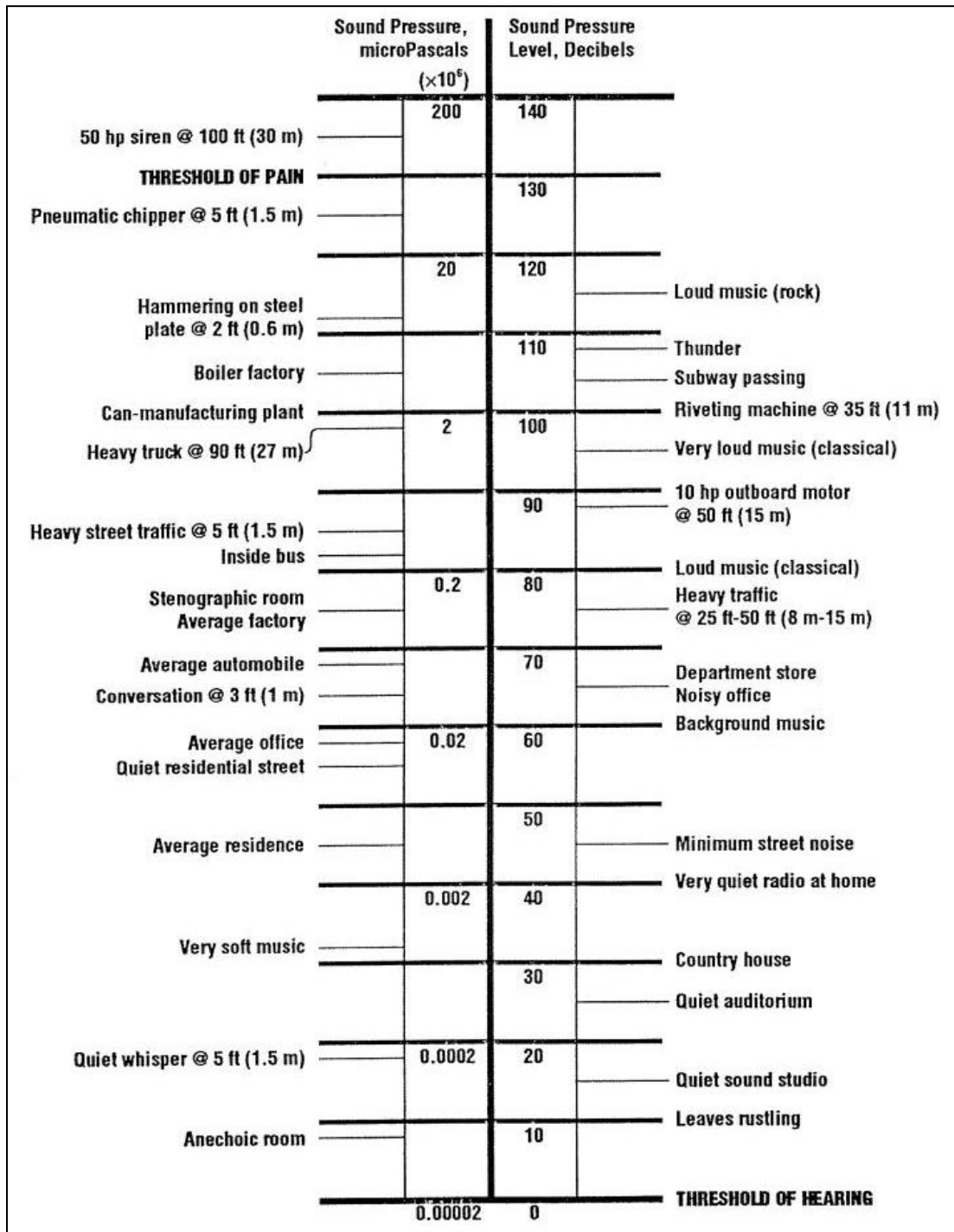


Figure 5. Decibel level comparison chart.

\* Reprinted from *Acoustics and Noise Control Handbook for Architects and Builders*, by L. K. Irvine and R. L. Richards, 1998, Malabar, FL: Krieger Publishing Company. Copyright by L.K. Irvine and R.L. Richards.



*Results*

Relevant measurement data are presented in graphical and numerical form. One-hour  $L_{Aeq}$  and total  $L_{Aeq}$ ,  $L_{Ad}$ ,  $L_{An}$ , and DNL calculated for each day of the measurement period are included in Table 2. One-hour  $L_{Aeq}$ ,  $L_{A10}$ , and  $L_{A90}$  are also plotted in Figure 6. Five-minute  $L_{Aeq}$ ,  $L_{A10}$ , and  $L_{A90}$  are plotted for each individual day in Figures A1 through A8 in the Appendix of this document.

The average  $L_{Aeq}$  measured over twenty-four-hour intervals was 58.2 dBA and the average DNL was 61.6 dBA. The average  $L_{Ad}$  was 59.7 dBA and the average  $L_{An}$  was 53.7 dBA. The time-history plots demonstrate mostly consistent  $L_{Aeq}$  throughout the day and early evening just below 60 dBA before diminishing to levels ranging from the mid-40's to low 50's at night. The most significant  $L_{Aeq}$ ,  $L_{A90}$ , and  $L_{A10}$  were measured during rush hour periods.

Per the ANSI land use compatibility guidelines (Figure 4), the ambient sound environment at the site is compatible with most commercial uses but not residential uses. However, it is worth noting that the ambient sound level at the residential properties to the north and east is likely lower than that measured at the site due to increased distance from U.S. 41 and diminished impact of associated traffic noise.

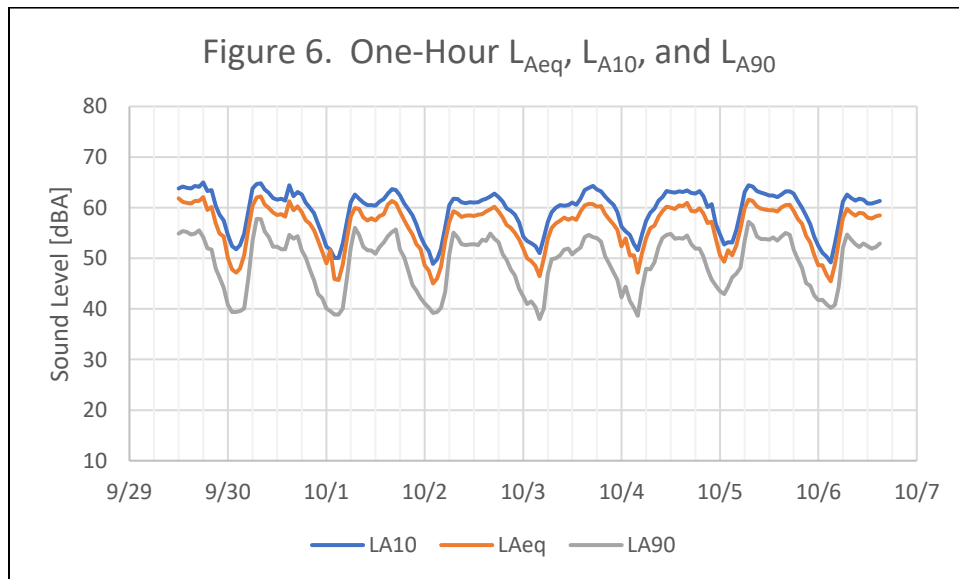


Table 2. One-Hour $L_{Aeq}$ and Daily $L_{Aeq}$ , $L_{An}$ , $L_{Ad}$ , & DNL September 29, 2020 – October 6, 2019								
Interval	29-Sept	30-Sept	1-Oct	2-Oct	3-Oct	4-Oct	5-Oct	6-Oct
L 0000		50.1	49.0	48.6	51.9	52.4	54.7	52.5
L 0100		47.8	51.6	47.6	50.0	53.9	52.7	51.1
L 0200		47.2	45.9	45.0	49.5	50.6	53.2	50.3
L 0300		48.0	45.7	46.0	48.5	50.6	53.1	49.2
L 0400		50.7	48.7	48.4	46.5	47.2	55.6	52.9
L 0500		55.7	53.9	53.4	49.9	50.9	59.2	56.8
L 0600		60.4	58.2	57.2	54.0	54.0	63.1	61.2
L 0700		62.0	60.0	59.3	56.0	55.9	64.4	62.6
L 0800		62.2	59.7	58.9	56.9	56.5	64.2	61.9
L 0900		60.6	58.1	58.2	57.4	58.2	63.3	61.4
L 1000		59.9	57.5	58.5	58.0	59.3	63.0	61.8
L 1100		59.1	57.9	58.5	57.6	60.2	62.7	61.6
L 1200	61.8	58.6	57.5	58.4	58.0	60.0	62.4	60.8
L 1300	61.1	58.7	58.4	58.6	57.6	59.7	62.4	60.8
L 1400	61.0	58.3	58.7	58.8	59.2	60.4	62.1	61.1
L 1500	60.8	61.3	60.6	59.2	60.5	60.3	62.6	61.3
L 1600	61.3	59.5	61.3	59.7	60.8	61.0	63.2	
L 1700	61.3	60.2	60.9	60.2	60.7	59.3	63.2	
L 1800	62.1	59.1	59.2	59.2	60.2	59.2	62.8	
L 1900	59.6	57.6	57.6	58.0	60.3	59.9	61.3	
L 2000	60.1	56.8	56.0	56.6	58.7	58.9	60.0	
L 2100	56.9	55.6	54.7	56.0	57.7	57.0	58.4	
L 2200	54.9	53.5	52.8	55.0	56.7	57.2	56.7	
L 2300	54.3	51.3	51.9	53.7	55.7	53.8	54.3	
$L_{Aeq}$	60.1	58.3	57.4	57.2	57.4	57.8	61.3	59.8
$L_{Ad}$	60.7	59.7	58.9	58.6	58.9	59.3	62.6	61.5
$L_{An}$	54.6	53.9	52.6	52.4	52.6	53.1	57.3	55.5
DNL	61.7	61.8	60.6	60.5	60.7	61.1	65.0	63.7



### Existing Facility Sound Level Measurements

At modern car wash facilities, the most significant source of sound is most often the blower systems that are used to dry vehicles near the end of the tunnel. Communication with several blower manufacturers indicates that little can be done to reduce sound levels generated by these systems and their location and orientation relative to nearby noise-sensitive receivers is crucial in achieving compliance with applicable noise regulations. Increased distance and diminished sightlines between this equipment and noise-sensitive receivers are the primary means of noise control for these facilities. Therefore, the location and orientation of the car wash tunnel and the layout of the site are crucial in the design of a compatible facility with minimal noise impact to surrounding properties.

To assess the sound level impact that the proposed facility may have on nearby properties, acoustical measurements were also conducted at an existing Clean-Machine Car Wash at 11899 Bonita Beach Road Southeast in Bonita Springs, Florida on October 6, 2020. The long-term measurement system used at the site was installed at a stationary position roughly 30 ft from the tunnel exit while a second measurement system simultaneously logged sound levels at other locations, including at distances of 60 ft and 75 ft from the tunnel exit and 53 ft from the tunnel entrance. The distances between the measurement locations and the tunnel exit and entrance were used as reference distances to estimate the reduction that could be expected at the nearest residential property boundaries.

Figures 7, 8, and 9 illustrate sound levels measured 60 ft from the tunnel exit, 75 ft from the tunnel exit, and 53 ft from the tunnel entrance, respectively. Each of the time-history plots also includes sound levels measured 30 ft from the tunnel exit—these levels provide an indication as to the operational state of the car wash blowers. The time-averaged  $L_{Aeq}$  measured at the various locations during the various operational states of the blowers are compiled in Table 3.

Table 3. Existing Facility Sound Levels			
Measurement Location	Measured Sound Levels [ $L_{Aeq}$ ]		
	Blower	Traffic	Ambient
30 ft from Tunnel Exit	86.2 dBA	71.2 dBA	62.0 dBA
60 ft from Tunnel Exit	76.7 dBA	70.4 dBA	59.9 dBA
75 ft from Tunnel Exit	72.6 dBA	74.7 dBA	61.1 dBA
53 ft from Tunnel Entrance	72.8 dBA	72.8 dBA	61.5 dBA

Figure 7. M2 60 ft from Tunnel Exit

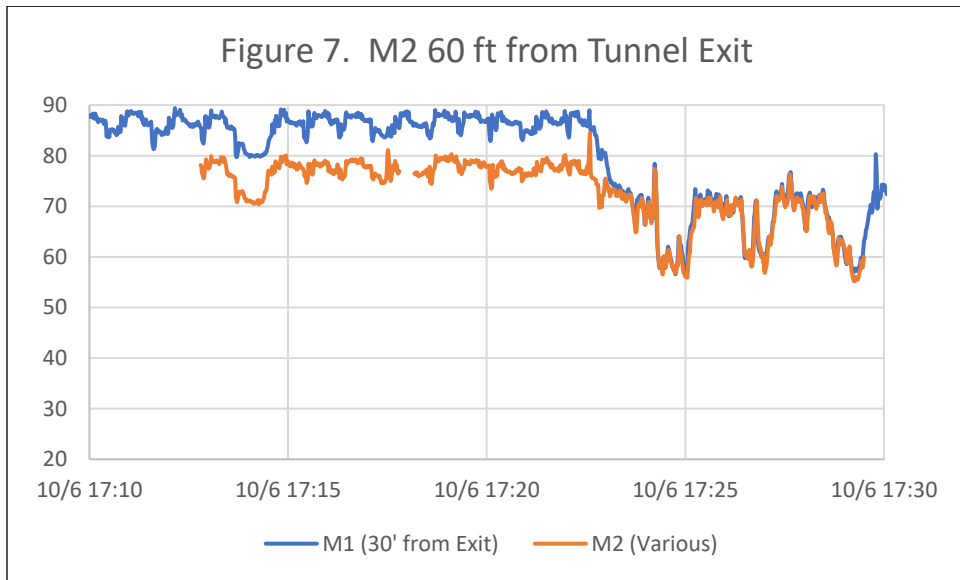
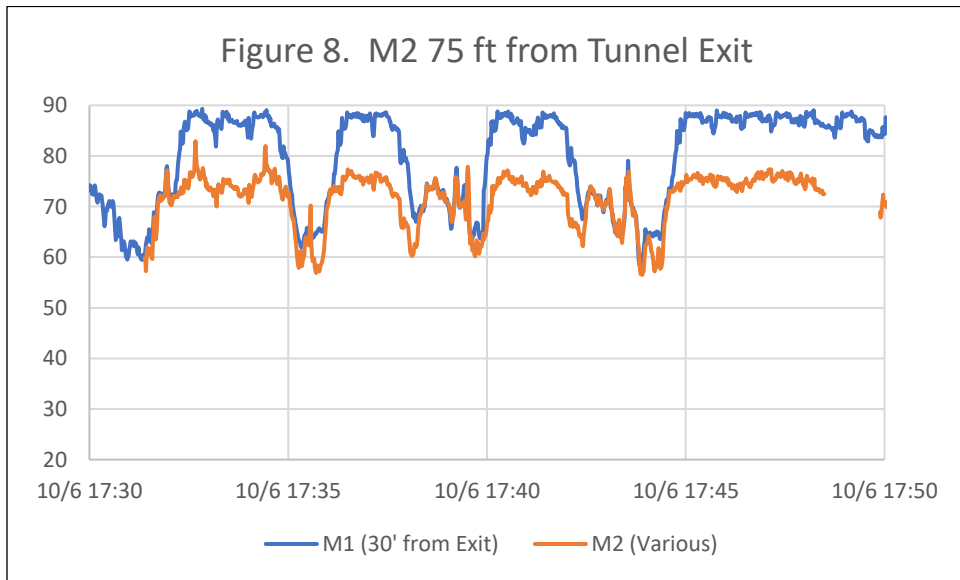
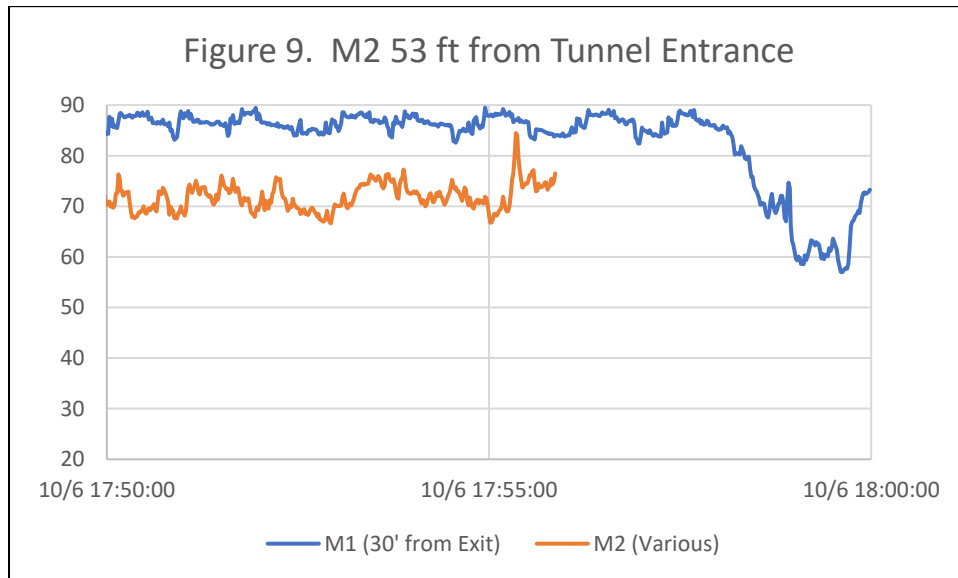


Figure 8. M2 75 ft from Tunnel Exit







### IMPACT ANALYSIS

Section 24¼-5 of the Estero Noise Control Ordinance prescribes maximum permissible sound levels by receiving land use, to be measured at or within the real property line of the receiving land use. During the day, defined as the time between 7:00 a.m. and 10:00 p.m., these limits are 66 dBA for residential, public space, and agricultural land uses and 72 dBA for commercial or business land uses. Between 10:00 p.m. and 7:00 a.m. these limits are reduced to 55 dBA and 65 dBA, respectively. As the proposed facility will operate between 7:00 a.m. and 8:00 p.m., only the day limits are applicable with respect to nearby residential and commercial properties.

Sound levels at the nearest noise-sensitive locations were estimated using inverse square law calculations, which utilize sound levels measured at a specific distance from the source of interest to determine corresponding levels at a given distance. The sound levels measured 60 ft and 75 ft from the tunnel exit and 53 ft from the tunnel entrance at the Bonita Springs facility were used as the reference sound levels with the aforementioned distances serving as reference distances.



## **Residential Properties**

The shortest distance between the tunnel exit and a residential property is approximately 368 ft. Based on measurements conducted at the existing facility in Bonita Springs, sound emanating from the tunnel's exit would be expected to range from 59 to 61 dBA at this location. Lower sound levels would be expected at greater distances and where there is no direct and unobstructed line-of-sight between the tunnel opening and the property boundaries. The shortest distance between the tunnel entrance and a residential property is approximately 395 ft. At this distance, sound emanating from the tunnel entrance would be expected to be at a level of 55 dBA when measured at this location.

The sound levels projected at the nearest residential property boundaries are below the day limit of 66 dBA provided by Section 24 $\frac{1}{4}$ -5 of the Estero Noise Control Ordinance for residential receiving land uses.

## **Commercial Properties**

The nearest commercial property to the tunnel exit is at a distance of approximately 159 ft. At this distance, sound levels emanating from the tunnel exit would be expected to be between 66 and 68 dBA. The nearest property boundary to the tunnel entrance is the adjacent commercial property to the southeast, approximately 64 to 67 ft from the tunnel entrance. Using the same calculation procedures, sound levels at this property boundary would be expected to be roughly 71 dBA.

The sound levels projected at the nearest commercial property boundaries are below the day limit of 72 dBA provided by Section 24 $\frac{1}{4}$ -5 of the Estero Noise Control Ordinance for commercial and business receiving land uses.

## **Mitigating Factors**

The calculations described above are based on theoretical free-field sound propagation between the source (the tunnel exit) and receiving location (the property boundaries) considering only the distance between these locations. These calculations do not account for other sound-reducing factors, such as obstructing surfaces (walls, enclosures, and/or barriers) or atmospheric absorption, among others.

Barriers and/or enclosures obstructing the path (i.e., the line-of-sight) between the source and receiver often provide a reduction in sound level between 5 and 20 dB. The orientation of the tunnel exit relative to the site and surrounding properties will provide screening to sufficiently prevent direct propagation to the nearest residential properties and further reduce the sound level impact of the proposed car wash operations.





Furthermore, the Applicant has indicated that Sonny's Blower Inlet Silencer OEM replacement products will be installed on the blowers. Through past acoustical measurements conducted to quantify the sound level reduction provided by these devices and subsequent analysis, ED+A has found these devices to provide an additional 7 to 9 dB of attenuation.

## **CONCLUSION**

In conjunction with the calculations described previously, these mitigating factors indicate that the proposed facility will not only operate in compliance with Estero Noise Control Ordinance Section 24 $\frac{1}{4}$ -5, but sound levels at nearby residential properties will be substantially below its limits. Therefore, ED+A do not anticipate the proposed facility to result in adverse noise impacts to the surrounding community.

APPENDIX

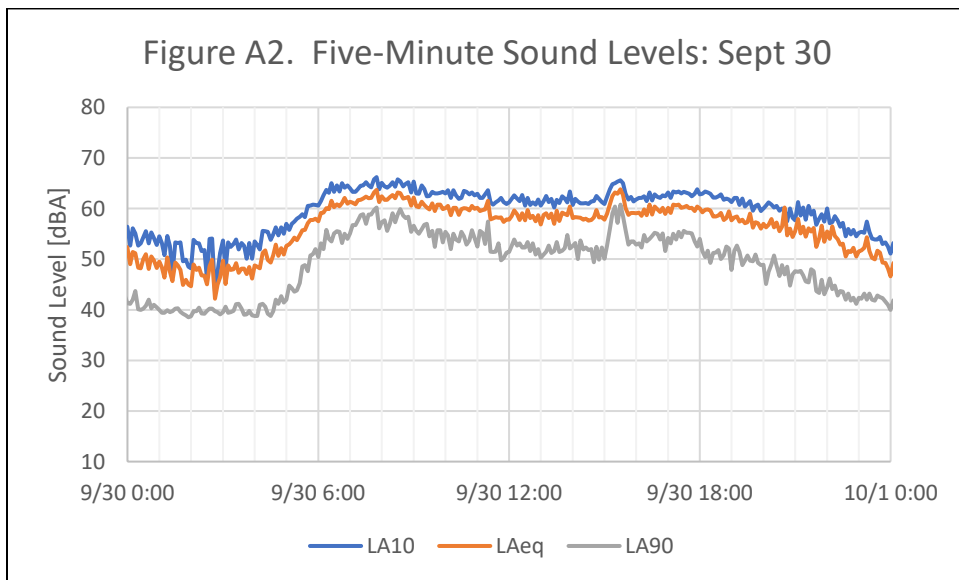
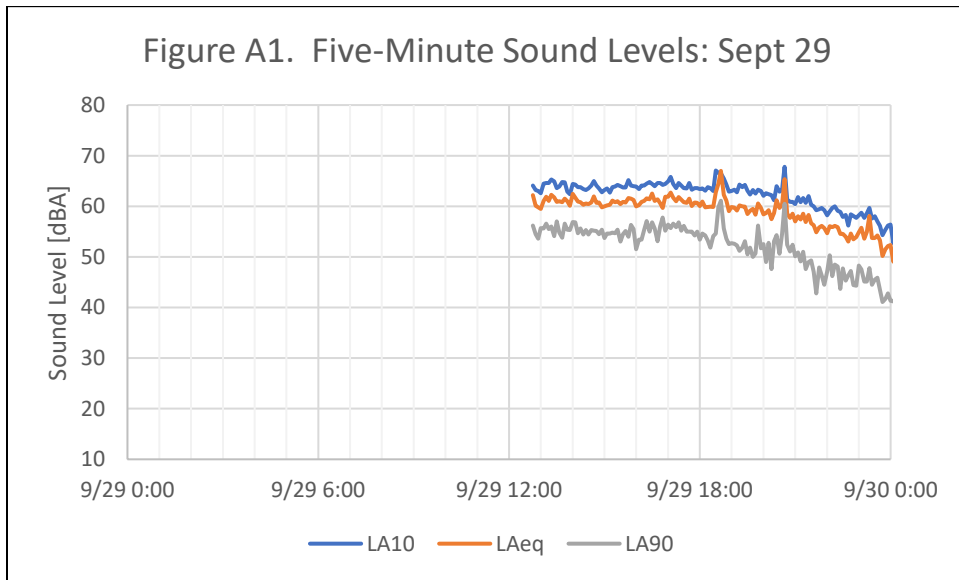




Figure A3. Five-Minute Sound Levels: Oct 1

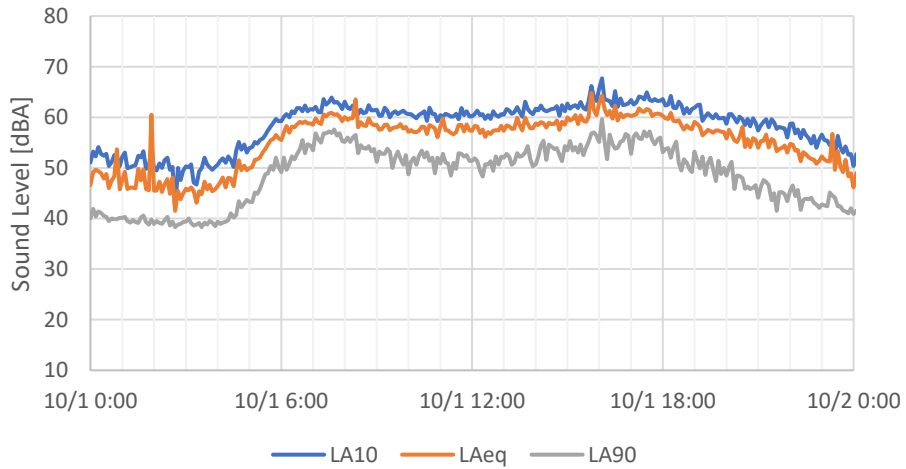


Table A4. Five-Minute Sound Levels: Oct 2

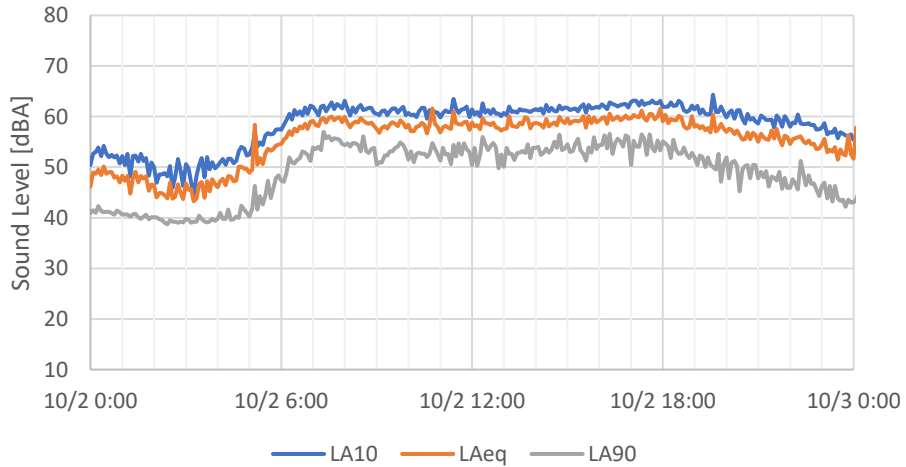


Figure A5. Five-Minute Sound Levels: Oct 3

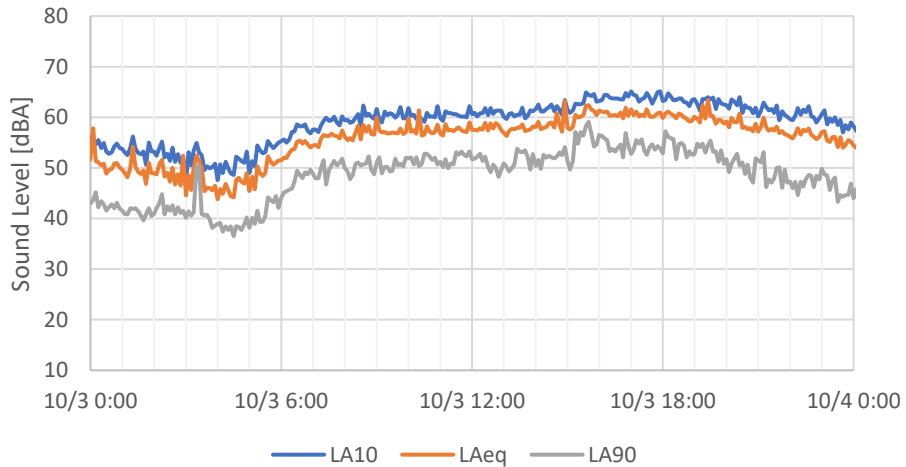
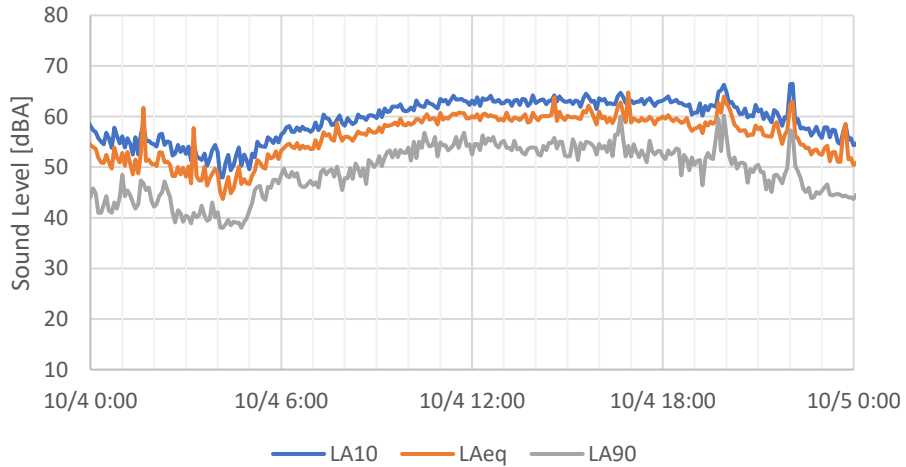
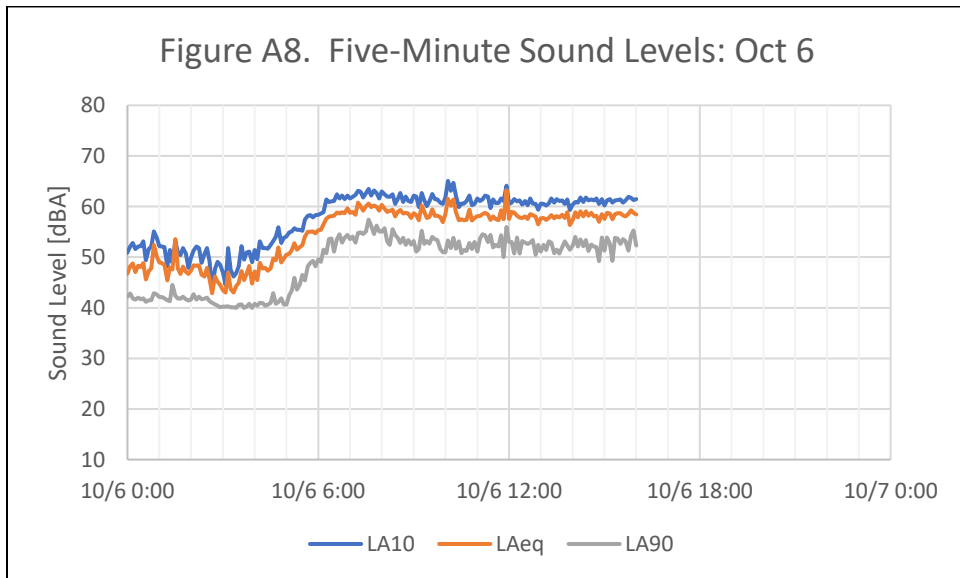
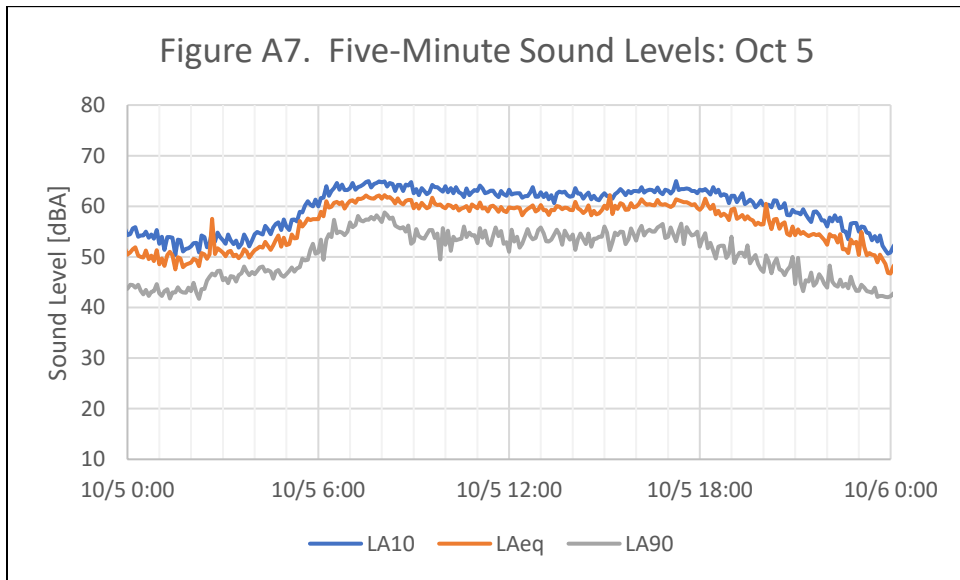


Figure A6. Five-Minute Sound Levels: Oct 4









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## ACOUSTICAL IMPACT STUDY – ADDENDUM 2

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---

Date: 24 May 2021

To: Steve Lipofsky  
VP of Development

Clean Streak Ventures  
222 South Westmonte Drive, Suite 251  
Altamonte Springs, Florida 32714

From: Sam Shroyer, ASA INCE  
Edward Dugger, FAIA ASA NCAC INCE

Re: **Noise Impact Study Addendum**  
**Clean-Machine Car Wash**  
**US 41 & Vintage Parkway**  
**Esteros, Florida 33928**  
ED+A 201246

Mr. Lipofsky,

As noted on Page 8 of ED+A's May 19, 2021 report, the silencer devices that will be installed on the blowers were taken into account when modeling sound levels by subtracting 3.5 dB from the source levels. This reduction is lower than ED+A has found these devices to provide at other facilities and therefore provides a conservative estimate of their effects as ED+A has previously measured reductions of 7 to 9 dB for these devices.

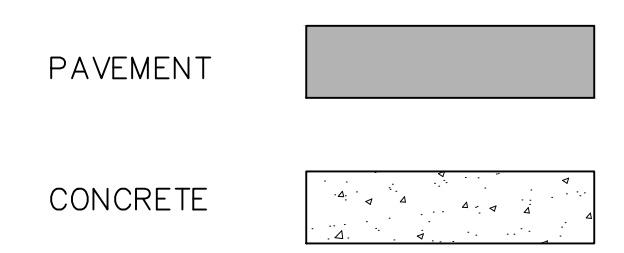
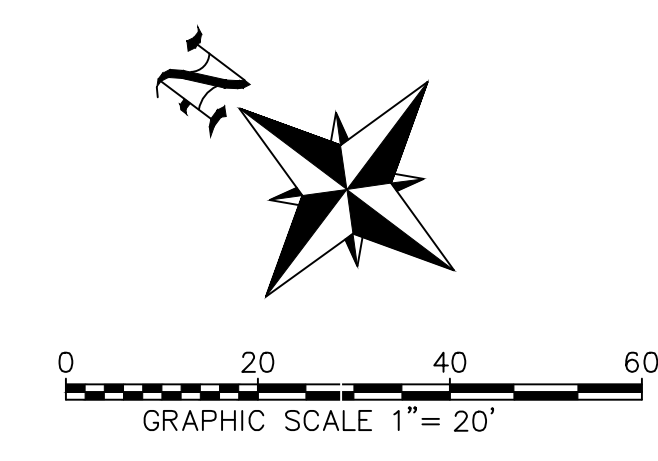
The Applicant has also agreed to install a rollup retractable door system at the tunnel exist that will close when the blowers are operating. This will also provide some level of sound attenuation; however, there is no published literature from the manufacturer indicating the level of sound attenuation provided by the rollup retractable doors.

The Applicant is addressing vacuum noise by enclosing the vacuum pumps—the predominant source of noise in these systems—within the structure of the building. Pump noise will thus be negligible in areas other than immediately outside the door of the pump room due to the sound transmission loss of concrete structures. The vacuum nozzles generate noise at only high frequencies, which has shorter sound waves and dissipate much quicker due to air absorption. Furthermore, the sound generated is localized due to the vacuum nozzles. For these reasons, sound associated with the vacuum systems will not have any adverse effects on the surrounding properties.

Please contact ED+A with any questions or comments.



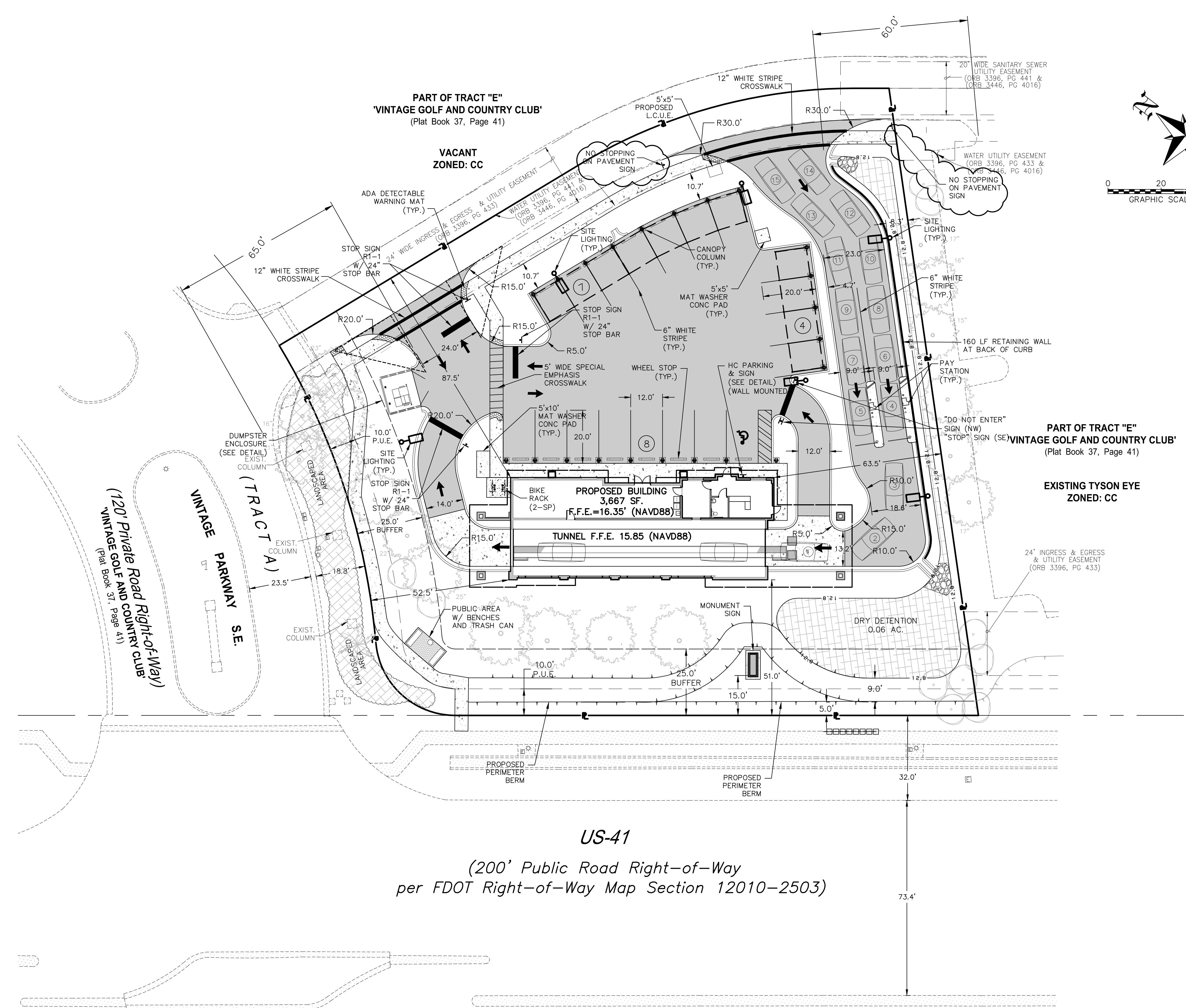
CLEAN MACHINE CARWASH ESTERO			
LAND DEVELOPMENT AREAS:			
TOTAL PROJECT AREA:	46,351 SF.	1.06 AC.	(100%)
IMPERVIOUS:	27,271 SF.	0.62 AC.	(58.49%)
BUILDING	3,667 SF.	0.08 AC.	(7.55%)
PAVEMENT	16,097 SF.	0.37 AC.	(34.91%)
EX. PAVEMENT (ROAD)	2,976 SF.	0.07 AC.	(6.60%)
CONC/SW	4,531 SF.	0.10 AC.	(9.43%)
PERVIOUS:	19,080 SF.	0.44 AC.	(41.51%)
GREEN SPACE	19,080 SF.	0.44 AC.	(41.51%)



SITE DEVELOPMENT REGULATIONS (PER CC ZONING)		
	REQUIRED	PROVIDED
MIN. LOT SIZE (SF)	20,000	46,331
MIN. LOT WIDTH (FT)	100	211.59
MIN. LOT DEPTH (FT)	100	305.01
<b>SETBACKS</b>		
STREET (US-41) (FT)	50	51.0
STREET (INTERNAL) (FT)	20	52.5
SIDE (FT)	15	63.5
REAR(FT)	25	87.5
WATER BODY (FT)	NA	NA
MAX LOT COVERAGE (%)	40	7.55
MAX HEIGHT (FT)	35	34'-4"



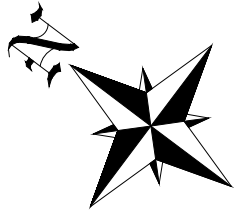
PARKING CALCULATIONS	
REQUIRED = 1.5 SPACES PER STALL	PROVIDED = 19 SPACES (INCLUDING 1 HC SPACE)
BICYCLE PARKING	
REQUIRED = 5 SPACES OF PARKING OR 2 MIN.	PROVIDED = 2 SPACES
STACKING	
REQUIRED = 5 SPACES	PROVIDED = 12 SPACES
DUMPSTER CALCULATIONS	
REQUIRED = BUILDING AREA 0-5,000 SF. = 60 SF.	24 SF. RECYCLABLE
TOTAL REQUIRED = 84 SF.	PROVIDED = 165 SF.



**US-41**  
 (200' Public Road Right-of-Way  
 per FDOT Right-of-Way Map Section 12010-2503)

PREPARED FOR: <b>CLEAN STREAK VENTURES</b> 222 S. WESTMONTE DR. SUITE 251 ALTAMONTE SPRINGS, FL. 32714	<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION DESCRIPTION</th> <th>BY</th> </tr> <tr> <td>1</td> <td>3/31/2021</td> <td>REVISED PER VILLAGE COMMENTS</td> <td>J.S.</td> </tr> <tr> <td>2</td> <td>5/12/2021</td> <td>REVISED PER VILLAGE COMMENTS</td> <td>J.S.</td> </tr> </table>	NO.	DATE	REVISION DESCRIPTION	BY	1	3/31/2021	REVISED PER VILLAGE COMMENTS	J.S.	2	5/12/2021	REVISED PER VILLAGE COMMENTS	J.S.	<b>BANKS ENGINEERING</b> Professional Engineers, Planners, & Land Surveyors Serving The State Of Florida 10511 SIX MILE CYPRESS PARKWAY FORT MYERS, FLORIDA 33966 PHONE: (239) 939-5490 FAX: (239) 939-2523 ENGINEERING LICENSE # EB 6469 SURVEY LICENSE # LB 6690 WWW.BANKSENG.COM
NO.	DATE	REVISION DESCRIPTION	BY											
1	3/31/2021	REVISED PER VILLAGE COMMENTS	J.S.											
2	5/12/2021	REVISED PER VILLAGE COMMENTS	J.S.											

SITE PLAN						
CLEAN MACHINE ESTERO						
VILLAGE OF ESTERO, FLORIDA						
DATE	PROJECT	DRAWING	DESIGN	DRAWN	CHECKED	SCALE
1/18/2021	8502	SITE PLAN	DBA	BEI	DBA	1"=20'
						SHEET
						04



PART OF TRACT "E"  
"VINTAGE GOLF AND COUNTRY CLUB"  
(Plat Book 37, Page 41)

VACANT  
ZONED: CC

20' WIDE SANITARY SEWER  
UTILITY EASEMENT  
(ORB 3396, PG 441 &  
ORB 3446, PG 4016)

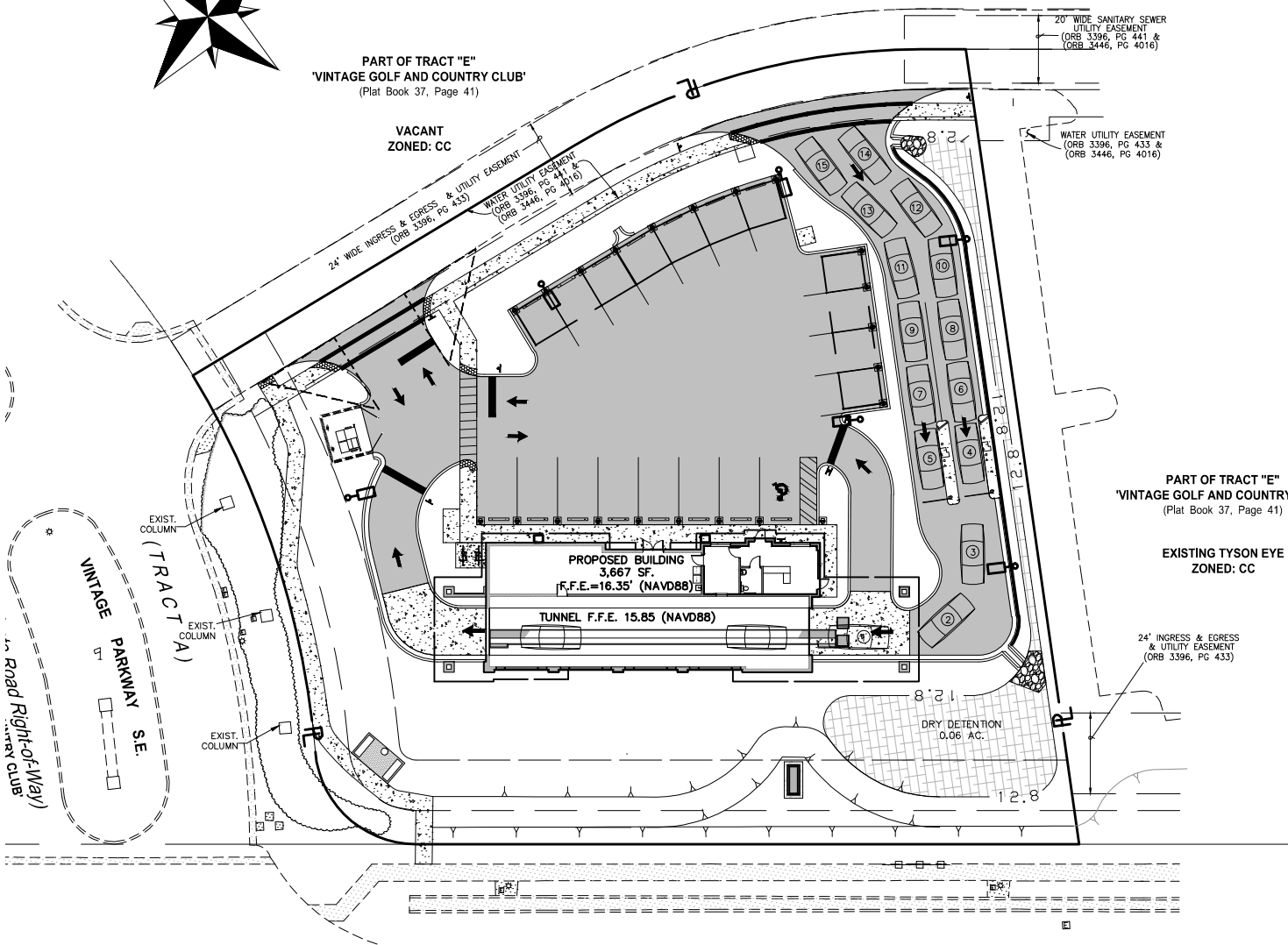
WATER UTILITY EASEMENT  
(ORB 3396, PG 433 &  
ORB 3446, PG 4016)

24' WIDE INGRESS & EGRESS & UTILITY EASEMENT  
(ORB 3396, PG 433)  
WATER UTILITY EASEMENT  
(ORB 3396, PG 441 &  
ORB 3446, PG 4016)

PART OF TRACT "E"  
"VINTAGE GOLF AND COUNTRY"  
(Plat Book 37, Page 41)

EXISTING TYSON EYE  
ZONED: CC

24' INGRESS & EGRESS  
& UTILITY EASEMENT  
(ORB 3396, PG 433)



US-41

(200' Public Road Right-of-Way  
per FDOT Right-of-Way Map Section 12010-2503)



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Serving The State Of Florida

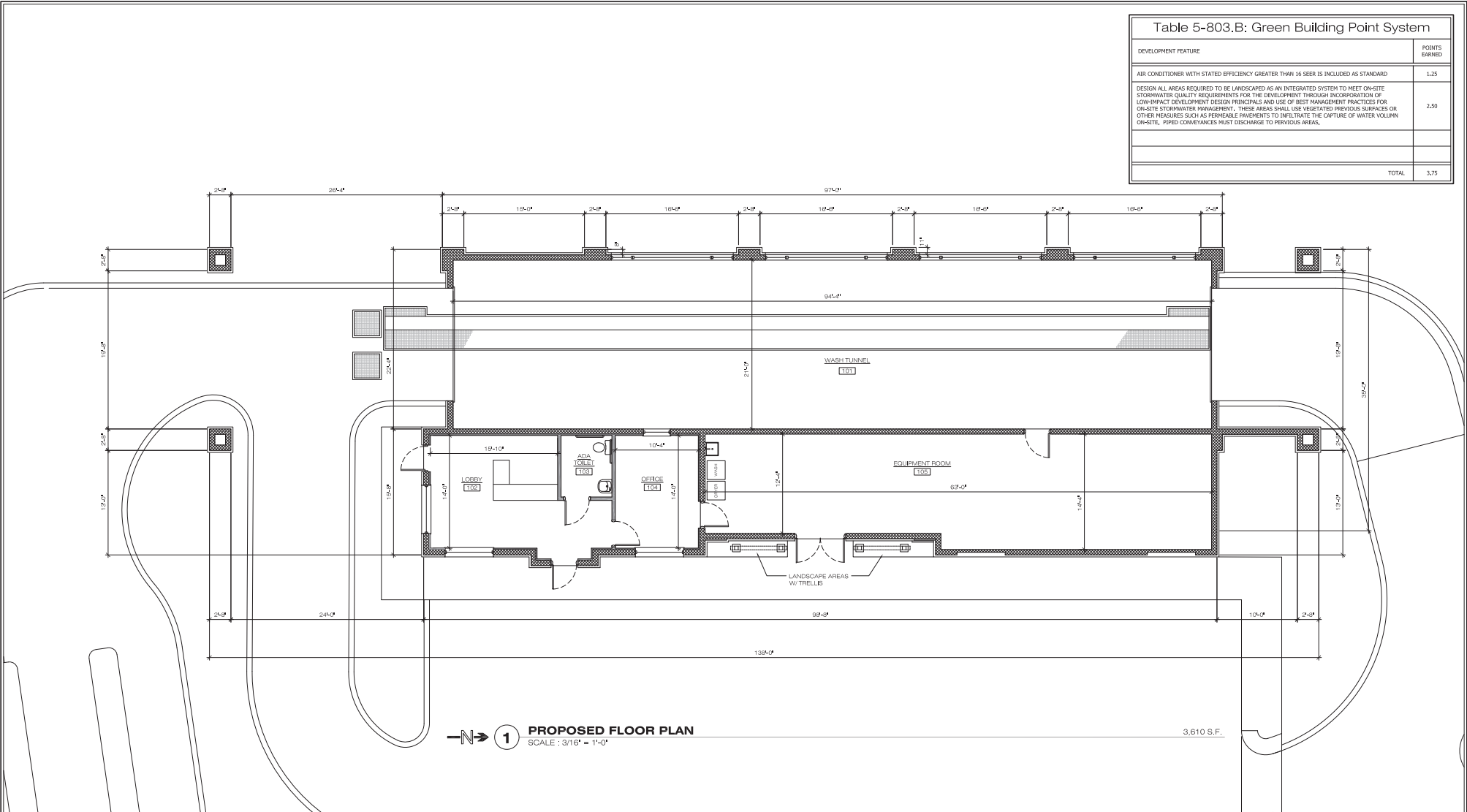
10511 SIX MILE CYPRESS PARKWAY  
FORT MYERS, FLORIDA 33966  
PHONE: (239) 939-5490 FAX: (239) 939-2523  
ENGINEERING LICENSE # EB 6469  
SURVEY LICENSE # LB 6690  
WWW.BANKSENG.COM

D. BRENT ADDISON  
P.E. LIC. #70611

STACKING EXHIBIT							CLEAN MACHINE ESTERO		VILLAGE OF ESTERO, FLORIDA	
DATE	PROJECT	DRAWING	DESIGN	DRAWN	CHECKED	SCALE	SHEET			
5/19/2021	8502	STACKING	DBA	JLS	DBA	1"=50'	1			



Table 5-803.B: Green Building Point System	
DEVELOPMENT FEATURE	POINTS EARNED
AIR CONDITIONER WITH STATED EFFICIENCY GREATER THAN 16 SEER IS INCLUDED AS STANDARD	1.25
DESIGN ALL AREAS REQUIRED TO BE LANDSCAPED AS AN INTEGRATED SYSTEM TO MEET ON-SITE STORMWATER QUALITY REQUIREMENTS FOR THE DEVELOPMENT THROUGH INCORPORATION OF LOW-IMPACT DEVELOPMENT DESIGN PRINCIPALS AND USE OF BEST MANAGEMENT PRACTICES FOR ON-SITE STORMWATER MANAGEMENT. THESE AREAS SHALL USE VEGETATED PERVIOUS SURFACES OR OTHER MEASURES SUCH AS PERMEABLE PAVEMENTS TO INFILTRATE THE CAPTURE OF WATER VOLUME ON-SITE. PAVED CONVEYANCES MUST DISCHARGE TO PERVIOUS AREAS.	2.50
TOTAL	3.75



**1 PROPOSED FLOOR PLAN**  
SCALE : 3/16" = 1'-0"

**Stephen Seaton**  
Digitally signed by Stephen Seaton  
DN: cn=US, st=Florida, In=Naples, ou=Stephen Seaton, cn=Stephen Seaton  
Date: 2021.05.19 13:28:42 -0400

DRAWN BY: SMS  
SHEET DESCRIPTION:  
**PROPOSED FLOOR PLAN**

**LINEA**  
DESIGN NETWORK  
ARCHITECTURAL & INTERIOR DESIGN  
2066 Morning Sun Lane  
Naples, Florida 34119  
License No. AR17502  
ph: (239) 404-5475 email: stephen@lineadn.com

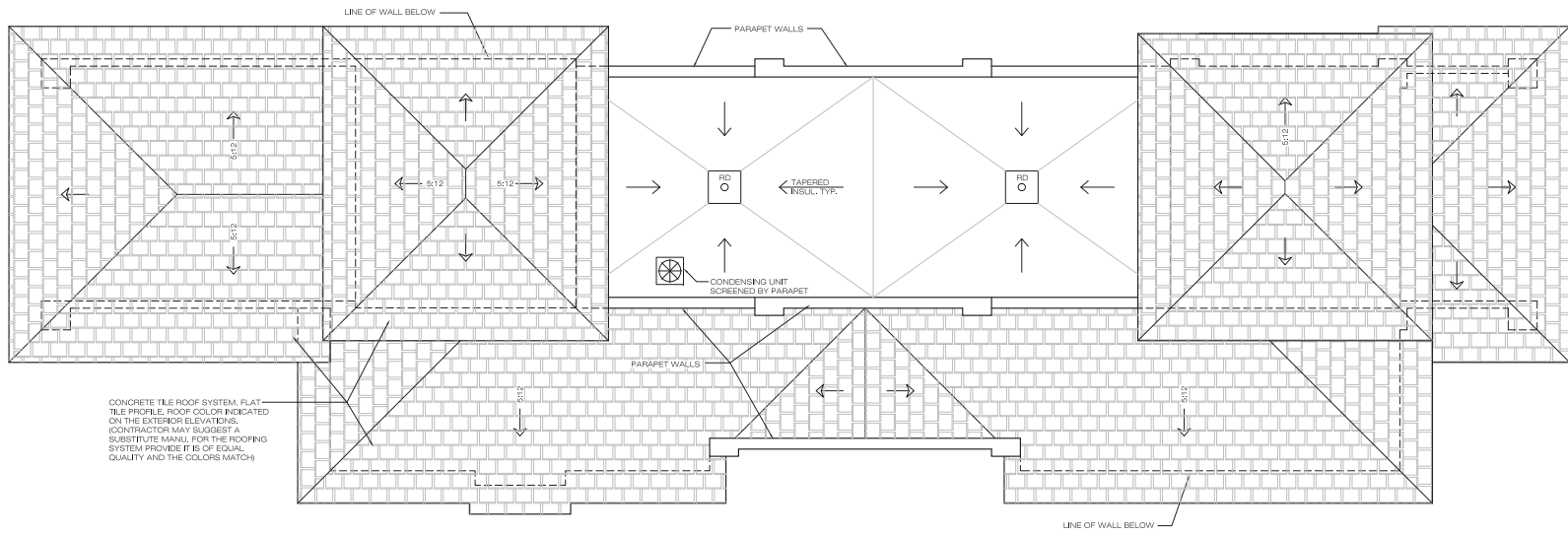
DESCRIPTION	DATE
DD SUBMISSION	JANUARY 26, 2021
DD REVISIONS	MARCH 31, 2021
DD REVISIONS	MAY 17, 2021

DESCRIPTION	DATE

**Clean-Machine Car Wash Facility**  
US 41 & Vintage Parkway  
Estero, Florida 33928

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SHEET NO.  
**A-1**  
PHASE:  
DEVELOPMENT ORDER



CONCRETE TILE ROOF SYSTEM, FLAT TILE PROFILE, ROOF COLOR INDICATED ON THE EXTERIOR ELEVATIONS. CONTRACTOR MAY SUGGEST A SUBSTITUTE MATERIAL FOR THE ROOFING SYSTEM PROVIDED IT IS OF EQUAL QUALITY AND THE COLORS MATCH.

**1** PROPOSED ROOF PLAN  
SCALE: 3/16" = 1'-0"

**LINEA**  
DESIGN NETWORK  
ARCHITECTURAL & INTERIOR DESIGN  
2056 Morning Sun Lane  
Naples, Florida 34119  
License No. AR17502  
ph: (239) 404-5475 email: stephen@lineadn.com

DESCRIPTION	DATE
DD SUBMISSION	JANUARY 16, 2021
DD REVISIONS	MARCH 31, 2021
DD REVISIONS	MAY 17, 2021

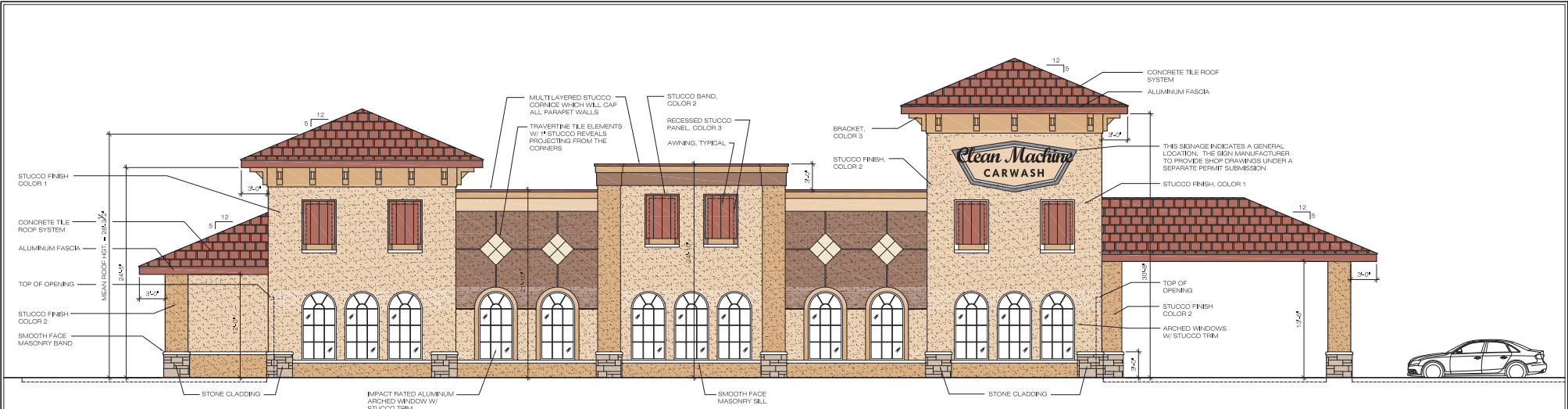
DESCRIPTION	DATE

**Clean-Machine  
Car Wash Facility**  
US 41 & Vintage Parkway  
Estero, Florida 33928

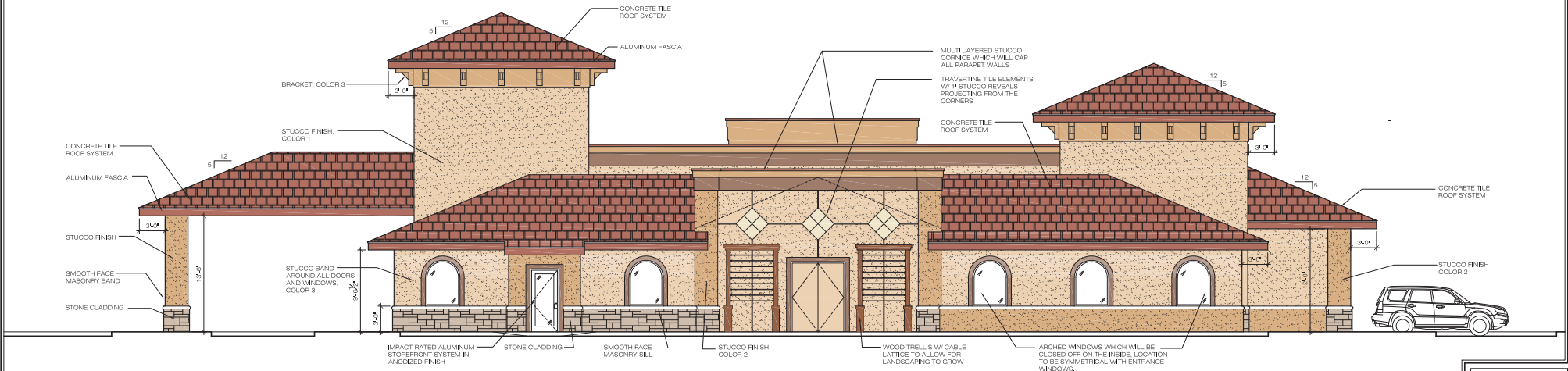
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DRAWN BY: SMS  
SHEET DESCRIPTION:  
**PROPOSED  
ROOF PLAN**  
SHEET NO.  
**A-2**  
PHASE:  
DEVELOPMENT  
ORDER





**1 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"

**LINEA**  
DESIGN NETWORK  
ARCHITECTURAL & INTERIOR DESIGN  
2066 Morning Sun Lane  
Naples, Florida 34119  
License No. AR17502  
ph: (239) 404-5475 email: stephen@ltheadn.com

DESCRIPTION	DATE
DD SUBMISSION	JANUARY 26, 2021
DD REVISIONS	MARCH 31, 2021
DD REVISIONS	MAY 17, 2021

DESCRIPTION	DATE

**Clean-Machine**  
**Car Wash Facility**  
US 41 & Vintage Parkway  
Estero, Florida 33928

**NOTES** REFER TO SHEET A-4 FOR COLOR & MATERIAL DESCRIPTIONS

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SHEET DESCRIPTION:	PROPOSED EXTERIOR ELEVATIONS
SHEET NO.:	A-3
PHASE:	DEVELOPMENT ORDER

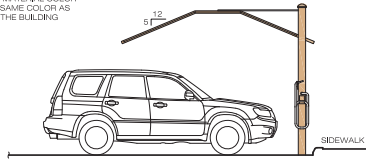
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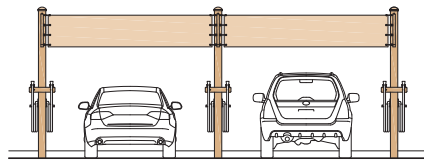


**COLORS:**

1. THE METAL PARTS ARE TO BE POWDER COATED IN SAME COLOR AS COLOR 2 ON THE BUILDING
2. THE CANOPY MATERIAL COLOR WILL BE THE SAME COLOR AS COLOR 1 ON THE BUILDING



COLOR SCHEME - OPTION 2



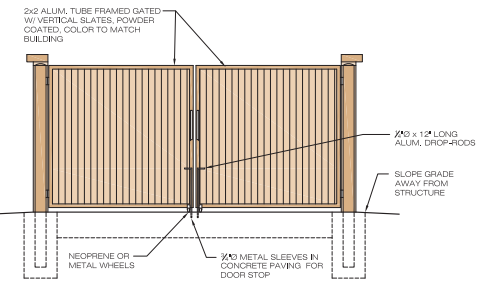
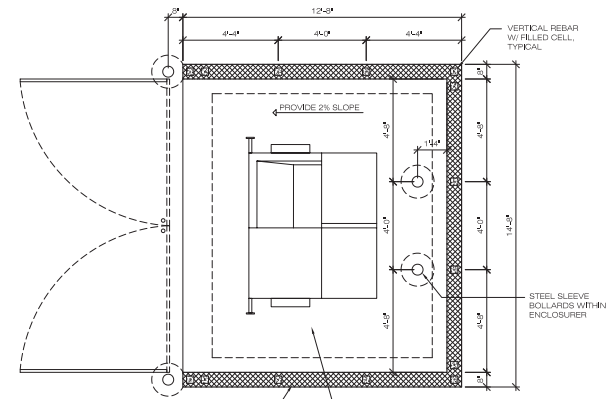
COLOR SCHEME - OPTION 2

**COLOR LEGEND:**

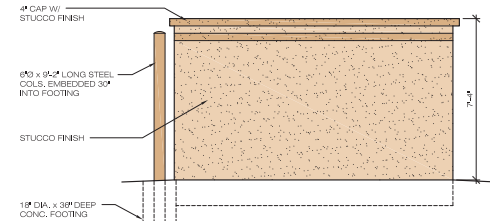
- COLOR 1** SHERWIN WILLIAMS SW7722 "TRAVERTINE"
- COLOR 2** SHERWIN WILLIAMS SW7679 "GOLDEN GATE"

**1 CANOPY ELEVATIONS**

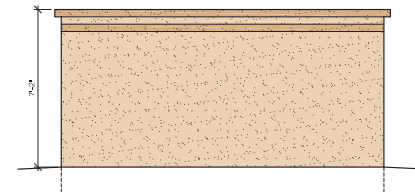
SCALE : 1/4" = 1'-0"



DUMPSTER FRONT ELEVATION



DUMPSTER SIDE ELEVATION



DUMPSTER REAR ELEVATION

**2 DUMPSTER**

SCALE : 3/8" = 1'-0"

**LINEA**  
DESIGN NETWORK  
ARCHITECTURAL & INTERIOR DESIGN  
2066 Morning Sun Lane  
Naples, Florida 34102  
Tel: (239) 443-1702  
email: stephen@lineadn.com

**Clean-Machine**  
Car Wash Facility  
US 41 & Vintage Parkway  
Estero, Florida 33928

DATE	DESCRIPTION

DATE	DESCRIPTION
MARCH 14, 2021	DO REVISIONS
MARCH 15, 2021	DO REVISIONS

**NOTES**

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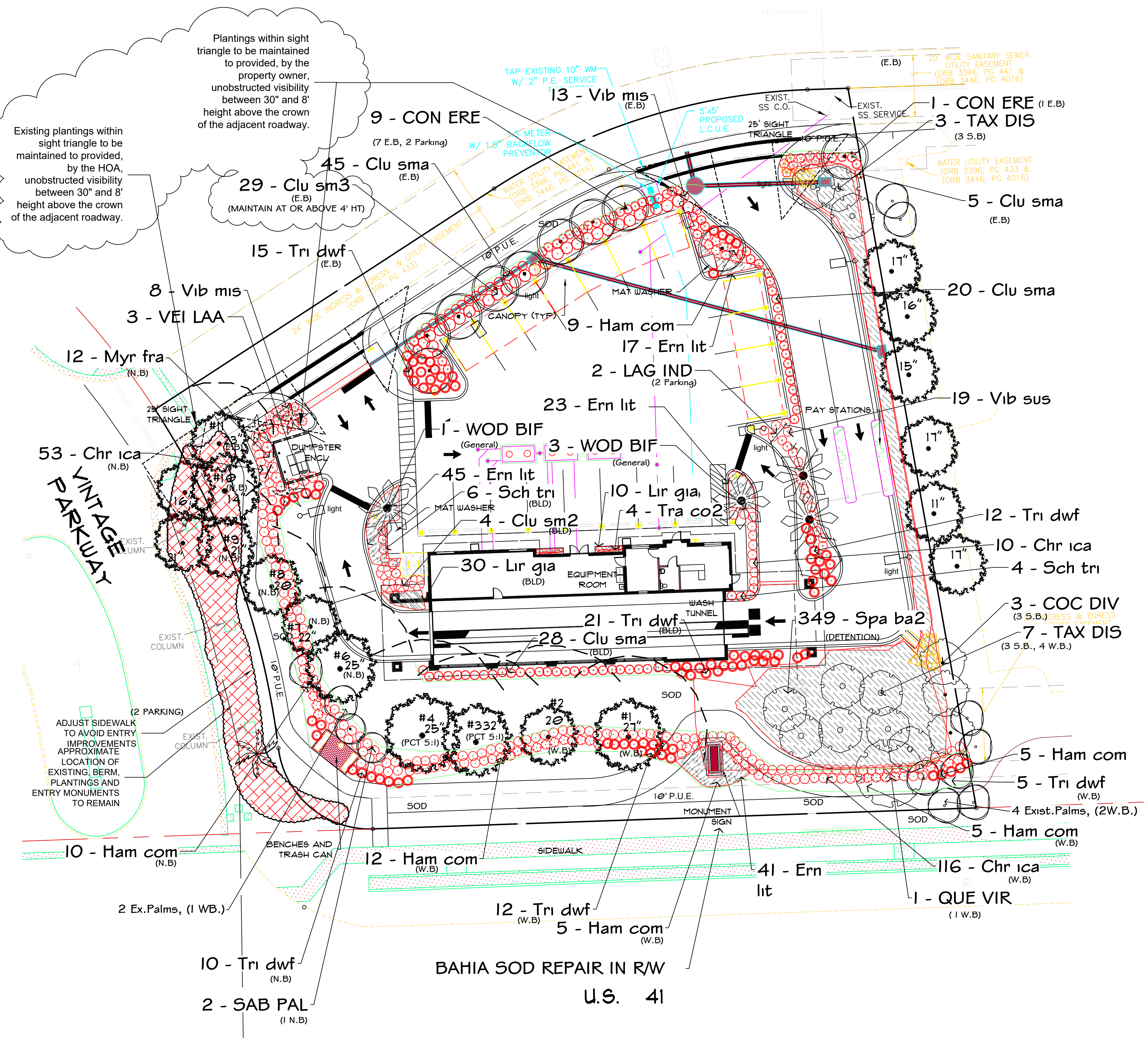
DRAWN BY: SMS  
SHEET DESCRIPTION:  
**CANOPY ELEVATIONS AND COLOR OPTIONS**  
SHEET NO.  
**A-5**

PHASE:  
DEVELOPMENT ORDER



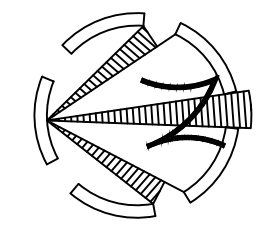
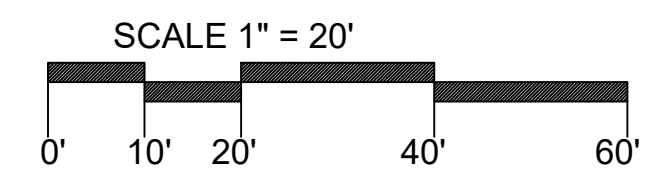






**LANDSCAPE PLAN**

TYPICAL EASEMENT AREA REFER TO ENGINEERING PLANS FOR SPECIFIC EASEMENT INFORMATION



**PLANT LIST**

PLANT SCHEDULE				
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME
	COC DIV	3	Coccoloba diversifolia	Pigeon Plum
	CON ERE	10	Conocarpus erectus	Buttonwood
	LAG IND	2	Lagerstroemia indica	Crape Myrtle
	QUE VIR	1	Quercus virginiana	Southern Live Oak
	SAB PAL	2	Sabal palmetto	Cabbage Palmetto
	TAX DIS	10	Taxodium distichum	Bald Cypress
	VEI LAA	3	Veitchia montgomeryana	Montgomery Palm
	WOD BIF	4	Wodyetia bifurcata	Foxtail Palm
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME
	Chr ica	178	Chrysobalanus icaco	Coco Plum
	Clu sma	98	Clusia guttifera	Small Leaf Clusia
	Clu sm3	29	Clusia guttifera	Small Leaf Clusia
	Clu sm2	4	Clusia guttifera	Small Leaf Clusia
	Ham com	46	Hamelia patens 'Compacta'	Dwarf Firebush
	Myr fra	12	Myrcianthes fragrans	Simpson's Stopper
	Sch tri	10	Schefflera arboricola 'Trinette'	Trinette Variegated Schefflera
	Tra co2	4	Trachelospermum jasminoides 'Confederate'	Confederate Jasmine
	Tri dwf	86	Tripsacum floridanum	Florida Gamagrass
	Vib mis	21	Viburnum obovatum 'Miss Shillers Delight'	Small-Leaf Arrowwood
	Vib sus	19	Viburnum suspensum	Sandankwa Viburnum
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME
	Ern lit	126	Ernodea littoralis	Golden Creeper
	Lir gia	40	Liriope muscari 'Evergreen Giant'	Evergreen Giant Lilyturf
	Spa ba2	349	Spartina bakeri	Sand Cordgrass

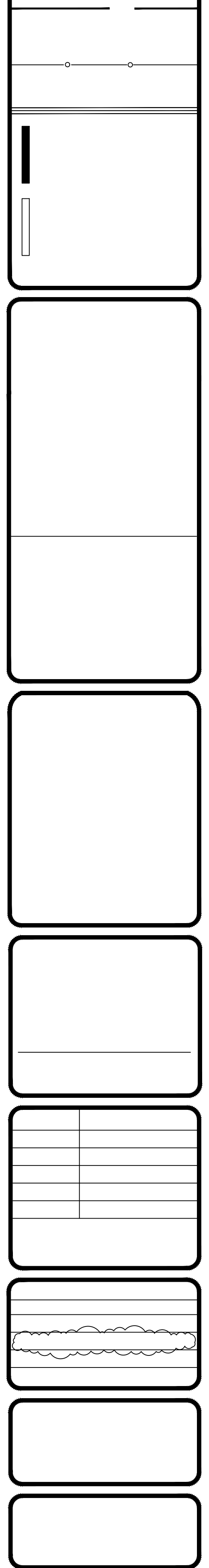
MISC.

MULCH: ALL PLANTINGS SHALL BE MULCHED WITH 3" DARK BROWN MULCH. PROVIDE 4' MINIMUM MULCH RING AROUND ALL TREES.

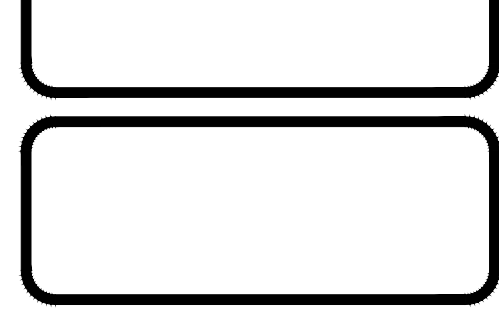
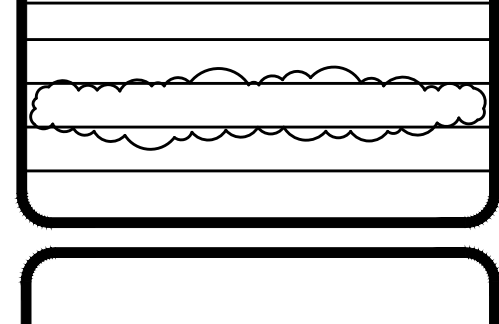
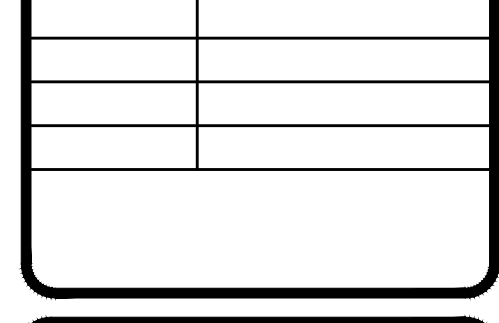
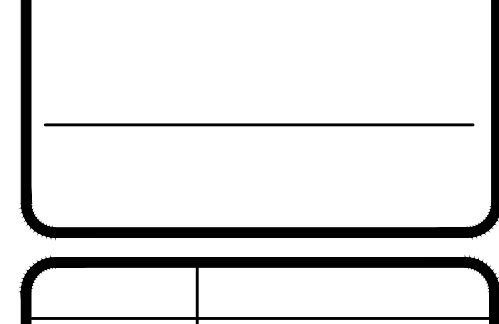
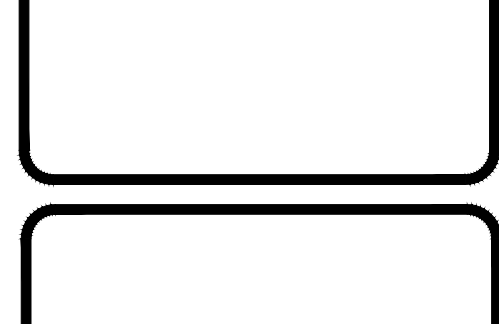
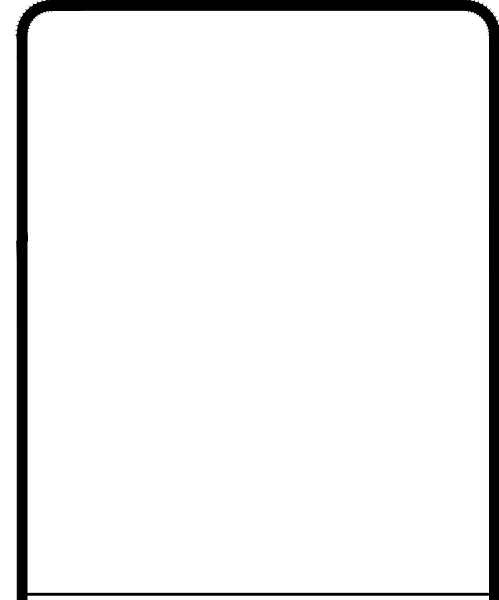
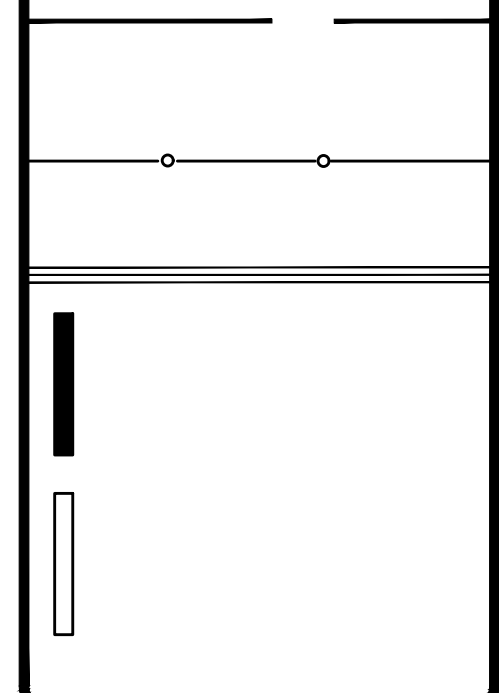
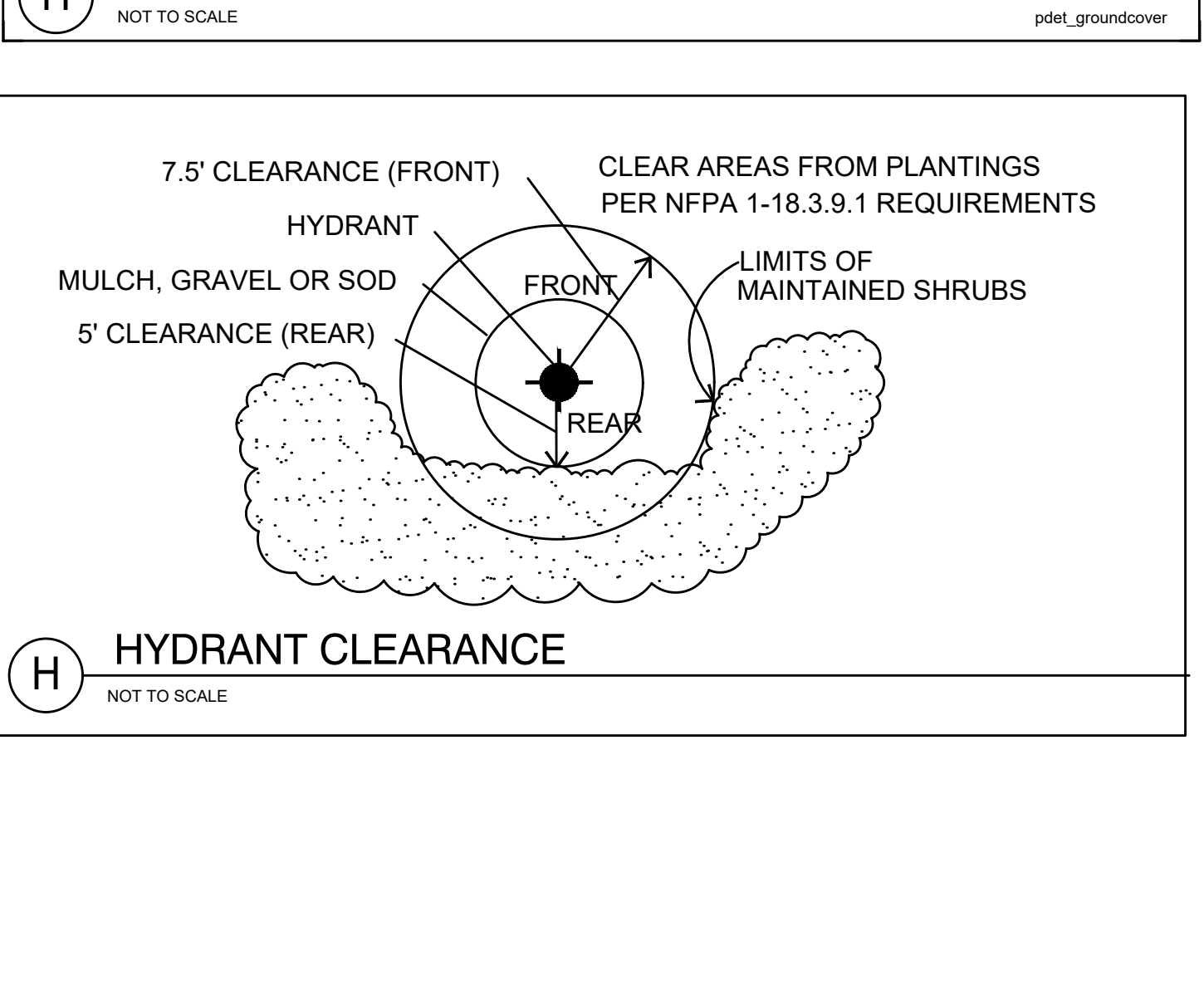
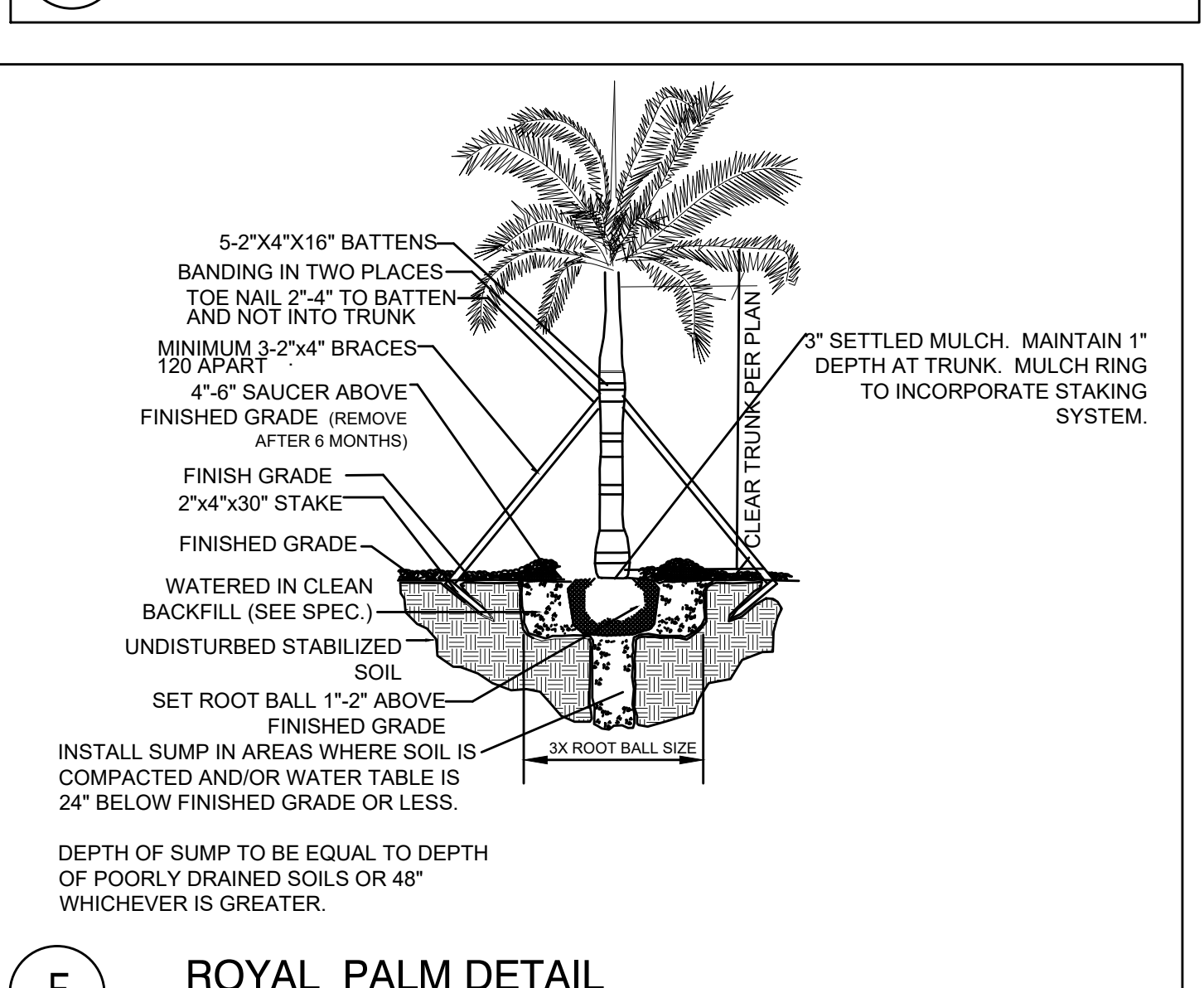
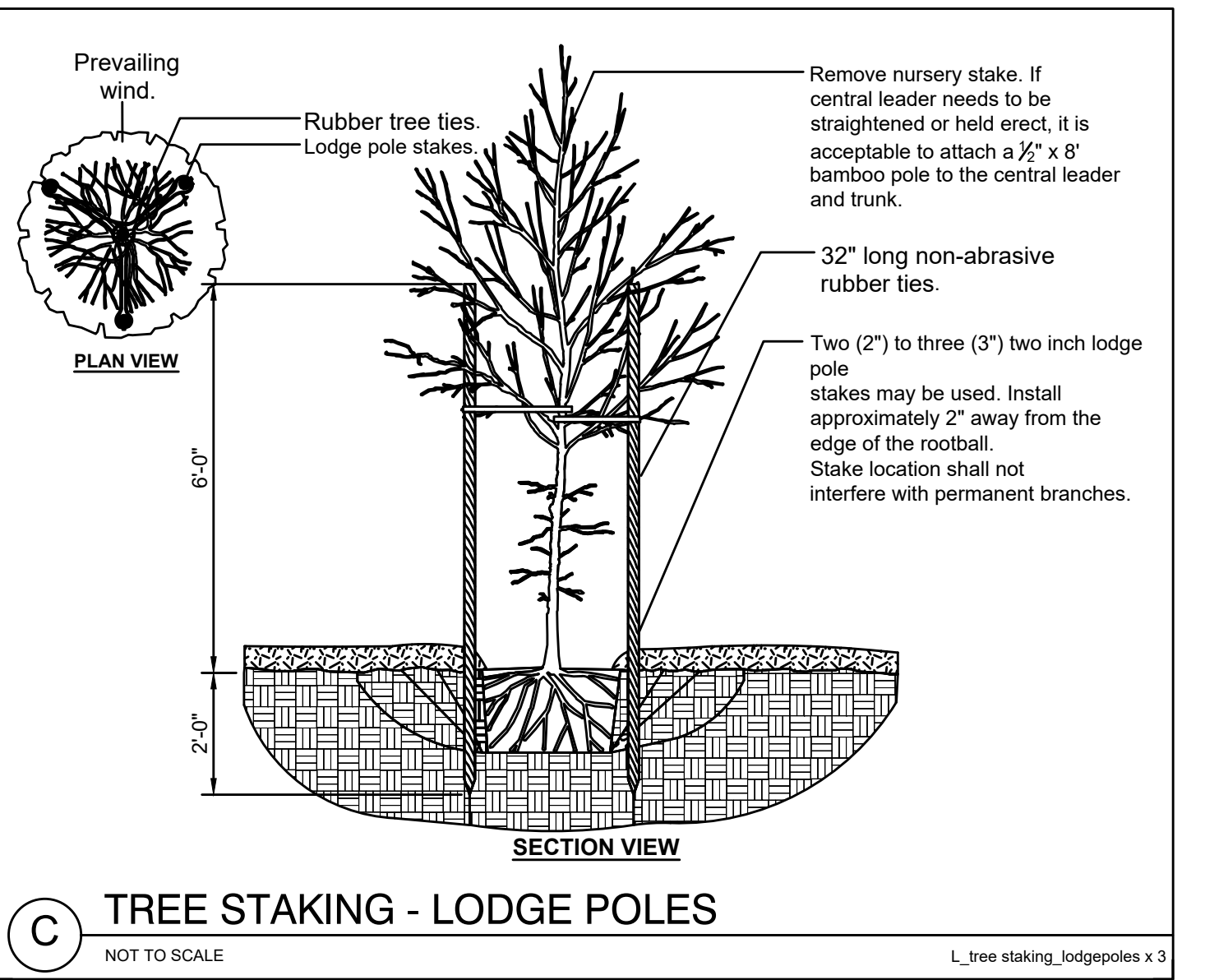
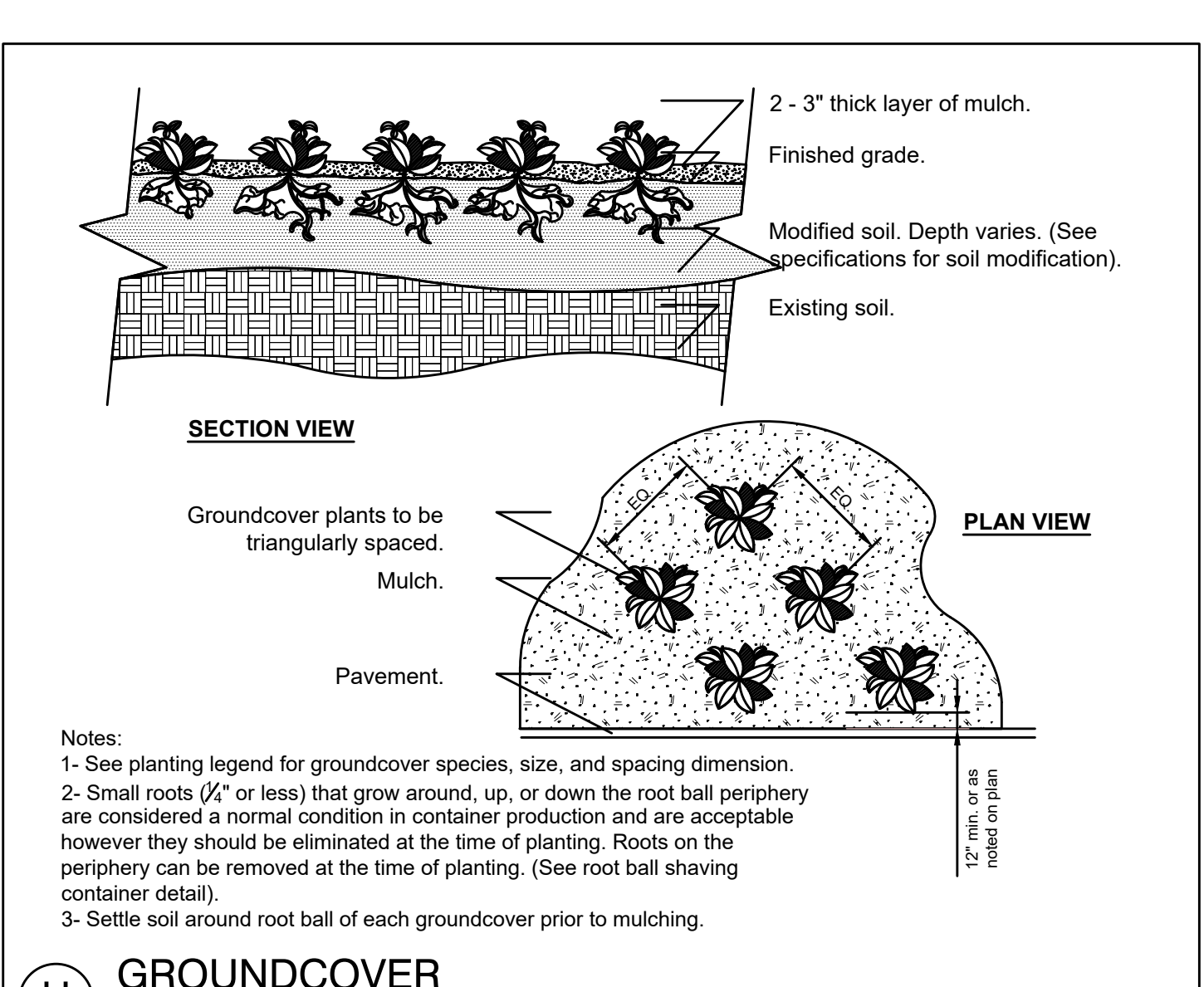
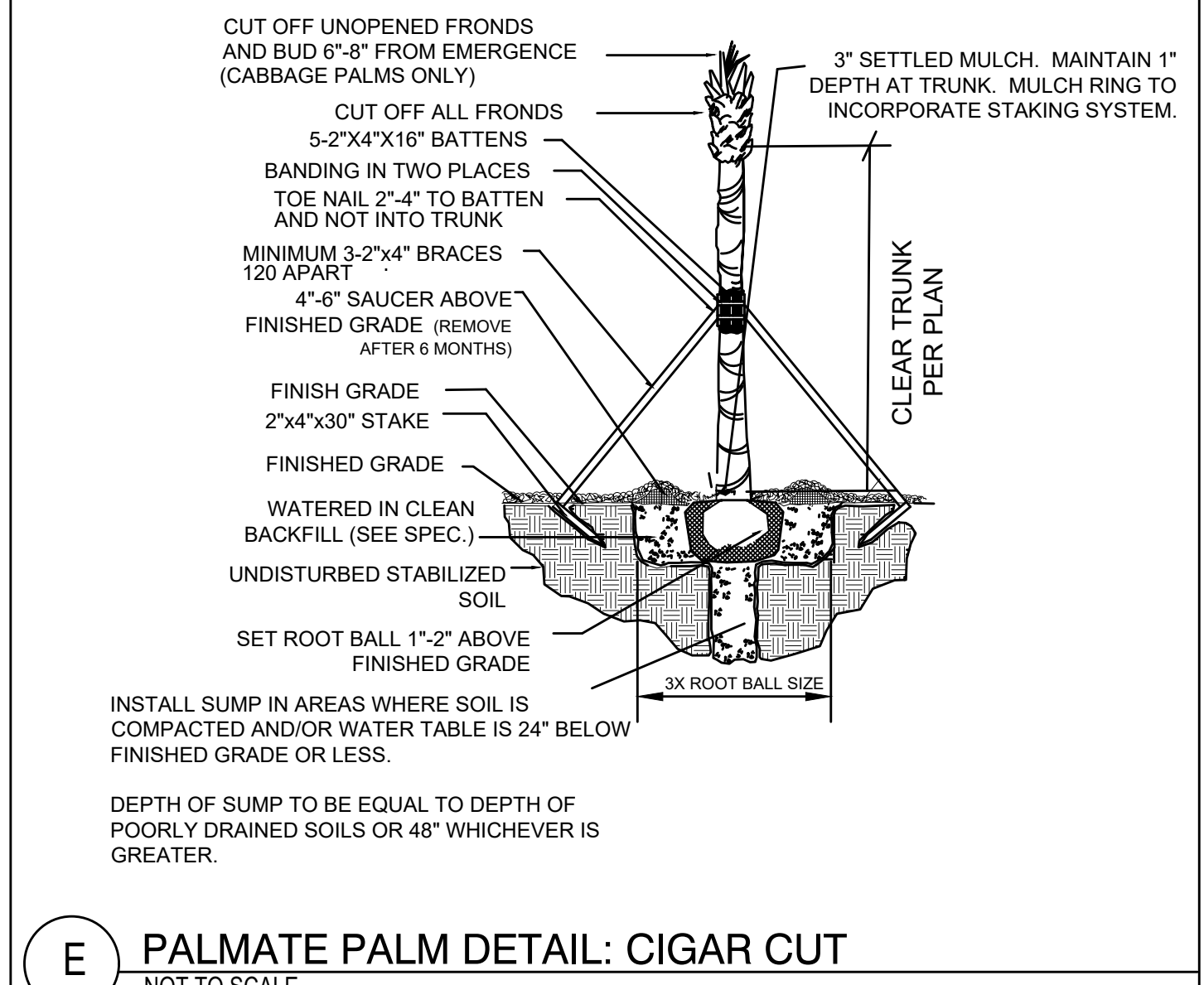
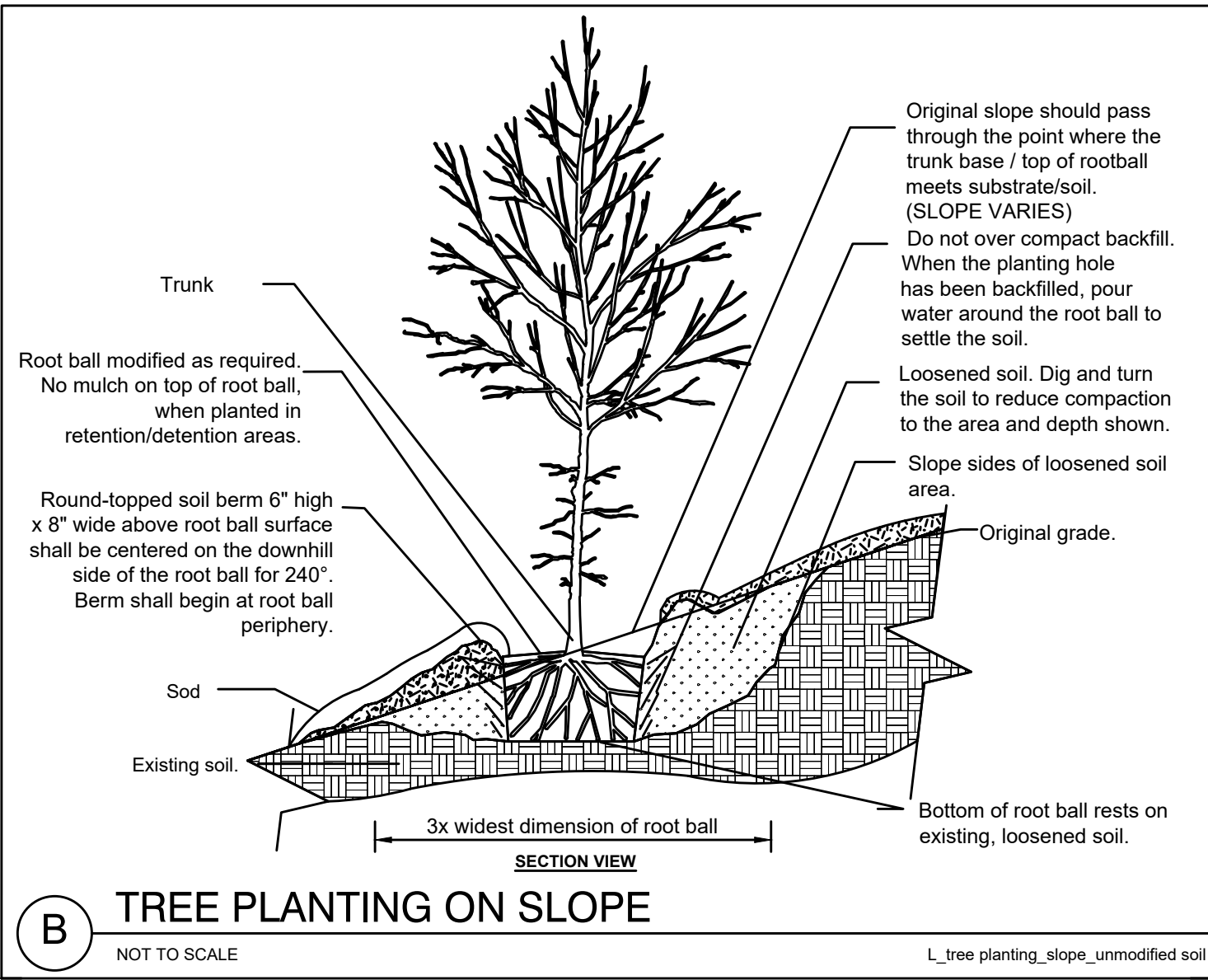
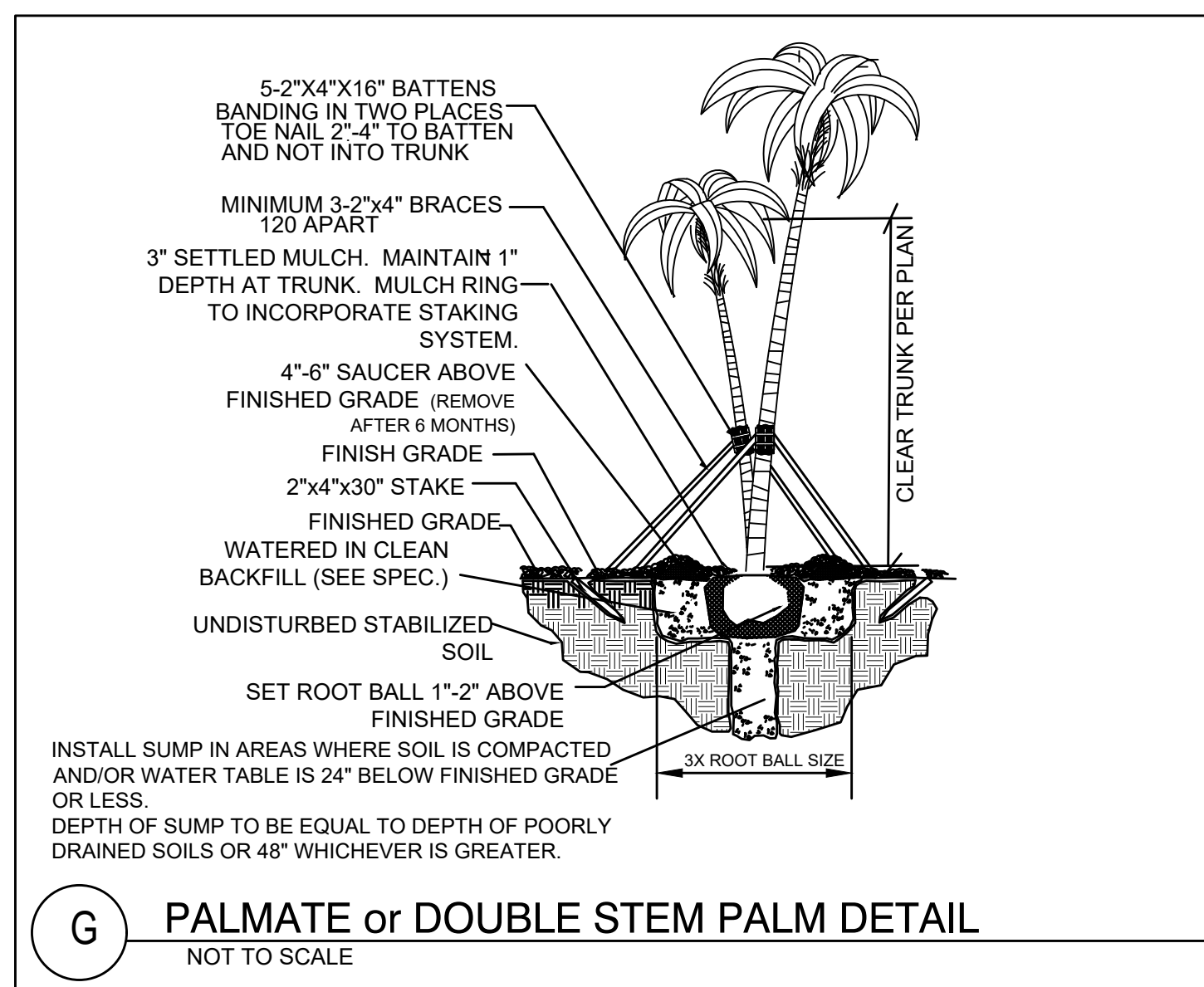
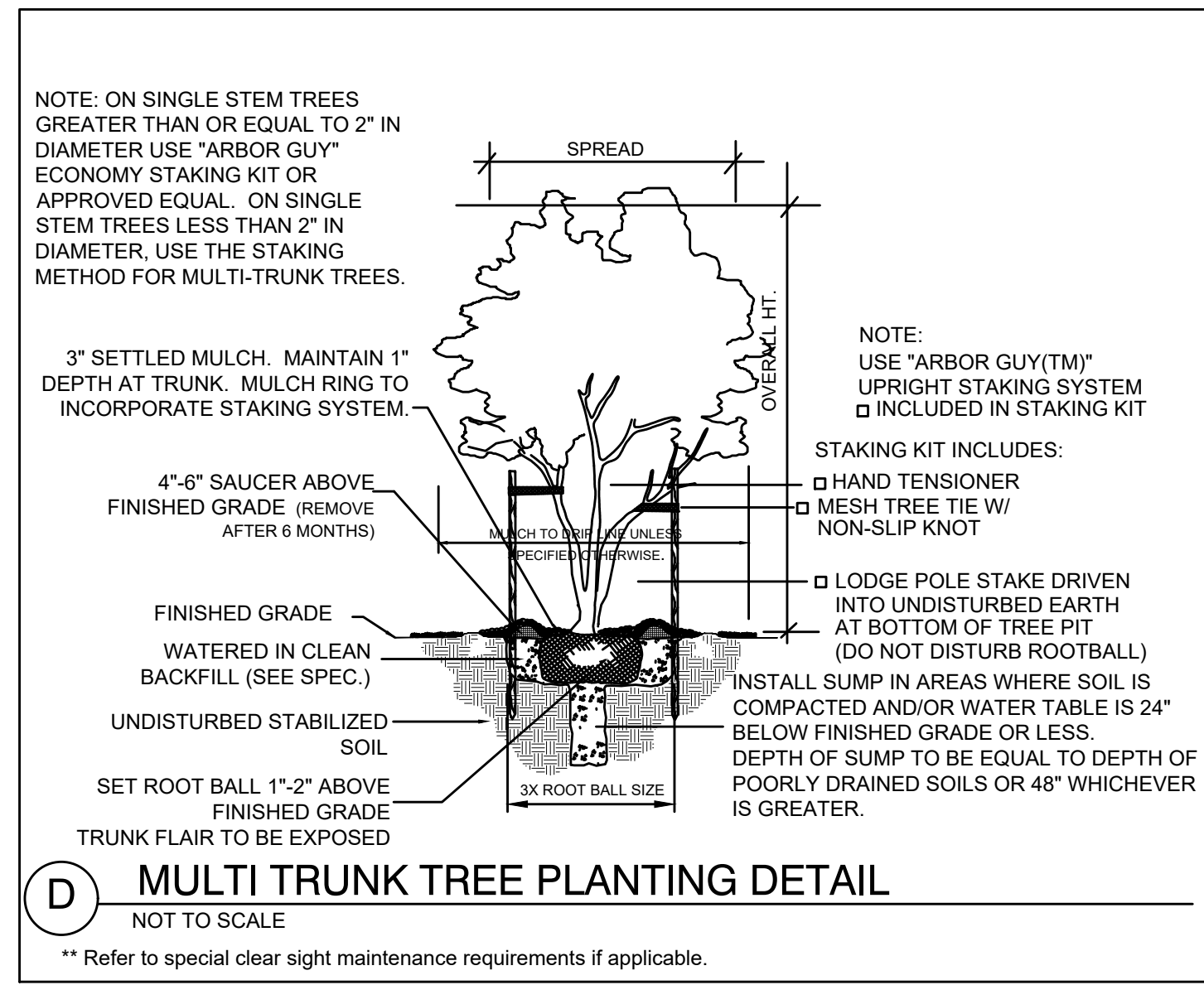
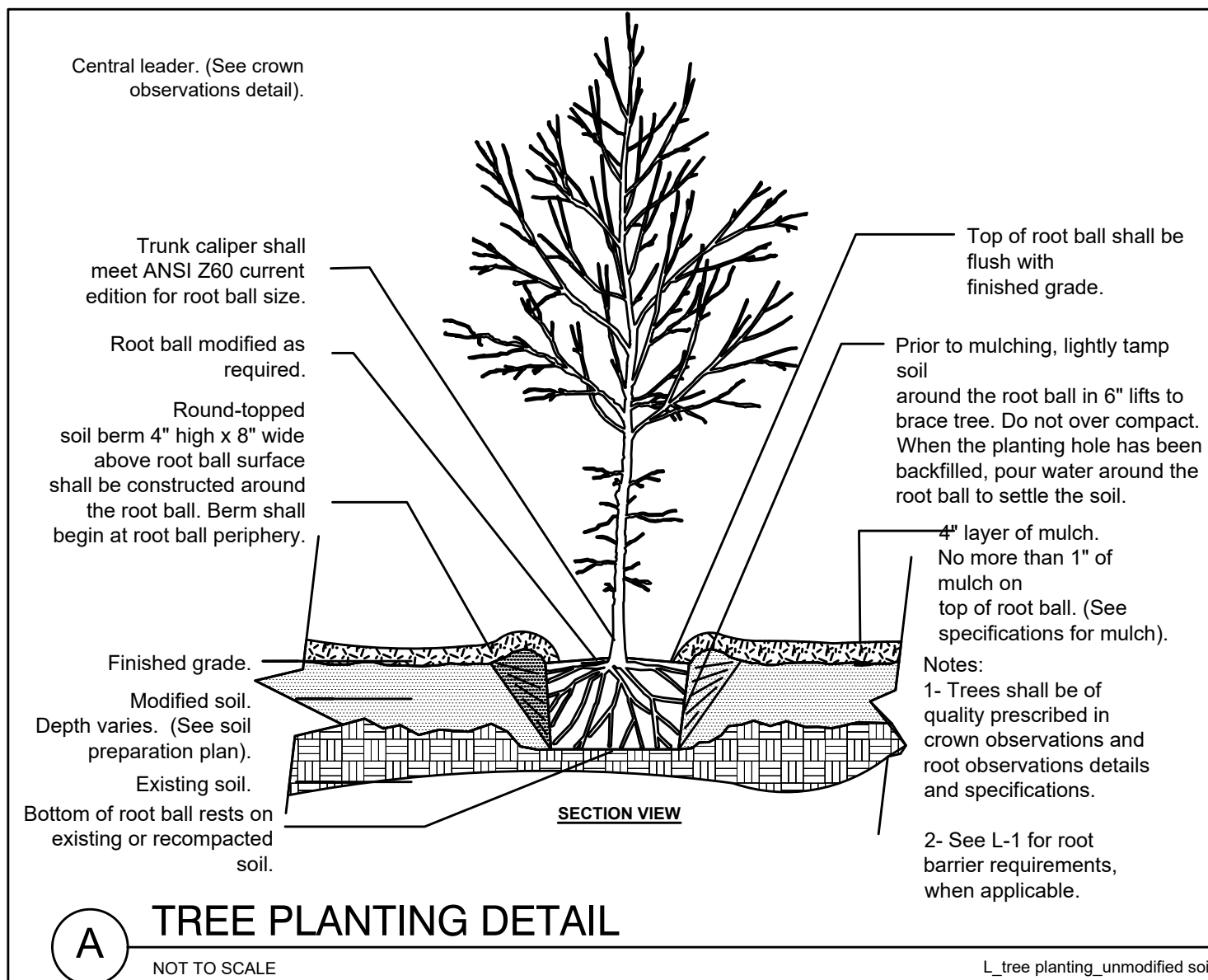
SOD: SITE SHALL BE SODDED WITH FLORITAM SOLID SOD OR OWNER REQUIRED SOD SPECIES. VERIFY PRIOR TO BIDDING.

SOD REPAIR IN FDOT R.O.W. SHALL BE BAHIA.

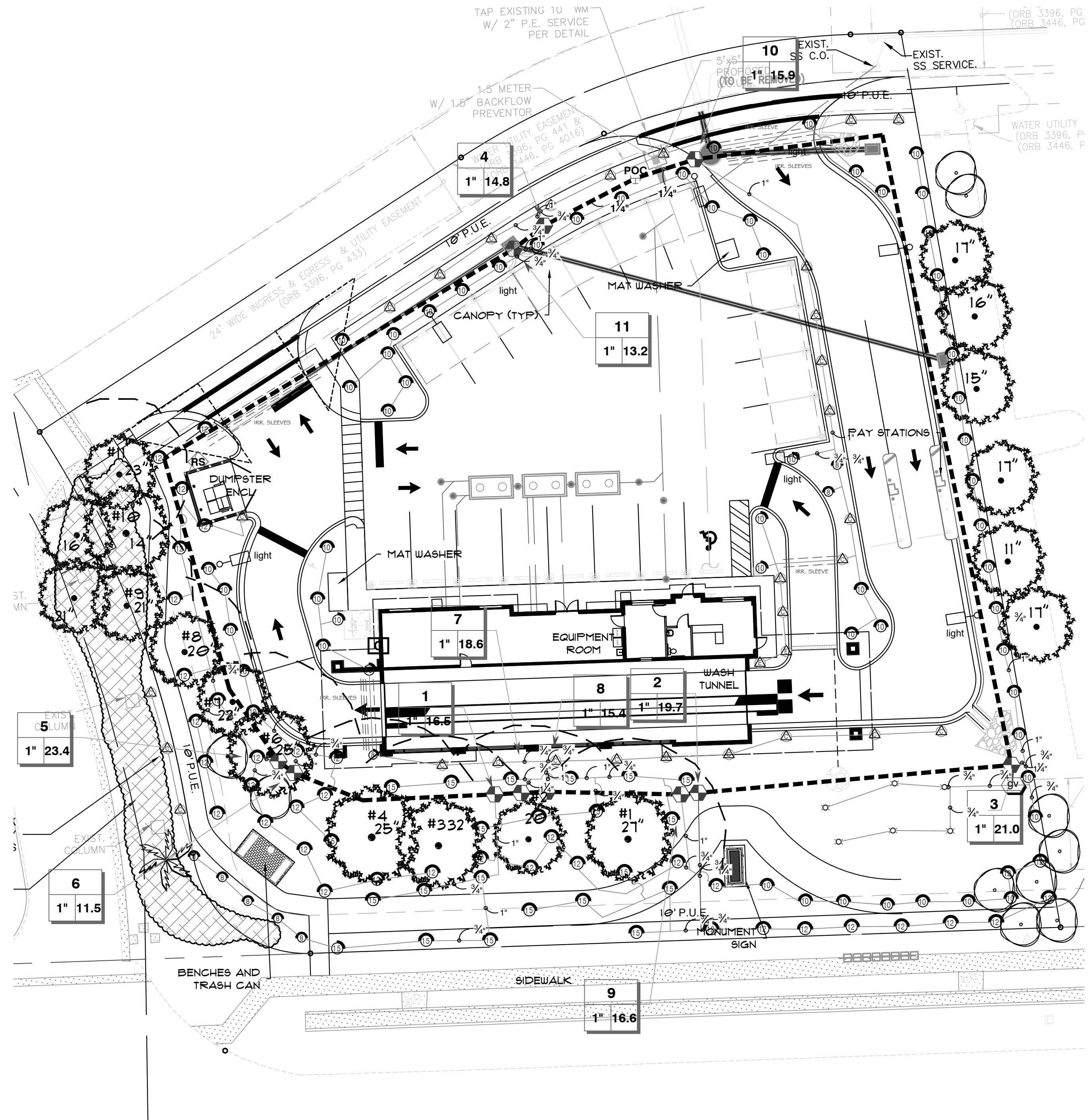
CONTRACTOR RESPONSIBLE FOR MULCH AND SOD QUANTITIES.



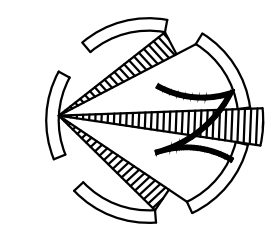
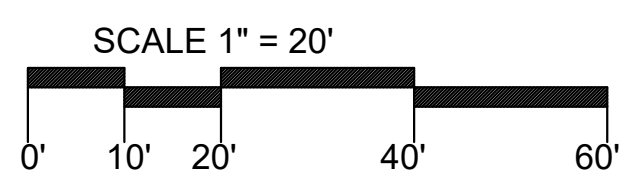








**IRRIGATION MASTER PLAN**



**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
▲	Hunter PROS-06-PRS30 5' strip spray	28	CST	30	1.30	5x30'
▲	Hunter PROS-06-PRS30 5' strip spray	3	EST	30	0.65	5x15'
●	Hunter PROS-06-PRS30 8' radius	7	180	30	0.47	8'
●	Hunter PROS-06-PRS30 8' radius	1	90	30	0.24	8'
●	Hunter PROS-06-PRS30 10' radius	55	180	30	0.88	10'
●	Hunter PROS-06-PRS30 10' radius	5	90	30	0.42	10'
●	Hunter PROS-06-PRS30 12' radius	38	180	30	1.30	12'
●	Hunter PROS-06-PRS30 15' radius	21	180	30	1.86	15'
●	Hunter PROS-06-PRS30 15' radius	1	90	30	0.97	15'
○	Hunter PROS-PRS30-00-MSBN 10F	6	360	30	1.00	1'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL
▲	Hunter PGV-100G 1" 1" Plastic Electric Remote Control Valve, for Residential/Light Commercial Use. Female NPT Inlet/Outlet. Globe Configuration, No Flow Control.	
C	Hunter I2C-1600-PL 16 Station Outdoor Modular Controller. With one ICM-800 Module. Commercial Use. Plastic Cabinet.	
RS	Hunter RAIN-CLIK (2) Rain Sensor, with conduit installation, mount as noted. Normally closed switch.	
GV	gate valve	
POC	Point of Connection 1" IRRIGATION METER AND BACKFLOW PER ENGINEERING PLAN	

- Irrigation Lateral Line: PVC Class 200 SDR 21 3/4"
- Irrigation Lateral Line: PVC Class 200 SDR 21 1"
- Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/4"
- Irrigation Mainline: PVC Class 200 SDR 21 1 1/4"
- Irrigation Mainline: PVC Class 200 SDR 21 1 1/4"
- Irrigation Mainline: PVC Class 200 SDR 21 1 1/4"
- Irrigation Mainline: PVC Class 200 SDR 21 1 1/4"
- Irrigation Mainline: PVC Class 200 SDR 21 1 1/4"
- Pipe Sleeve: PVC Schedule 40

**PIPE SIZING CHART**

GPM	SIZE	GPM	SIZE
0-10	3/4"	1-8	3/4"
11-16	1"	9-13	1"
17-26	1-1/4"	14-22	1-1/4"
27-36	1-1/2"	23-30	1-1/2"
37-55	2"	31-50	2"
56-80	2-1/2"	51-70	2-1/2"

Flows shall maintain velocities of less than 5 feet per second

- NOTES:**
- IRRIGATION ZONES SHALL WATER TURF AND SHRUBS SEPARATELY. IRRIGATION DESIGN IS SCHEMATIC IN NATURE. CONTRACTOR TO VERIFY IRRIGATION OPERATIONAL PARAMETERS AND ADJUST IRRIGATION ZONES AS NEEDED.
  - PROVIDE OWNER WITH AS BUILT AT TIME OF CERTIFICATION.
  - VERIFY CONTROLLER LOCATION W/ OWNER.

**Calculations Of Irrigation Requirements (1-in-10) CLEAN MACHINE CAR WASH 4**

Rainfall Station:	Ft. Myers
Irrigation System:	Overhead
Irrigated Acreage:	0.35
Crop:	Turf Grass
Soil Type:	0.80
Multiplier:	1.25
Efficiency:	0.80

Calculations	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total
Average Rainfall (inches)	1.90	2.00	1.50	1.90	4.10	9.40	8.70	8.60	8.40	3.50	1.50	1.50	53.00
Evapotranspiration (inches)	1.86	2.14	3.70	5.11	6.83	7.60	8.05	7.72	6.48	4.92	3.07	2.15	59.63
Average Effective Rainfall (inches)	0.88	0.94	0.79	1.06	2.31	4.91	4.71	4.58	4.19	1.81	0.76	0.72	27.66
1-in-10 Effective Rainfall (inches)	0.62	0.81	0.13	0.40	1.71	3.91	3.82	4.03	4.02	1.30	0.62	0.63	22.00
Average Irrigation (inches)	0.98	1.20	2.91	4.05	4.52	2.69	3.34	3.14	2.29	3.11	2.31	1.43	31.97
1-in-10 Irrigation (inches)	1.24	1.33	3.57	4.71	5.12	3.69	4.23	3.69	2.46	3.62	2.45	1.52	37.63

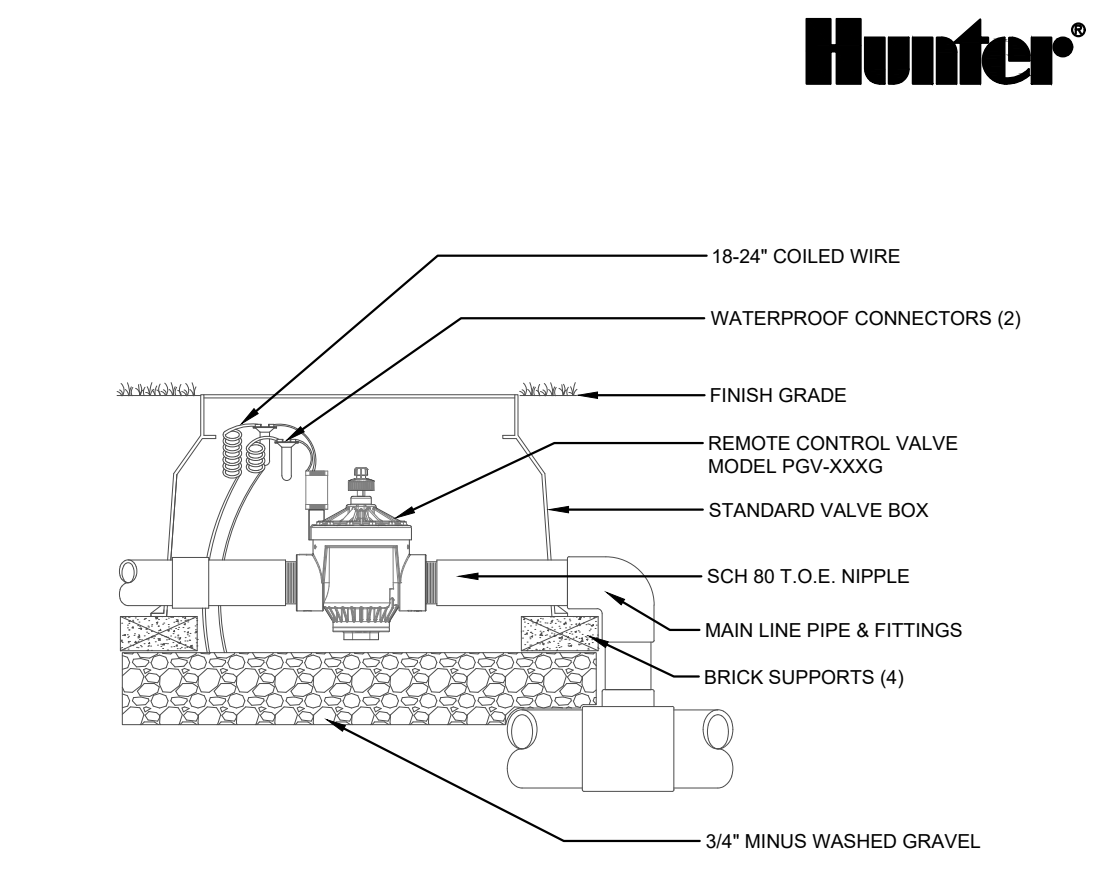
1-in-10 Annual Supplemental Crop Requirement = 37.63 inches

Annual Supplemental Crop Water Use: 37.63 inches X 0.35 Acres X 1.25 X 0.02715 MG/AC-IN = 0.45 MG

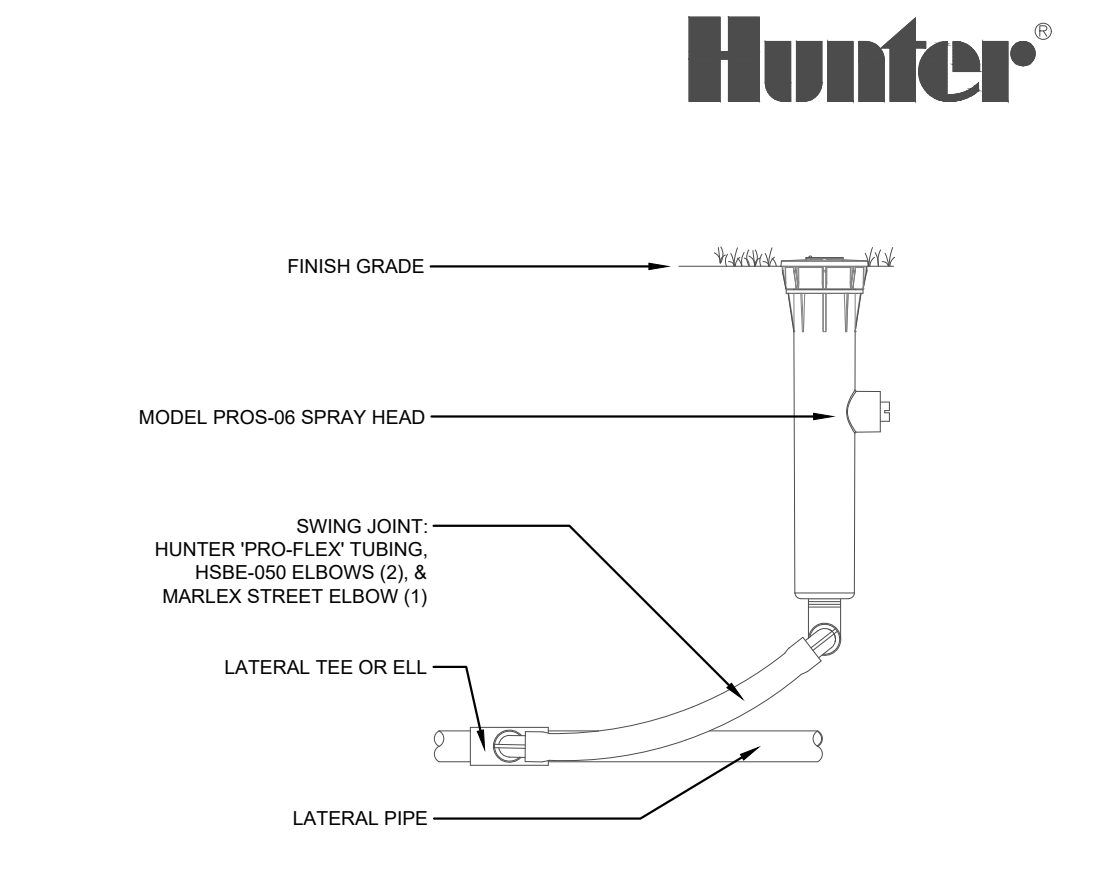
1-in-10 Maximum Monthly Supplemental Crop Requirement = 5.12 inches

Maximum Monthly Supplemental Crop Water Use: 5.12 inches X 0.35 Acres X 1.25 X 0.02715 MG/AC-IN = 0.06 MG

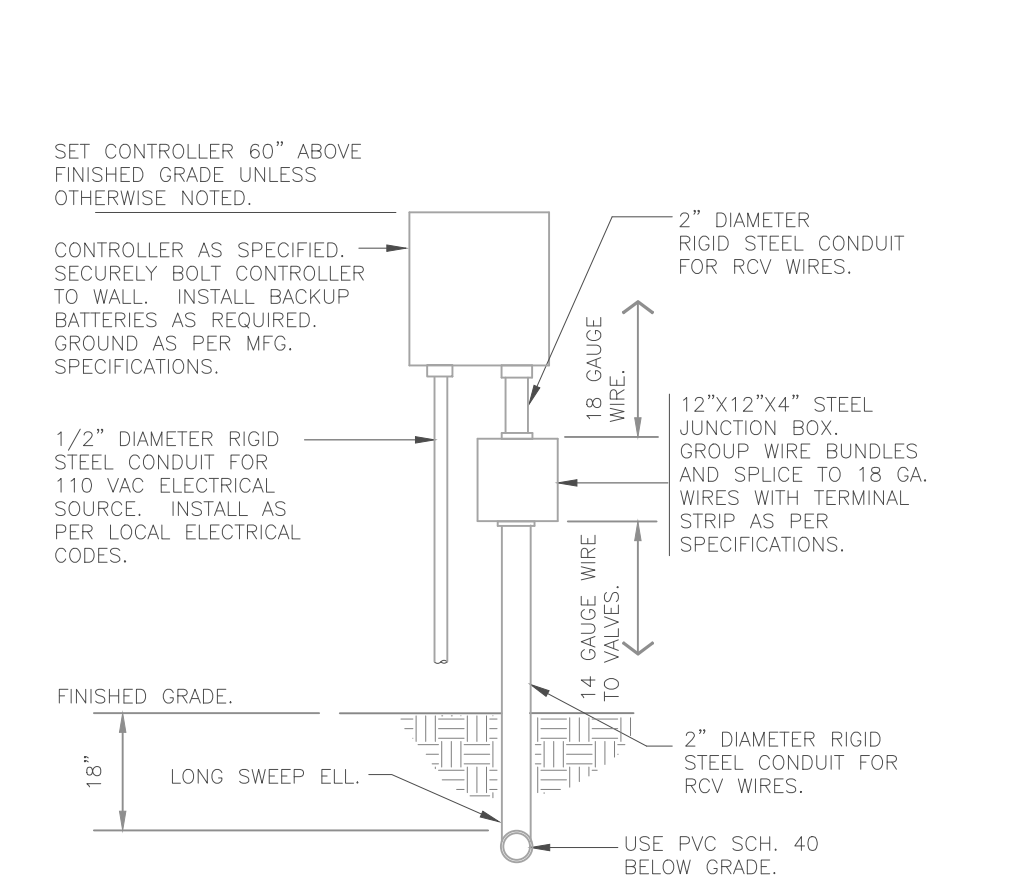
**Notes:**  
 Evapotranspiration was calculated using a modified Blaney-Criddle method.  
 Average effective rainfall is the amount that is useful to crops in an average year.  
 2-in-10 drought rainfall is the rainfall minimum expected with a probability of 2 year in 10.  
 2-in-10 effective rainfall is the amount that is useful to crops in a 2-in-10 drought rainfall.  
 Average irrigation is the net amount that should be required for maximum yields during an average year.  
 2-in-10 irrigation is the net amount that should be required for maximum yields during a 2-in-10 drought year.



1 PGV GLOBE VALVE 1" x 1/2"



2 PROS-06 SPRAY HEAD WITH PRO-FLEX TUBING 3" x 1/2"



3 WALL MOUNT CONTROLLER 1" x 1/2"

































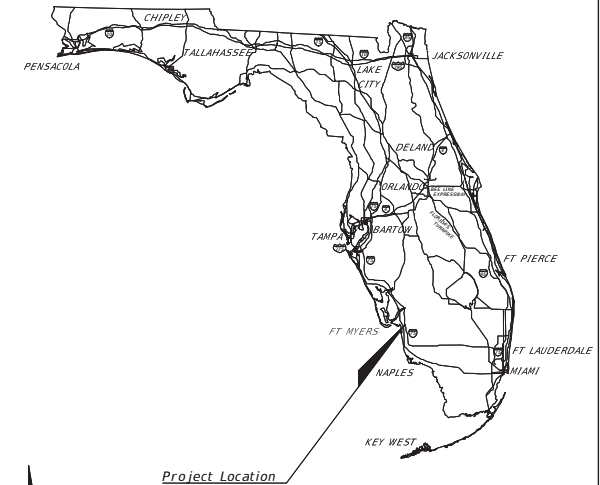


VILLAGE OF ESTERO  
LEE COUNTY

LEE HEALTH MEDICAL BUILDING  
AT UNIVERSITY HIGHLANDS  
SITE LIGHTING PLANS

INDEX OF LIGHTING PLANS

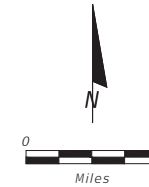
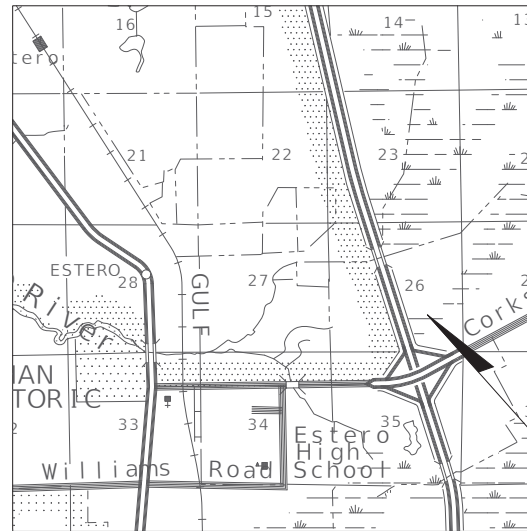
SHEET NO.	SHEET DESCRIPTION
L-1	KEY SHEET
L-2	FIXTURE SCHEDULE, PHOTOMETRIC SUMMARY AND NOTES
L-3	PLAN SHEET



PLANS PREPARED FOR:



PENINSULA ENGINEERING  
2600 GOLDEN GATE PARKWAY  
NAPLES, FL 34105



PROJECT LOCATION

SHOP DRAWINGS SUBMITTED TO:

PLANS PREPARED BY:



TREBILCOCK CONSULTING SOLUTIONS, PA  
2800 DAVIS BLVD SUITE 200 NAPLES FL 34104  
CERTIFICATE OF AUTHORIZATION No. 27796  
PHONE: 239 566 9551  
FAX: 239 566 9553

NOTE: THE SCALE OF THESE PLANS MAY  
HAVE CHANGED DUE TO REPRODUCTION.

ISSUED FOR PERMIT: 3-10-21



Digitally signed by Norman  
Trebilcock  
DN: c=US, st=Florida, l=Naples,  
o=Norman Trebilcock,  
cn=Norman Trebilcock,  
email=ntrebilcock@trebilcock.biz  
Date: 2021.04.26 11:54:42 -04'00'

LIGHTING PLANS  
ENGINEER OF RECORD: NORMAN J. TREBILCOCK A1CP, PTOE, PE

PE NO. : 47116

**GOVERNING STANDARDS AND SPECIFICATIONS:**  
Florida Department of Transportation, STANDARD PLANS 2020-21 and  
revised Index Drawings as appended herein, and 2020 Standard  
Specifications for Road and Bridge Construction, as amended by  
Contract Documents.

For Design Standards click on the "Design Standards" link at the  
following web site:  
[HTTPS://WWW.FDOT.GOV/DESIGN/STANDARDPLANS/CURRENT/DEFAULT.SHTM](https://www.fdot.gov/design/standardplans/current/default.shtm)  
Design Standards

For the Standard Specifications for Road and Bridge Construction  
click on the "Specifications" link at the following web site:  
[http://www.dot.state.fl.us/specificationsoffice/  
Standard Specifications](http://www.dot.state.fl.us/specificationsoffice/Standard%20Specifications)

KEY SHEET REVISIONS	
DATE	DESCRIPTION
4-23-21	REVISED PER COMMENTS

This item has been electronically signed and sealed  
by Norman J. Trebilcock, P.E., State of Florida  
license 47116, using a SHA-1 authentication code.  
Printed copies of this document are not considered  
signed and sealed, and the SHA-1 authentication  
code must be verified on any electronic copies.

FISCAL YEAR	SHEET NO.
21	L-1

LIGHTING FIXTURE SCHEDULE							
O	MANUFACTURER	ORDER INFORMATION					
		QTY	LAMP	LUMINAIRE CATALOG NUMBER	VOLTAGE	MOUNTING	REMARKS
A	CYCLONE LIGHTING	8	LED	CY55P1A-FGC-3HS-60W-3K * **	MVOLT	POLE	CYCLONE (SINGLE FIXTURE), 3000K, TYPE 3 OPTICS WITH HOUSE SIDE SHIELDS ON A DIRECT BURIED CONCRETE POLE AT 25 FT MAX POLE HEIGHT.

**Statistics**

Description	Symbol	Max	Min	Max/Min	Avg/Min	Avg
Lee Health parking	+	2.4 fc	0.8 fc	3.0:1	1.8:1	1.4 fc
Sidewalk-Lee Health	+	1.8 fc	0.9 fc	2.0:1	1.6:1	1.4 fc

PHOTOMETRICS BASED ON NO LIGHT LOSS. LIGHT LOSS FACTOR IS SET TO 1.0.

- \* OR EQUAL PER ALTERNATE MANUFACTURER
  - \*\* FIXTURE COLOR BY OWNER
- GENERAL ELECTRICAL NOTES:

- ELECTRICAL WORK SHALL BE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL CODES AND ORDINANCES GOVERNING ELECTRICAL SYSTEMS.
- CONTRACTOR SHALL VERIFY LOCATION OF PROPOSED UTILITIES, AND IRRIGATION SLEEVES PRIOR TO DRILLING POLE FOUNDATION. MINOR POLE LOCATION MODIFICATIONS MAY BE MADE BY CONTRACTOR IN THE FIELD TO AVOID CONFLICTS. MAJOR POLE LOCATION MODIFICATIONS SHALL BE APPROVED BY ENGINEER OF RECORD.
- PRIOR TO PURCHASING ELECTRICAL EQUIPMENT, SHOP DRAWINGS SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL.
- UPON COMPLETION OF THE PROJECT CONTRACTOR SHALL SUPPLY OWNER ONE SET OF AS-BUILT SHOP DRAWINGS, SHOWING EXACT ELECTRICAL INSTALLATION.
- FUSE HOLDERS (BUSSMAN TRON IN-LINE FUSE HOLDER W/ FNM 5 AMP SLOW BLOW FUSE OR EQUAL), SURGE PROTECTORS (HUNT ENTERPRISES IN-LINE TYPE OR EQUAL) AND GROUND RODS (5/8" X 10', COPPER CLAD, MEASURED 25 OHMS OR LESS) SHALL BE PROVIDED AT EACH LIGHT POLE FIXTURE BASE.
- PULL BOXES SHALL BE IN-GROUND TYPE FOUNDATION 1419-48 BOLT DOWN T COVER (OR EQUAL).
- CONTRACTOR TO SUPPLY ENGINEER CONSTRUCTION DESIGN SEALED BY FLORIDA STRUCTURAL ENGINEER TO REQUIRED DESIGN WIND SPEED.
- ALL CONDUCTORS ARE COPPER WITH THHN INSULATION UNLESS OTHERWISE NOTED.

**Domia DETAILS**

The Domia offers smooth curves and a timeless shape. It's heavy-duty and built to last. Available in a variety of finishes, the Domia is available in a variety of finishes. High performance and low energy consumption.

**CONSTRUCTION**

- Aluminum casting housing available with or without integrated driver compartment
- Corrosion resistant
- Aluminum gaskets and stainless steel hardware
- Aluminum and/or 316 stainless steel or other materials if 316/316L is required with optional self-healing epoxy

**FINISH**

- Super durable extremely resistant exterior polyester powder coating meets AAMA 8200 requirements (5 years South Florida exposure)
- Available in no standard colors / textured (TX) or smooth (SM) finish
- Optional colors are also available
- For added protection a Marine grade (MG) pre-finish is available to meet ASTM G7, B117, D1654 and D2247 requirements (salt spray, corrosion and humidity resistance)

**LED, LENS & OPTICS**

- High power LED available in 3000K & 4000K
- Type 3, 2, 1m (width), 4 & 8 Rowway optics available
- Optional house-side shield available to cut back light
- Flat Clear Glass (FCG) - highest efficiency and performance
- Flat Clear Flood (FCF) - reduces glare with better uniformity
- All lens & optics are fully UV stable
- Dark Sky compliant

**FORMATS**

- Available Pendant or Post Top (pole mount) or a Utility Fitter
- Variable top & bottom heights that features easy tool-free access

**ELECTRICAL**

- Dimmable 0-10 volt, high power factor (90%) driver
- 150, 200, 240, 277, 347 or 480 volts available
- 10-15A surge protector supplied standard

**OPTIONAL**

- Programmable driver (PROG), button-type photocell (PC)
- 7-ft Infrared (IR) or ultraviolet (UV) available with shorting cap (PC), photocell (PT) or long life photocell (PLL)
- Field adjustable 10% increment step-dimming switch (SD)

Contact factory for **WIRELESS CONTROLS** and further details.

**Pendant CY55P1A-FGC-3HS-60W-3K**

Ordering Template

FINISH	LENS	OPTICS	ROWWAY	TYPE	HEIGHT	ADAPTOR	OPTIONAL	PC	PC	PC	PC	PC	PC	PC	PC	PC	PC	PC	PC	PC
FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG

**References**

**LENS**

- FCG: Flat Clear Glass
- FCF: Flat Clear Flood

**ADAPTOR**

- ADP: Adaptor

**OPTIONAL**

- PROG: Programmable Driver
- PC: Photocell
- PT: Photocell
- PLL: Photocell
- IR: Infrared
- UV: Ultraviolet
- SD: Step-Dimming Switch

**Color**

- BLACK
- WHITE
- GRAY
- BRASS
- STAINLESS
- ALUMINUM
- POSSIBLE COLORS (PROPERTY OWNERS)

**ADAPTOR**

- ADP: Adaptor

**OPTIONAL FINISHES**

- MG: Marine Grade

**Domia - CY55P1A-FGC (Flat Glass) 3K**

Package	Watts	Optic	Lumen Output (LMK)	Efficiency (LMK/W)	B U C	Beam Spread	Beam Angle	Beam Diameter	Beam Height
200W	22	34	2200	100	1.0	1.0	1.0	1.0	1.0
400W	45	34	4400	100	1.0	1.0	1.0	1.0	1.0
600W	67	34	6600	100	1.0	1.0	1.0	1.0	1.0
800W	90	34	8800	100	1.0	1.0	1.0	1.0	1.0
1000W	112	34	11000	100	1.0	1.0	1.0	1.0	1.0
1200W	135	34	13200	100	1.0	1.0	1.0	1.0	1.0
1400W	157	34	15400	100	1.0	1.0	1.0	1.0	1.0
1600W	180	34	17600	100	1.0	1.0	1.0	1.0	1.0
2000W	224	34	22400	100	1.0	1.0	1.0	1.0	1.0

NORMAN TREBILCOCK, AICP, PTOE, PE #47116  
TCS CERTIFICATE OF AUTHORIZATION NO. 27796  
ISSUED FOR PERMIT: 3-10-2021

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION
4-23-21	REVISED PER COMMENTS		

**Trebilcock**  
planning-engineering

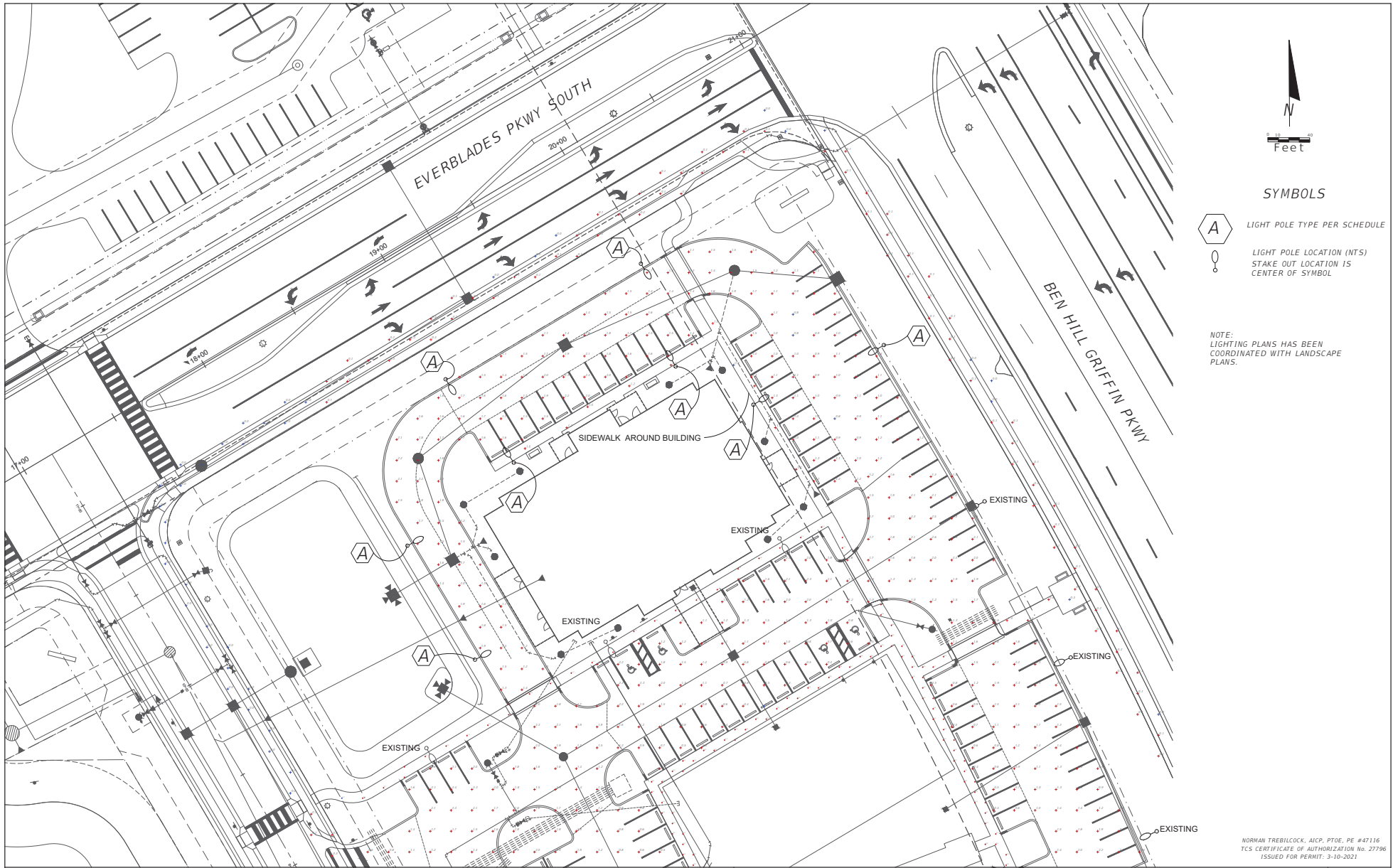
2800 DAVIS BLVD SUITE 200 NAPLES FL 34104

LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS SITE LIGHTING PLANS		
ROAD NO.	COUNTY	FINANCIAL PROJECT ID
NA	LEE	NA


**FIXTURE SCHEDULE, PHOTOMETRIC SUMMARY AND NOTES**


SHEET NO. L-2





**SYMBOLS**

 LIGHT POLE TYPE PER SCHEDULE

 LIGHT POLE LOCATION (NTS)  
STAKE OUT LOCATION IS  
CENTER OF SYMBOL

NOTE:  
LIGHTING PLANS HAS BEEN  
COORDINATED WITH LANDSCAPE  
PLANS.

NORMAN TREBILCOCK, AICP, PTOE, PE #47116  
TCS CERTIFICATE OF AUTHORIZATION No. 27796  
ISSUED FOR PERMIT: 3-10-2021

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION
4-23-21	REVISED PER COMMENT		

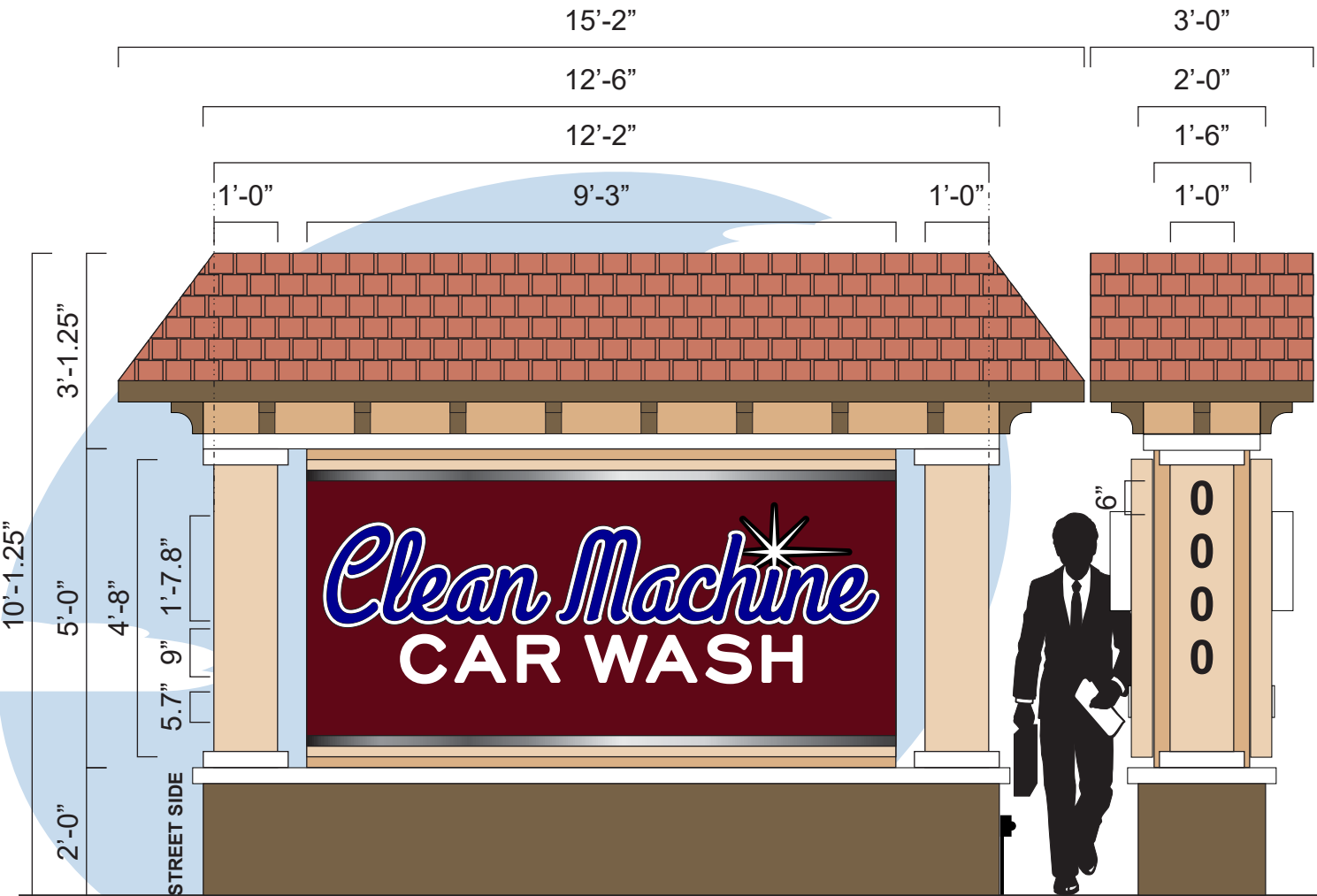


**Trebilcock**  
planning-engineering

2800 DAVIS BLVD. SUITE 200 NAPLES, FL 34104

LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS SITE LIGHTING PLANS		
ROAD NO.	COUNTY	FINANCIAL PROJECT ID
NA	LEE	NA

<b>PLAN SHEET</b>	SHEET NO.  L-3
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**MANUFACTURE & INSTALL ONE (1) DOUBLE FACED, ILLUMINATED GROUND SIGN.**

MOUNTING AREA - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE TEXTURED. CABINETS TO BE ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE SMOOTH. FACES TO BE ROUTED ALUMINUM WITH FACE ILLUMINATED CHANNEL LETTERS " CLEAN MACHINE". "CAR WASH", "STAR" & "FREE VACUUMS" COPY TO BE .5" PUSH THRU ACRYLIC LETTERS.

TO BE ILLUMINATED USING WHITE (7000k) LED's.

COLUMNS TO BE ALL ALUMINUM CONSTRUCTION WITH FABRICATED ALUM.CAPS AND BASES, FINISH TO BE TEXTURED. ADDRESS NUMBERS TO BE .25" FLAT CUT OUT DiBOND WITH SMOOTH PAINTED FINISH.

**NOTE: SQUARE COLUMNS**

ROOF - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE SMOOTH WITH TILE TO MATCH BLDG (BY OTHERS) CAP TO BE FABRICATED ALUMINUM WITH PVC SCONCES

BASE TO BE ALL ALUMINUM CONSTRUCTION WITH TEXTURED FINISH. CAP AND BASE TO BE FABRICATED ALUM WITH TEXTURED FINISH.

**COLOR LEGEND:**

	COLOR 1: SHERWIN WILLIAMS SW7722 "TRAVERTINE"		ROOF: AWNING: CONCRETE TILE & METAL STANDING SEAM ROOFING TERRA COTTA COLOR
	COLOR 2: SHERWIN WILLIAMS SW7679 "GOLDEN GATE"		
	COLOR 3: BENJAMIN MOORE 2098-30 "DARK NUT BROWN"		



3300 PALM AVENUE, FT. MYERS, FL 33901  
 PHONE: 239.278.4245  
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NFPA 70 - II



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction  
 Max height is 24'-0" Max allowable Sq Ft is 1 Sq Ft per linear Ft of bldg frontage N.T.E. 200.0 Sq Ft. 75% To be sign copy, 25% to be Architectural detail. Sign base to be max 2'-0" in height. Sign width must be greater than sign height.  
 Sign is 8'-0" High Sign is utilizing 43.2 Sq Ft

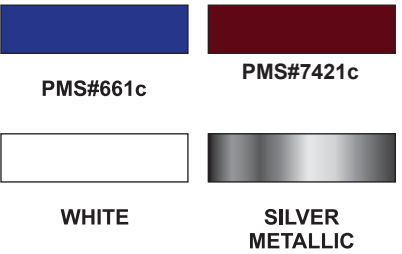
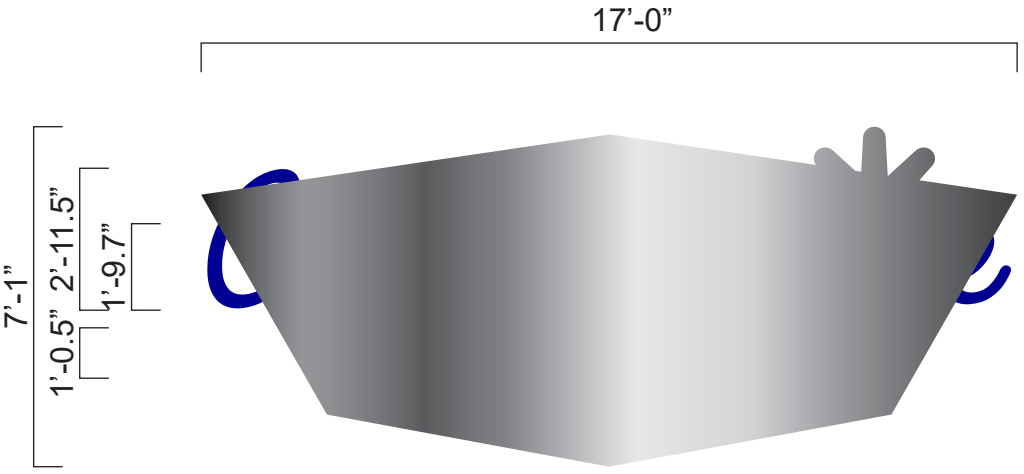
CUSTOMER APPROVAL:

\_\_\_\_\_  
 SIGNATURE

\_\_\_\_\_  
 DATE

JOB DESCRIPTION: Ground Sign Option #1					PROJECT MANAGER: Elisha White	DESIGNER: MB
COMPANY: Clean Machine	DRAWING NUMBER: 20-0272 01 J	INITIAL DRAWING DATE: 5/5/2020	REVISION 4/26 H	REVISION 5/13 I	REVISION 5/19 J	Rev J Revised count wall signs, Included new elevation drawings
CONTACT:	PHONE:	E-MAIL:	SCALE: 3/8" = 1'-0"			





**MANUFACTURE & INSTALL ONE (1) SINGLE FACED, ILLUMINATED WALL SIGN.**

ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME. FACES TO BE ROUTED WITH .5" ACRYLIC PUSH THRU LETTERS "CARWASH". "CLEAN MACHINE" COPY TO BE 5" DEEP FACE ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO FACE OF CABINET. "STAR" TO BE ROUTED OUT OF FACES AND BACKED WITH PLEX.

TO BE ILLUMINATED USING WHITE (7000k) LED's.

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 FAX: 239.278.3912

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CUSTOMER APPROVAL:

\_\_\_\_\_  
 SIGNATURE

\_\_\_\_\_  
 DATE

JOB DESCRIPTION: Wall Sign					PROJECT MANAGER: Elisha White		DESIGNER: MB
COMPANY: Clean Machine	DRAWING NUMBER: 20-0272 02 J	INITIAL DRAWING DATE: 5/5/2020	REVISION 4/26 H	REVISION 5/13 I	REVISION 5/19 J	Rev J Revised count wall signs, Included new elevation drawings	
CONTACT:	PHONE:	E-MAIL:		SCALE: 1/4" = 1'-0"			

ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NFPA 70 - 11

REG#: E216325



30'-8" X 40'-0" = 1226.624 TOTAL AREA  
 10% = 122.6 Sq Ft ALLOWED  
 7'-1" X 17'-0" = 120.4 Sq Ft

**SOUTH ELEVATION: 1/8" = 1'-0"**



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 PHONE: 239.278.4245  
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE  
 IN COMPLIANCE WITH NFPA 70 - 11



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City of Estero Jurisdiction

Max signage allowed is 10% of the total area of wall. N.T.E. 200.0 Sq Ft

Sign is allowed 122.6 Sq Ft Sign is utilizing 120.4 Sq Ft

CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:  
 Wall Sign

PROJECT MANAGER:  
 Elisha White

DESIGNER:  
 MB

COMPANY:  
 Clean Machine

DRAWING NUMBER:  
 20-0272 02 J

INITIAL DRAWING DATE:  
 5/5/2020

REVISION  
 4/26 H

REVISION  
 5/13 I

REVISION  
 5/19 J

Rev J Revised count wall signs, Included new elevation drawings

CONTACT:

PHONE:

E-MAIL:

SCALE: 1/8" = 1'-0"

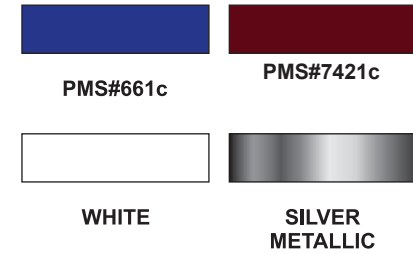
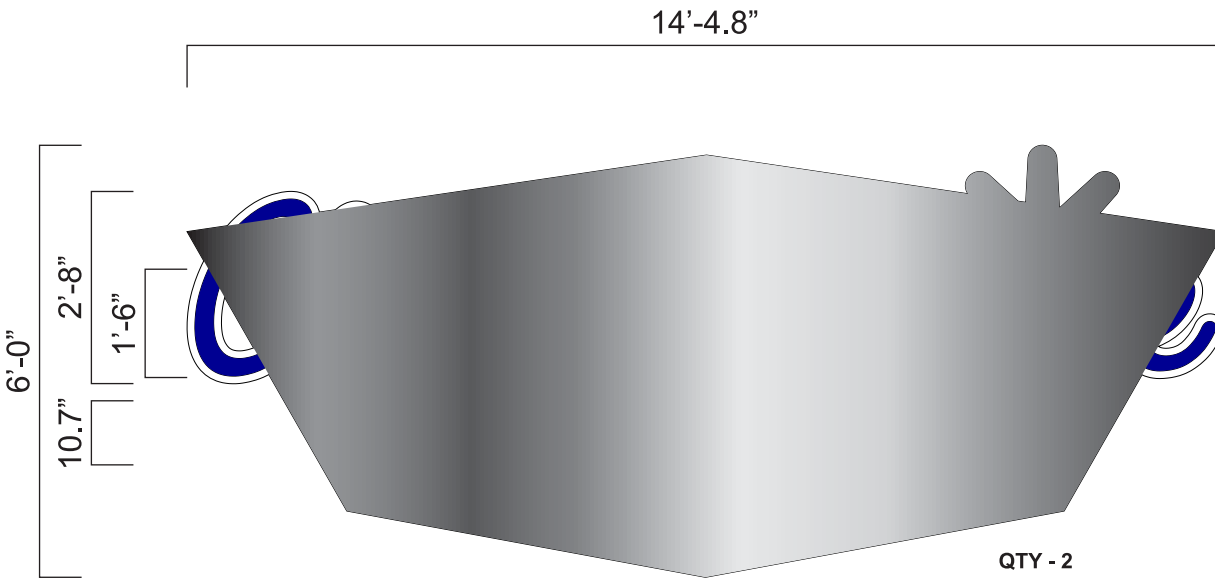
ADDRESS:  
 Vintage Pkwy & US 41 Estero Fl

FILEPATH:  
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SHEET 3 of 6

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS





**MANUFACTURE & INSTALL ONE (1) SINGLE FACED, ILLUMINATED WALL SIGN.**

ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME. FACES TO BE ROUTED WITH .5" ACRYLIC PUSH THRU LETTERS "CARWASH". "CLEAN MACHINE" COPY TO BE 5" DEEP FACE ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO FACE OF CABINET. "STAR" TO BE ROUTED OUT OF FACES AND BACKED WITH PLEX.

TO BE ILLUMINATED USING WHITE (7000k) LED's.



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 PHONE: 239.278.4245  
 FAX: 239.278.3912

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CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:  
 Wall Sign

PROJECT MANAGER:  
 Elisha White

DESIGNER:  
 MB

COMPANY:  
 Clean Machine

DRAWING NUMBER:  
 20-0272 06 J

INITIAL DRAWING DATE:  
 5/5/2020

REVISION  
 4/26 H

REVISION  
 5/13 I

REVISION  
 5/19 J

Rev J Revised count wall signs, Included new elevation drawings

CONTACT:

PHONE:

E-MAIL:

SCALE: 3/8" = 1'-0"

ADDRESS:

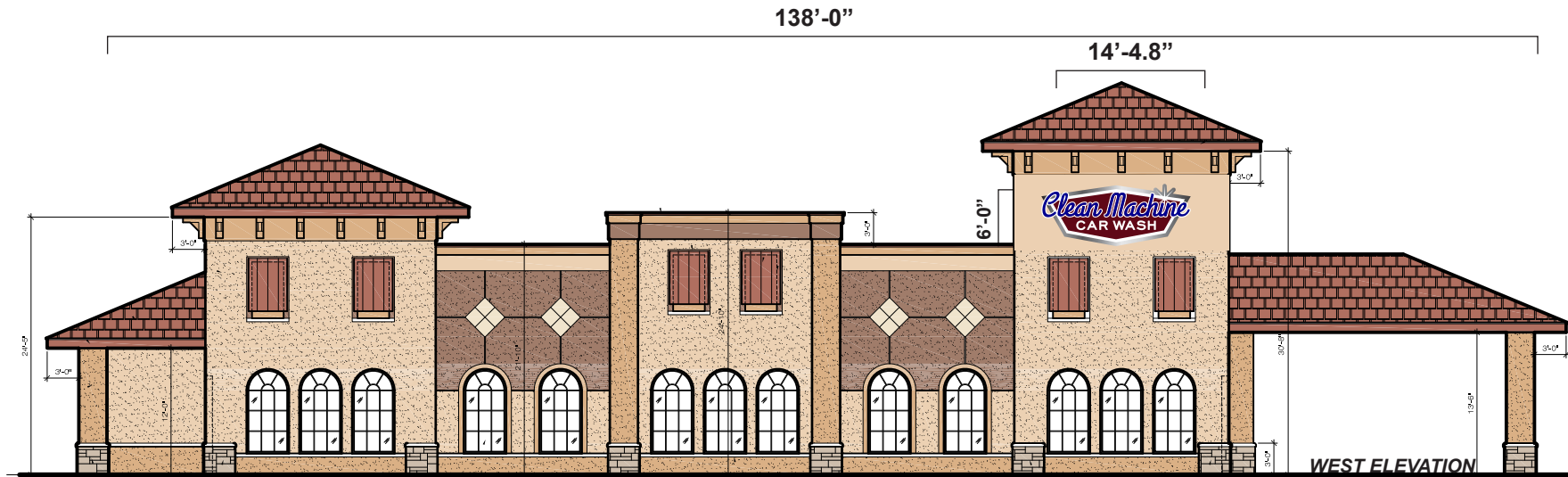
Vintage Pkwy & US 41 Estero Fl

FILEPATH:

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SHEET 4 of 6

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PHONE: 239.278.4245

FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE  
IN COMPLIANCE WITH NFPA 70 - 11



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City of Estero Jurisdiction

Max signage allowed is 10% of the total area of wall. N.T.E. 200.0 Sq Ft

Sign is allowed 200.0 Sq Ft Sign is utilizing 86.5 Sq Ft

CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:

Wall Sign

PROJECT MANAGER:

Elisha White

DESIGNER:

MB

COMPANY:  
Clean Machine

DRAWING NUMBER:  
20-0272 06 J

INITIAL DRAWING DATE:  
5/5/2020

REVISION  
4/26 H

REVISION  
5/13 I

REVISION  
5/19 J

Rev J Revised count wall signs, Included new elevation drawings

CONTACT:

PHONE:

E-MAIL:

SCALE: NONE

ADDRESS:

Vintage Pkwy & US 41 Estero Fl

FILEPATH:

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SHEET 5 of 6

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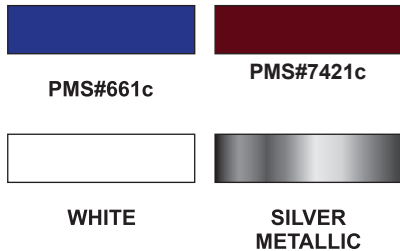
QUANTITY: ONE (1) SINGLE-SIDED  
 INTERIOR WALL SIGN  
 NON ILLUMINATED

BACKGROUND: 1/2" THICK WHITE PVC  
 ROUTER CUT, PAINT COLORS TO MATCH  
 EXISTING EXTERIOR WALL SIGN

"Clean Machine" LETTERS:  
 1/4" THICK WHITE PVC, ROUTER CUT  
 BLUE VINYL OVERLAY  
 FLUSH MOUNTED TO BACKER

"CAR WASH" LETTERS:  
 1/4" THICK WHITE PVC, ROUTER CUT  
 FLUSH MOUNTED TO BACKER

"STAR": 1/4" THICK WHITE PVC, ROUTER CUT  
 FLUSH MOUNTED TO BACKER  
 INTERIOR SIGN TO BE MOUNTED TO LOBBY WALL



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 PHONE: 239.278.4245  
 FAX: 239.278.3912

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 IN COMPLIANCE WITH NFPA 70 - 11



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CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:  
 Interior

PROJECT MANAGER:  
 Elisha White

DESIGNER:  
 MB

COMPANY:  
 Clean Machine

DRAWING NUMBER:  
 20-0272 05 J

INITIAL DRAWING DATE:  
 5/5/2020

REVISION  
 4/26 H

REVISION  
 5/13 I

REVISION  
 5/19 J

Rev J Revised count wall signs, Included new elevation drawings

CONTACT:

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SCALE: 1.5" = 1'-0"

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 Vintage Pkwy & US 41 Estero Fl

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SHEET 6 of 6

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**VILLAGE OF ESTERO  
PLANNING, ZONING & DESIGN BOARD**

**PUBLIC HEARING  
JUNE 8, 2021**



# APPLICANT REPRESENTATIVES

**Engineer:**

**D. Brent Addison, P.E.**



**Landscape  
Architect:**

**Gregory J. Diserio, RLA**



**Architect:**

**Stephen Seaton, AIA**



**Traffic  
Engineer:**

**Jim Banks, P.E.**

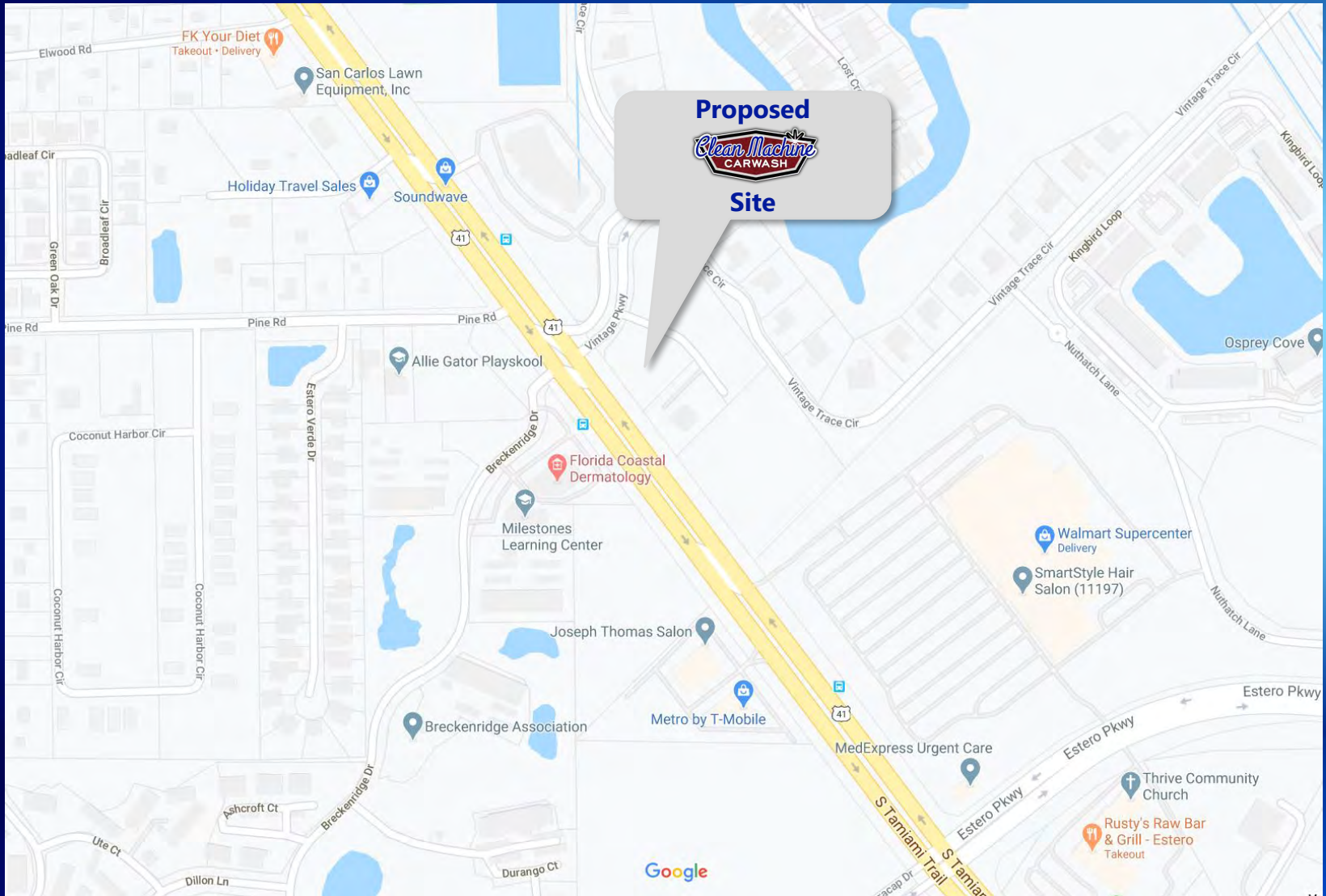


**Acoustical  
Consultant:**

**Sam Shroyer**



# SITE LOCATION MAP



Site is located at the SE corner of US 41 and Vintage Parkway



# PROJECT SUMMARY

**Request:** Site Plan, landscaping and architectural review in preparation of a Development Order application.

- 3,610 SF± Drive-thru car wash, 1 story/45 ft, and associated infrastructure on a 1-acre parcel.
- Proposed use and site plan is consistent with existing zoning which is (CC) Community Commercial.



**ENGINEER**

**D. BRENT ADDISON, P.E**





# SITE AERIAL

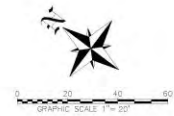








# SITE PLAN WITH AERIAL



PREPARED FOR:  
**CLEAN STREAK VENTURES**  
 225 S. WESTMONTA DR., SUITE 224  
 ALTAMONTE SPRINGS, FL 32714

NO.	DATE	REVISION/DESCRIPTION

**BANKS ENGINEERING**  
 Professional Engineers, Planners, & Land Surveyors  
 Serving The State of Florida

10801 SW 5th STREET PARKWAY  
 SUITE 1000, WESTON, FLORIDA 33412  
 PHONE: (336) 939-5840 FAX: (336) 939-2623  
 ENGINEERING LICENSE #18 00000  
 SURVEY LICENSE # 18 00000  
 WWW.BANKS-ENG.COM

3. BREXIT ADDISON  
 P.E., L.C. #170361

SITE PLAN							CLEAN MACHINE ESTERO		VILLAGE OF ESTERO, FLORIDA	
DATE	PROJECT	DRAWING	REVISION	DRAWN	CHECKED	SCALE	SHEET			
1/18/2021	#502	SITE PLAN	DBA	BEI	DBA	1"=20'	04			

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE

CLEAN MACHINE ESTERO

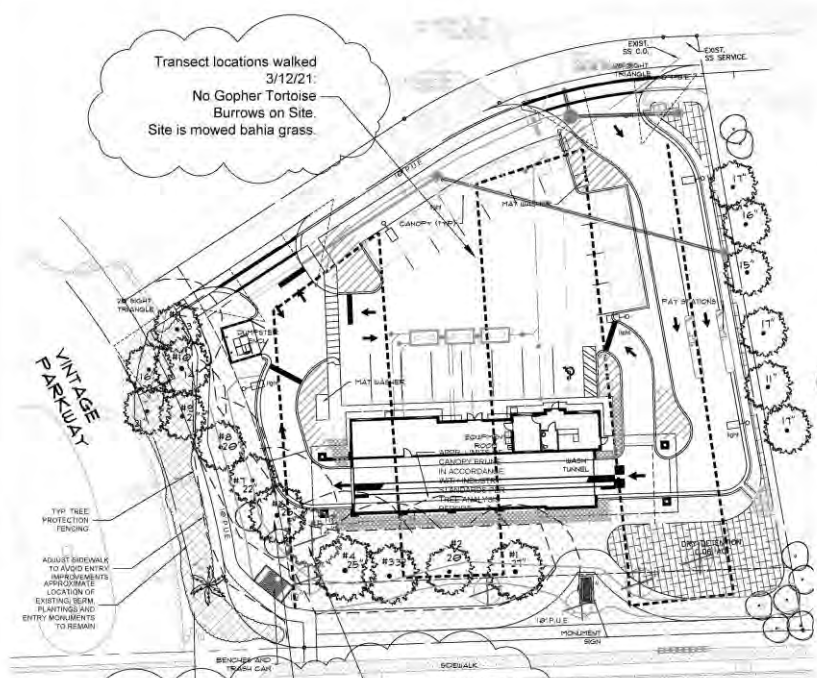
# LANDSCAPE ARCHITECT

Gregory J. Diserio, RLA





# LANDSCAPE PLAN



Transect locations walked 3/12/21:  
No Gopher Tortoise Burrows on Site.  
Site is mowed bahia grass.

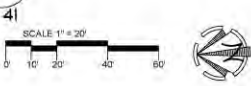
VINTAGE PARKWAY

TYP TREE PROTECTION FENCING  
ADJUST SIDEWALK TO AVOID ENTRY IMPAIRMENTS (APPROPRIATE LOCATION OF EXISTING SIGN PLANTINGS AND ENTRY MONUMENTS TO REMAIN)

REFER TO SHEET L-4 & TREE ANALYSIS REPORT FOR TREE PROTECTION DETAILS & NOTES

CUT & REMOVE 1 OAK. STUMP GRIND STUMP TO 24" ABOVE GRADE

## SITE LANDSCAPE CALCULATIONS



- EXISTING TREE LEGEND**
- OAK TO REMAIN
  - SABAL PALM TO REMAIN
  - OAK TO BE REMOVED
  - SABAL PALM TO BE REMOVED

### GENERAL LANDSCAPE NOTES

1. THE QUALITY OF ALL PLANT MATERIAL WILL MEET THE STANDARDS FOR FLORIDA GRADE NO. 1 (or better), AS GOVERNED IN 'GRADES AND STANDARDS FOR NURSERY PLANTS'.
2. ALL PLANTED TREES AND PALMS WILL HAVE A 2" DEEP SAUCER CONSTRUCTED FROM THE TRUNK OF THE TREE OR PALM MINIMUM OF 4" DIAMETER.
3. ALL PLANTING BEDS SHALL BE COVERED WITH A 2" MINIMUM DEPTH OF MULCH AND SHALL BE WEDED FREE. MULCH SHALL BE GRADE OR BETTER. CONTRACTOR SHALL REMOVE ANY VEGETATIVE GROWTH AND APPLY A PRE-EMERGENT WEED KILLER PER SPECIFICATIONS PRIOR TO MULCHING.
4. CODE PLANTINGS SHALL BE REPLACED AT THE OPTION AND COST OF DEVELOPER SHOULD FUTURE UTILITY WORK REQUIRE REMOVAL.
5. ANY AND ALL EXOTIC VEGETATION INCLUDING: EARLEAF ACACIA, WOMAN'S TONGUE, BIRDPOOD, AUSTRALIAN PINE, CARRYWOOD, ROSEWOOD, AIR POTATO, MURRAY RED GUM, WEDDING TREE, COBBY LAUREL, TIC, HAWAIISE CLIMBER, FERN, OLD WORLD CLIMBER, FERN, MELALEUCA, DOWNY ROSE MYRTLE, CHINESE TALLOW, BRAZILLIAN PEPPER, FLORIDA HOLLY, TROPICAL BIRDAPPLE, JAVA PLUM, ROSE APPLE, CORK TREE AND WERDELIA. ON THE PROPERTY SHALL BE COMPLETELY REMOVED AND DISPOSED OF OFF SITE BY THE CONTRACTOR. THE SITE SHALL BE MAINTAINED FREE OF INVASIVE EXOTIC VEGETATION IN PERMANENCY.
6. TREES SHALL BE A MINIMUM OF 10" IN HEIGHT WITH A 2 1/2" CALIPER, 35 GALLON, MEASURED AT 4" ABOVE GROUND LEVEL WITH A SIX FOOT CANOPY UNLESS SPECIFIED AS 20" TALL TREES PER PLAN AND PLANT LIST  
A MINIMUM OF 100% OF THE BUFFER TREES AND SHRUBS SHALL BE OF A NATIVE SPECIES.
7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING THE UTILITY LOCATIONS TO DETERMINE THE LOCATION AND DEPTH OF UTILITIES PRIOR TO THE START OF LANDSCAPE INSTALLATION.
8. FERTILIZER SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND VILLAGES OF ESTERO OR LOCAL ORDINANCES.
9. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINE GRADE ALL PLANTING AND SOOING AREAS PRIOR TO PLANT OR SOO INSTALLATION. CONTRACTOR SHALL OBTAIN OWNER APPROVAL OF FINAL GRADES.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE TAGSETS. PLANT LIST IS PROVIDED FOR REFERENCE ONLY.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE UNTIL FINAL ACCEPTANCE AND IN COMPLIANCE WITH IRRIGATION.
12. CONTRACTOR SHALL REMOVE ALL TAGS, TIES AND SUPPORTS (EXCEPT IRIGATING GUIDES) FROM ALL PLANTINGS PRIOR TO FINAL ACCEPTANCE.
13. ALL AREAS OF THE SITE NOT PLANTED SHALL BE SOODED IN ACCORDANCE WITH PLANS REFER TO ENGINEERING PLANS FOR ADDITIONAL SPECIFICATIONS.
14. THE REQUIRED PLANTINGS SHALL BE IRRIGATED IN ACCORDANCE WITH LDC REQUIREMENTS. REFER TO CONSTRUCTION DOCUMENTS FOR COMPLETE IRRIGATION PLANS.
15. THE PARKING LOTS SHALL BE SLEEVED FOR IRRIGATION BY THE LANDSCAPE CONTRACTOR COORDINATE WITH CIVIL ENGINEERING PLANS.
16. ALL BASE ROCK SHALL BE REMOVED FROM LANDSCAPE PARKING ISLANDS.
17. PRIOR TO CERTIFICATE OF COMPLIANCE NO TREES SHALL BE PLANTED WHERE THEY INTERFERE WITH BUILDINGS, UTILITIES, SITE DRAINAGE, VIEWS, ROADS, OR WHERE THEY WILL REQUIRE FREQUENT PRUNINGS TO AVOID POWER LINES AT MATURE HEIGHTS IN PERPECTY UNLESS A WRITTEN STATEMENT IS PROVIDED PER LDC SEC. 10-421.4.5.
18. THE CONTRACTOR SHALL PROVIDE (PRESSURE COMPENSATING) SCREENS AS NECESSARY TO REDUCE OR ELIMINATE OVERSPRAY INTO STREETS, WALKS OR OTHER AREAS AS DICTATED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
19. IN LANS PREPARED FOR DEVELOPMENT ORDER APPROVAL, REFER TO ADDITIONAL LANS FOR CONSTRUCTION OCCASIONS FOR PLANTING SPECIFICATIONS.
20. LCU DO NOT ALLOW TREES, STRUCTURES OR ENCROACHINGS OR OTHER ENCUMBRANCES WITHIN LCU EASEMENTS. IN ADDITION, THE TRUNK OF ALL SHADE TREES ARE TO BE PLANTED NO CLOSER THAN 10' AND THE TRUNK OF ALL PALM TREES ARE TO BE PLANTED NO CLOSER THAN 5' FROM AN EXISTING OR PROPOSED LCU INFRASTRUCTURE.
21. STIPULATION: PRIOR TO ISSUANCE OF A CERTIFICATE OF COMPLIANCE, TREES MAY NOT BE PLACED WHERE THEY INTERFERE WITH SITE LIGHTING, DRAINAGE, AND ABOVE- AND BELOW-GROUND UTILITIES.
22. STIPULATION: PRIOR TO COMMENCEMENT OF ANY SITE WORK OR ISSUANCE OF A BUILDING PERMIT, A VEGETATION REMOVAL PERMIT MUST BE OBTAINED FROM THE VILLAGE OF ESTERO AT 258-221-5829. ALL Gopher EROSION CONTROL MEASURES MUST BE IN PLACE (LDC-0092).

### SITE DEVELOPMENT DATA

TOTAL SITE = 1.01 AC (48,349 S.F.)  
TOTAL OPEN SPACE = 13,604 SF  
30% OPEN SPACE REQUIRED  
40,934 X 30% = 12,280 SF REQUIRED  
OPEN SPACE (PER HATCHING) = 14,212 SF PROVIDED PER HATCHING.

### INDIGENOUS OPEN SPACE REQUIREMENTS

NOT APPLICABLE  
**HERITAGE TREES**  
HERITAGE TREES EXIST ON THE SITE AS SHOWN  
1 HERITAGE TREES SCHEDULED FOR REMOVAL SHALL BE REPLACED WITH 20" TALL TREES OF SIMILAR SPECIES.

**GENERAL TREE CREDITS**  
2 OAKS @ 5'1" = 10 GENERAL CREDITS  
2 OAKS @ 11" = 2 BUFFER CREDITS  
6 PALMS @ 12" = 3 BUFFER CREDITS  
1 PALMS @ 11" = 1 GENERAL TREE CREDITS

**GENERAL TREE REQUIREMENTS**  
1 TREE PER 3,500 SF OF SITE AREA  
48,349 / 3,500 = 13 TREES REQUIRED AND 13 PROVIDED  
NOTE: 10" TREES MAY BE USED AT A 2:1 CREDIT FOR GENERAL TREES. GENERAL TREE REQUIREMENTS MAY NOT BE REDUCED MORE THAN 50%. A MAXIMUM OF 7-10" TREES MAY BE USED AT 2:1 CREDIT TOWARDS GENERAL TREES (CREDIT TREES, IF ANY, DEPICTED IN PLANT LIST)

**INTERNAL PARKING LANDSCAPE REQUIREMENTS**  
INTERNAL LANDSCAPE AREAS OF 10% OF THE PARKING AREA IS REQUIRED = 15,448 SF X 10% = 1,544 SF MINIMUM REQUIRED AND 1,680 SF PROVIDED PER HATCHING.  
MIN. 1 TREE PER 250 SF  
1,544 / 250 = 6 TREES REQUIRED AND 6 PROVIDED  
NO MORE THAN 10% OF PLANTING AREA TO BE IN TURF. APPROXIMATELY 195 SHRUBS w/ GROUNDCOVERS ARE PROVIDED.

**WATER MANAGEMENT PLANTING REQUIREMENTS**  
PER SECTION 35-111(4) OF SUBDIVISION OF ESTERO PLANNING COMMUNITY REGULATIONS:  
DETENTION BASINS MUST BE PLANTED WITH WETLAND SPECIES AT 30" OC THROUGHOUT THE BASIN.

**BUILDING PERIMETER PLANTING REQUIREMENTS**  
100' OF SIDE X 10" = 80' OF BUILDING PERIMETER PLANTING REQUIRED AND 700 PROVIDED PER HATCHING.

**BUFFER REQUIREMENTS**  
BUFFER SHRUBS TO BE IN DOUBLE STAGGERED ROW, SO AS TO FORM 30" HIGH CONTINUAL VISUAL SCREEN WITHIN ONE YEAR AFTER TIME OF PLANTING.

**PROJECT EAST BUFFER**  
COM TO R.O.W.  
20' MINIMUM WIDTH, TYPE 'D' BUFFER REQUIRED, W/ 5 TREES AND DOUBLE STAGGERED HEDGE PER 100 LINEAL FOOT.  
185 LF (EXCLUDING EASEMENTS & ACCESS) 100 X 5 = 5 TREES REQUIRED AND 5 PROVIDED.  
185 LF / 3 X 2 = 124 SHRUBS REQUIRED AND 124 PROVIDED.  
REQUIRED TREES AND SHRUBS LABELED AS (E.B.)

**PROJECT SOUTH BUFFER**  
COM TO COM  
5' TYPE 'A' BUFFER REQUIRED, W/ 4 TREES PER 100 LINEAL FOOT.  
100 LF (EXCLUDING EASEMENTS) 100 X 4 = 4 TREES REQUIRED AND 4 PROVIDED.  
REQUIRED TREES AND SHRUBS LABELED AS (S.B.)

**PROJECT WEST BUFFER**  
COM TO R.O.W.  
25' MINIMUM WIDTH, TYPE 'D' BUFFER REQUIRED, W/ 5 TREES AND DOUBLE STAGGERED HEDGE PER 100 LINEAL FOOT.  
210 LF (EXCLUDING EASEMENTS) 100 X 5 = 10 TREES REQUIRED AND 10 PROVIDED.  
210 LF / 3 X 2 = 140 SHRUBS REQUIRED AND 140 PROVIDED.  
REQUIRED TREES AND SHRUBS LABELED AS (W.B.)

**PROJECT NORTH BUFFER**  
COM TO R.O.W.  
20' MINIMUM WIDTH, TYPE 'D' BUFFER REQUIRED, W/ 5 TREES AND DOUBLE STAGGERED HEDGE PER 100 LINEAL FOOT.  
124 LF (EXCLUDING EASEMENTS) 100 X 5 = 5 TREES REQUIRED AND 5 PROVIDED THRU EXISTING AND PROPOSED.  
124 LF / 3 X 2 = 83 SHRUBS REQUIRED AND 83 PROVIDED.  
REQUIRED TREES AND SHRUBS LABELED AS (N.B.)

**DETENTION AREA PLANTING**  
DETENTION AREA PLANTED WITH 1 GALLON SPARTINA AT 3' OC. NO MULCH TO BE IN DETENTION BOTTOM



**DMJA**  
DAVID M. JONES, JR. AND ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS AND PLANNERS

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Fort Myers, Florida 33909  
PHONE: (813) 528-2488  
FAX: (941) 656-2488  
L.A. LICENSE: LC 0200063

**CLEAN MACHINE CAR WASH**  
Village of Estero, Florida

PREPARED FOR:  
Banks Engineering  
10511 Six Mile Cypress  
Fort Myers, FL 33966  
Tel: 239-939-5490  
Fax: 239-939-2523

CONSISTENT

DESIGN PROFESSIONAL

PROJECT NO.: 258-221-5829  
DESIGNED BY: Doug Sharrard  
PERMITTED BY: CLEAN MACHINE US  
DRAWN BY: DJM  
CHECKED BY: DJM  
CONSULTED BY: DJM

DEVELOPMENT ORDER SUBMITTAL  
DATE: APR 1, 2024  
REVISED: APR 25, 2021

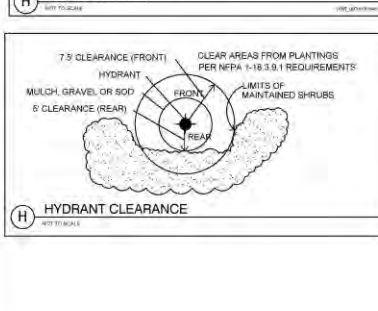
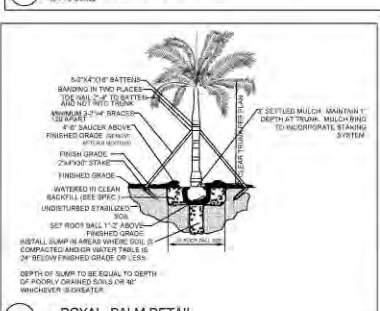
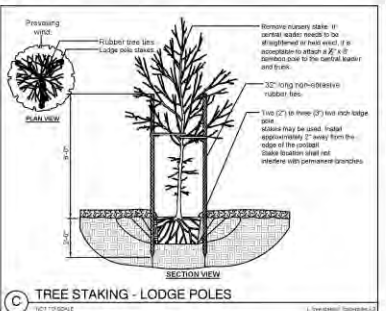
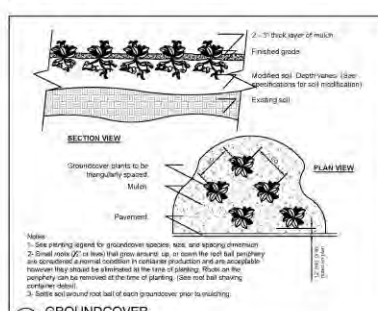
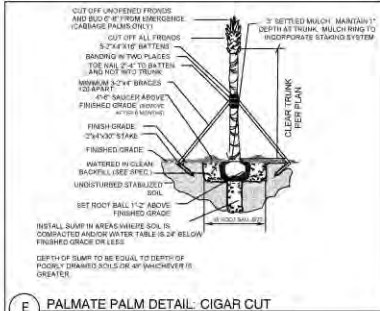
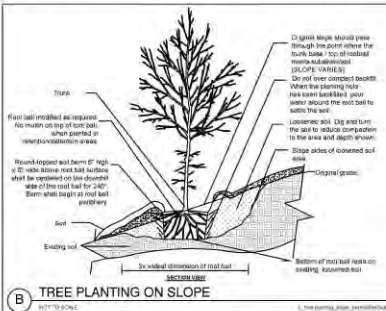
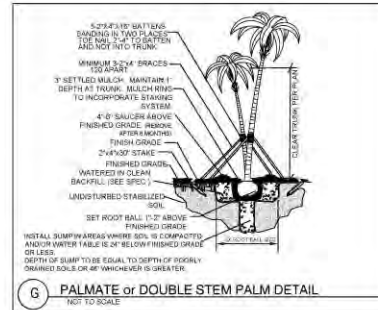
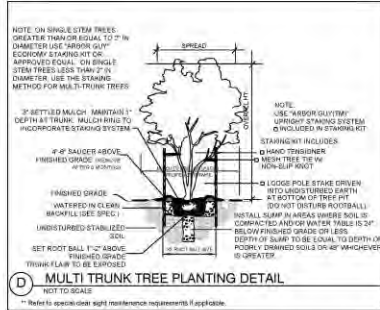
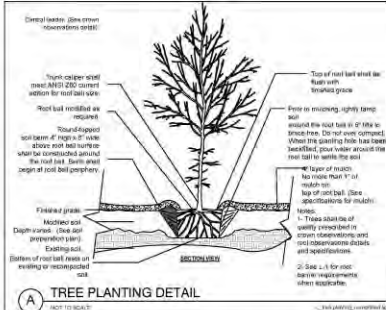
APR 1, 2024 - RAL 1 RESPONSE  
MAY 29, 2021 - RAL 2 RESPONSE

SHEET TITLE  
**SITE LANDSCAPE CALCULATIONS**





# LANDSCAPE PLAN



**DMJA**  
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Punta Gorda, Florida 33950  
Phone: (941) 698-2400  
Fax: (941) 698-9438  
LA LAGUNA, CA 92008

PROJECT INFORMATION:

**CLEAN MACHINE CAR WASH**  
Village of Estero,  
Florida

PREPARED FOR:  
Barks Engineering  
10511 Six Mile Cypress  
Parkway  
Fort Myers, FL 33966  
Tel: 239-939-5490  
Fax: 239-939-5233

CONSULTANT:

DESIGN PROFESSIONAL:

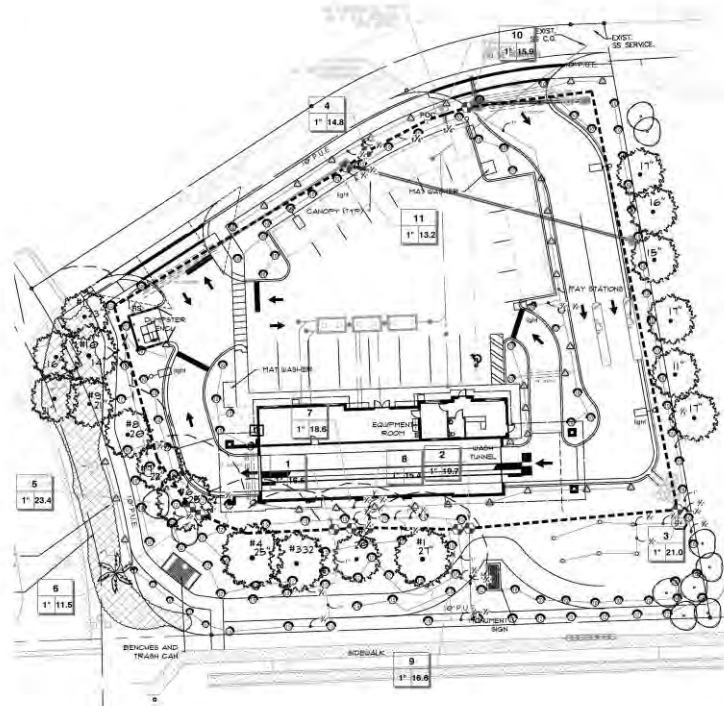
DESIGNED BY: [Blank]  
DRAWN BY: [Blank]  
CHECKED BY: [Blank]  
DATE: [Blank]

DATE: [Blank]  
SCALE: [Blank]  
SHEET NO.: [Blank]  
TOTAL SHEETS: [Blank]

DATE: [Blank]  
SCALE: [Blank]  
SHEET NO.: [Blank]  
TOTAL SHEETS: [Blank]

SHEET TITLE:  
**LANDSCAPE  
DETAILS**  
SHEET NUMBER:  
**L-3**

# TREE PROTECTION PLAN



## IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTI	ARC	PH	GPM	WALKS
▲	Hunter PROS-06-PRIS0 5' strip spray	28	120°	30	1.30	3/60
▲	Hunter PROS-06-PRIS0 5' strip spray	3	180°	30	0.08	8/15
●	Hunter PROS-06-PRIS0 8' radius	7	180°	30	0.47	9'
●	Hunter PROS-06-PRIS0 8' radius	1	60°	30	0.24	8'
●	Hunter PROS-06-PRIS0 10' radius	55	180°	30	0.83	10'
●	Hunter PROS-06-PRIS0 10' radius	5	60°	30	0.42	10'
●	Hunter PROS-06-PRIS0 12' radius	36	180°	30	1.30	12'
●	Hunter PROS-06-PRIS0 15' radius	21	180°	30	1.80	15'
●	Hunter PROS-06-PRIS0 15' radius	1	60°	30	0.97	15'
●	Hunter PROS-06-PRIS0-05-HDBN 15'	6	360°	30	1.00	1'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL
□	Hunter PCV 100S 1" 1" NPT Electric Remote Control Valve, for Remote/Local Control Commercial Use, Florida NPT Inlet/Outlet Globe Configuration, No Flow Control	
□	Hunter IIC-600 1/2" (6 Meter) Outdoor Modular Controller, With One 12MM-30 Module, Commercial Use, Plastic Cabinet	
□	Hunter MAIN CLR 12" Rain Sensor, with optional rain/soil/moisture, mount as noted, Normally closed valve	
□	Notes of Connection 1 IRRIGATION METERS AND BACKFLOW PREVENTING ENGINEERING PLAN	
---	Irrigation Lateral Line: PVC Class 200 SDR 21 3/4"	
---	Irrigation Lateral Line: PVC Class 200 SDR 21 1"	
---	Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/4"	
---	Irrigation Mainline: PVC Class 200 SDR 21 1 1/4"	
---	Irrigation Mainline: PVC Class 200 SDR 21 1 1/8"	
---	Irrigation Mainline: PVC Class 200 SDR 21 1 1/2"	
---	Irrigation Mainline: PVC Class 200 SDR 21 1 1/4"	
---	Irrigation Mainline: PVC Class 200 SDR 21 1 1/2"	
---	Irrigation Mainline: PVC Class 200 SDR 21 1 1/4"	
---	Pipe Slope: PVC Schedule 40	

### PIPE SIZING CHART

GPM	SIZE	GPM	SIZE
0-10	3/4"	1-8	3/4"
11-15	1"	8-13	1"
17-25	1-1/4"	14-22	1-1/4"
27-36	1-1/2"	23-30	1-1/2"
37-55	2"	31-40	2"
56-75	2-1/2"	41-50	2-1/2"

Flows shall maintain velocities of less than 5 feet per second

## NOTES:

- IRRIGATION ZONES SHALL WATER TURF AND SHRUBS SEPARATELY.
- IRRIGATION DESIGN IS SCHEMATIC IN NATURE. CONTRACTOR TO VERIFY IRRIGATION OPERATIONAL PARAMETERS AND ADJUST IRRIGATION ZONES AS NEEDED.
- PROVIDE OWNER WITH AS BUILT AT TIME OF CERTIFICATION.
- VERIFY CONTROLLER LOCATION W/ OWNER.

## Calculations of Irrigation Requirements (1-in-10) CLEAN MACHINE CAR WASH #

Parameter	Value
Rainfall Station	FT Myers
Irrigation System	Overhead
Irrigated Acreage	0.35
Crop	Turf Grass
Soil Type	0.50
Multipier	1.25
Efficiency	0.80

## 1-in-10 Annual Supplemental Crop Requirement = 0.43 MG

Month	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total
Annual Rainfall (inches)	1.90	2.00	1.50	1.90	4.10	9.40	8.70	8.50	6.40	3.00	1.00	1.00	52.00
Evapotranspiration (inches)	1.50	2.74	3.70	5.11	5.84	7.60	8.30	7.70	6.40	4.90	3.90	2.10	59.83
Annual Net Water Demand (MG)	0.08	0.34	0.31	1.08	2.31	4.81	4.91	4.34	4.19	1.81	0.76	0.70	27.86
1-in-10 Effective Demand (MG)	0.62	0.81	0.11	0.46	1.71	3.81	3.82	4.60	4.00	1.36	0.62	0.81	32.06
Annual Irrigation (MG)	0.89	1.20	0.31	0.50	2.02	3.84	3.34	3.09	2.11	0.51	1.41	0.77	27.86
1-in-10 Irrigation (MG)	1.24	1.52	0.29	0.71	2.72	3.89	4.00	3.80	2.84	0.80	2.40	1.52	32.82

## 1-in-10 Annual Supplemental Crop Requirement = 0.43 MG

## Annual Supplemental Crop Water Use:

$$0.7 \text{ MG} \text{ (inches)} \times 0.35 \text{ Acres} \times 1.25 \times 0.8 \text{ Efficiency} = 0.43 \text{ MG}$$

## 1-in-10 Maximum Monthly Supplemental Crop Requirement = 0.10 MG

## Maximum Monthly Supplemental Crop Water Use:

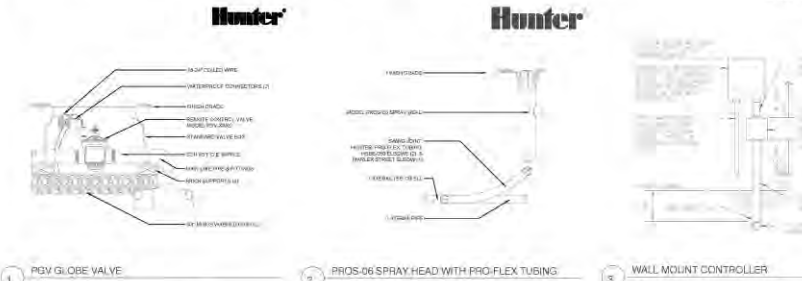
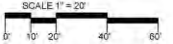
$$0.12 \text{ MG} \text{ (inches)} \times 0.35 \text{ Acres} \times 1.25 \times 0.8 \text{ Efficiency} = 0.04 \text{ MG}$$

Note:  
Evapotranspiration was calculated using a modified Blaney-Criddle method.  
Average effective rainfall is the amount that is useful to crops on an average year.  
1-in-10 Effective Demand is the amount that is useful to crops in a 1-in-10 drought year.  
Average irrigation is the net amount that should be required for maximum yields during an average year.  
1-in-10 irrigation is the net amount that should be required for maximum yields during a 1-in-10 drought year.

## GENERAL IRRIGATION NOTES

- All mainline and lateral line piping and control wires under paving shall be installed in separate sleeves. Main and lateral line sleeves shall be a minimum of twice (2x) the diameter of the pipe to be sleeved. Control wire sleeves shall be sufficient size for the required number of wires under paving.
- Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted but substitutions of larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time of said rejection.
- All sprinkler heads shall be set perpendicular to finished grade unless otherwise specified.
- The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum coverage with minimal overwater on walks, streets, walls, etc.
- Irrigation heads shall be a minimum of 24" from buildings.
- This drawing sheet is diagrammatic and for reference only. All piping, valves, etc. shown within paved areas are for design clarification only and shall be installed in planting areas whenever possible. The contractor shall locate all valves in shrub areas where possible.
- It is the responsibility of the irrigation contractor to familiarize himself with all grade differences, location of walls, structures and utilities. The irrigation contractor shall repair or replace all items damaged by his work. He shall coordinate his work with other contractors for the location and installation of pipe sleeves through walls, under roadways and paving, etc.
- Do not willfully install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences, water levels or differences in the area dimensions exist that might not have been considered in the engineering. Such obstructions or differences should be brought to the attention of owners representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
- All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
- The contractor shall provide (Pressure Compensating Screens) as necessary to reduce or eliminate overspray into streets, walks or other areas as dictated by the owner's authorized representative.
- All remote control valves, gate valves, quick couplers and control wire splices shall be installed in approved valve boxes with locking covers. All shall be marked indicating controller and station numbers for control valve.
- Contractor to provide the Owner with a complete irrigation design in compliance with Owners program. All required plantings shall be irrigated. System shall be zoned per irrigation water source specifications.
- Irrigation system shall be designed for complete coverage. Verify with owner limits of irrigation prior to bidding.
- The sprinkler system to be based on a minimum operating pressure of 40 PSI. The irrigation contractor shall verify water pressures, flows, elevations, and other requirements prior to construction. Report any differences between the water pressure and flows indicated on drawings and the actual pressure (reading at the irrigation point of connection to the owners authorized representative).
- Installer shall conduct final testing and adjustments to achieve design specifications prior to completion of the system and acceptance by the owner or owner's representative.
- The installer shall provide proper owners and users with post-construction documentation, including as-constructed drawings, recommended maintenance activities and schedules, operational schedule, design precipitation rates, instructions on adjusting the system to apply less water after the landscape is established, maintenance schedule, water source, water shut-off method, and the manufacturer's operation guide for the irrigation controller. To the extent feasible, similar information should be made available for subsequent property transfers.
- Any changes and/or modifications to the water source shall require appropriate adjustments to the system design.
- The contractor shall be responsible for providing all code required backflow preventers in addition to all permits as required by the governing agencies including water use permits, if applicable.
- Plan prepared for development prior permitting only. Refer to construction documents for complete irrigation system design.
- Irrigation water source shall be from a proposed irrigation meter w/ backflow per Engineering Plans.

## IRRIGATION MASTER PLAN



**DMJA**  
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LA LICENSE LC-0000003

PROJECT INFORMATION  
**CLEAN MACHINE CAR WASH**  
Village of Estero,  
Florida

PREPARED FOR:  
Banks Engineering  
10511 Six Mile Cypress  
Parkway  
Fort Myers, FL 33966  
Phone: 239-939-5490  
Fax: 239-939-2523

DESIGN (S) N  
DESIGN PROFESSIONAL

PROJECT NO: 200302  
PROJECT NAME: Clean Machine Car Wash  
DESIGNER: DMJ  
DATE: 01/20/03

DEVELOPMENT  
ORDER SUBMITTAL

DATE: JAN 26, 2003  
BY: DMJ  
FOR: CLEAN MACHINE CAR WASH

SHEET TITLE:  
**IRRIGATION PLAN**  
SHEET NUMBER:  
**IR-1**



# PLANT IMAGES



COCOPLUM



TRINETTE ARBICOLA



BOUGAINVILLEA SPP



CRINUM LILY



SIMPSON STOPPER



PITCH APPLE



MRS. SCHILLER'S DELIGHT VIBURNUM



WALTER'S VIBURNUM



FIREBUSH



MUHLY GRASS



GREEN ISLAND FICUS



GOLDEN CREEPER



SPARTINA / CORD GRASS

PRELIMINARY LISTING OF SHRUB SPECIES

# ARCHITECT

Stephen Seaton, AIA

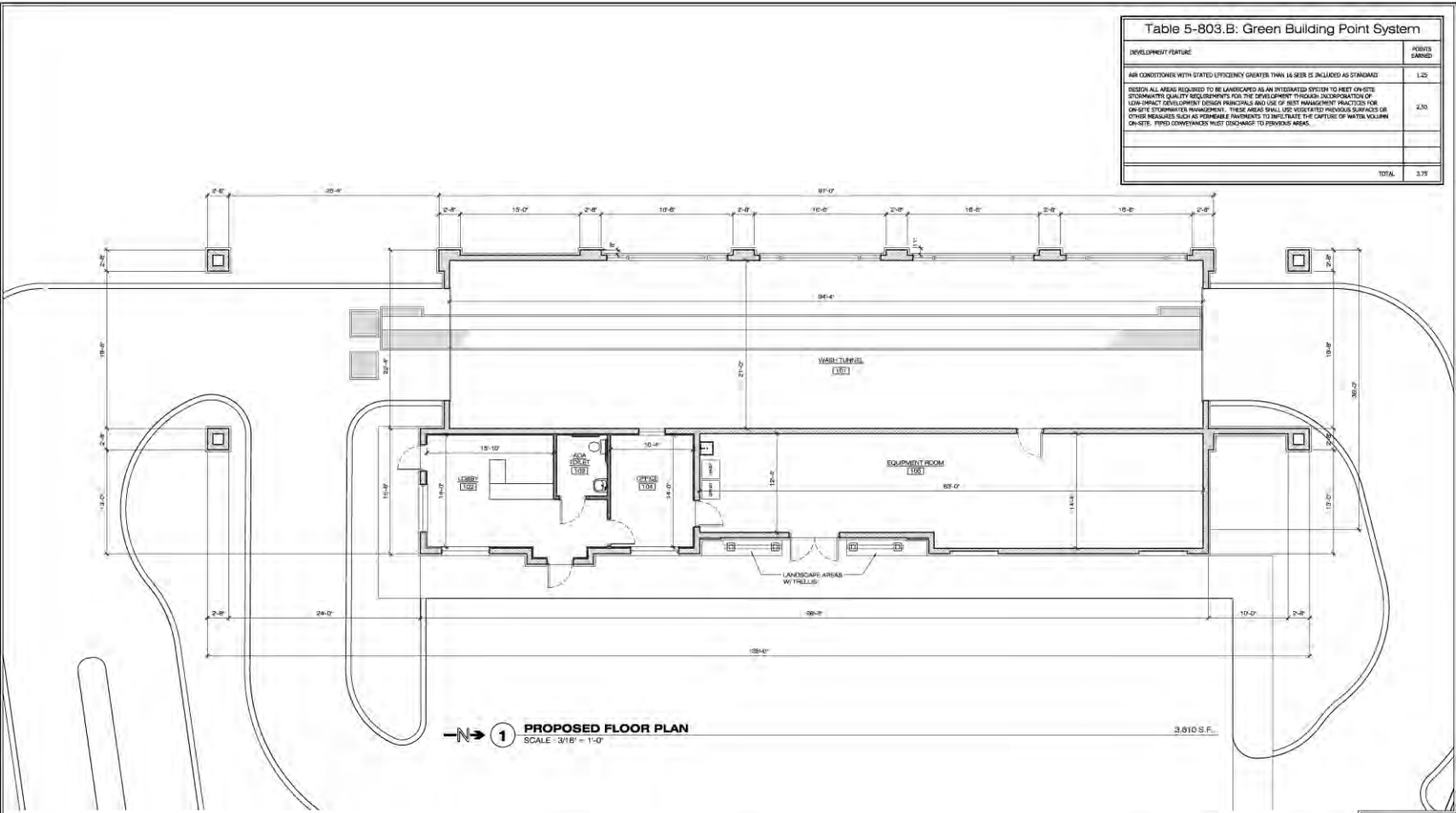




# PREVIOUS VERSION



# FLOOR PLAN



DEVELOPMENT FEATURE	POINTS EARNED
AIR CONDITIONERS WITH STATED EFFICIENCY GREATER THAN 14 SEER IS INCLUDED AS STANDARD	1.00
DESIGN ALL AREAS REQUIRED TO BE LANDSCAPED AS AN INTEGRATED SYSTEM TO MEET ON-SITE STORMWATER QUALITY REQUIREMENTS FOR THE DEVELOPMENT THROUGH INCORPORATION OF LOW-IMPACT DEVELOPMENT (LID) PRINCIPLES AND USE OF BEST MANAGEMENT PRACTICES FOR ON-SITE STORMWATER MANAGEMENT. THESE AREAS SHALL USE VEGETATED PERVIOUS SURFACES OR OTHER MEASURES SUCH AS PERVIOUS PAVEMENTS TO IMPROVE THE CAPTURE OF WATER VOLUME ON-SITE. RIPPED CONCRETES MUST DISCHARGE TO PERVIOUS AREAS.	2.00
TOTAL:	3.00

**1 PROPOSED FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

**Stephen Seaton**

Digitally signed by Stephen Seaton  
DN: cn=US, o=Florida, e=Stephen@linea.com, ou=Stephen Seaton  
Date: 2023.03.13 10:03:09 -0400

DRAWN BY: **SS**  
SHEET DESCRIPTION: **PROPOSED FLOOR PLAN**

**LINEA DESIGN**  
ARCHITECTURAL & INTERIOR DESIGN  
2006 Morning Sun Lane  
Naples, Florida 34119  
License No. AR17502  
ph: (239) 404-5975 email: stephen@lineadn.com

DESCRIPTION	DATE	DESCRIPTION	DATE
DD SUBMISSION	JANUARY 26, 2023		
DD REVISION	MARCH 11, 2023		

**Clean-Machine Car Wash Facility**  
US 41 & Vintage Parkway  
Estero, Florida 33928

**NOTES**  
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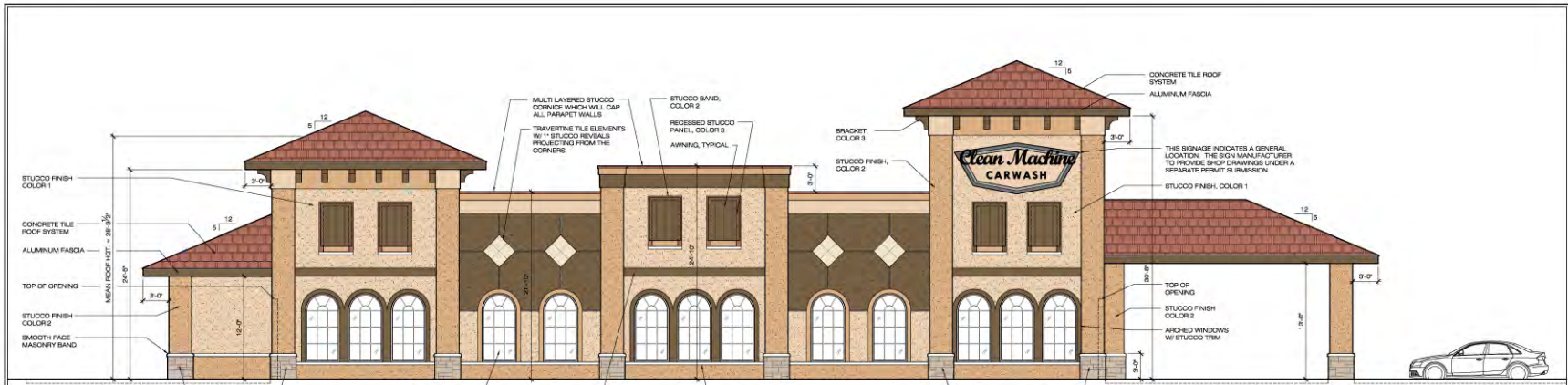
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PHASE: **DEVELOPMENT ORDER**

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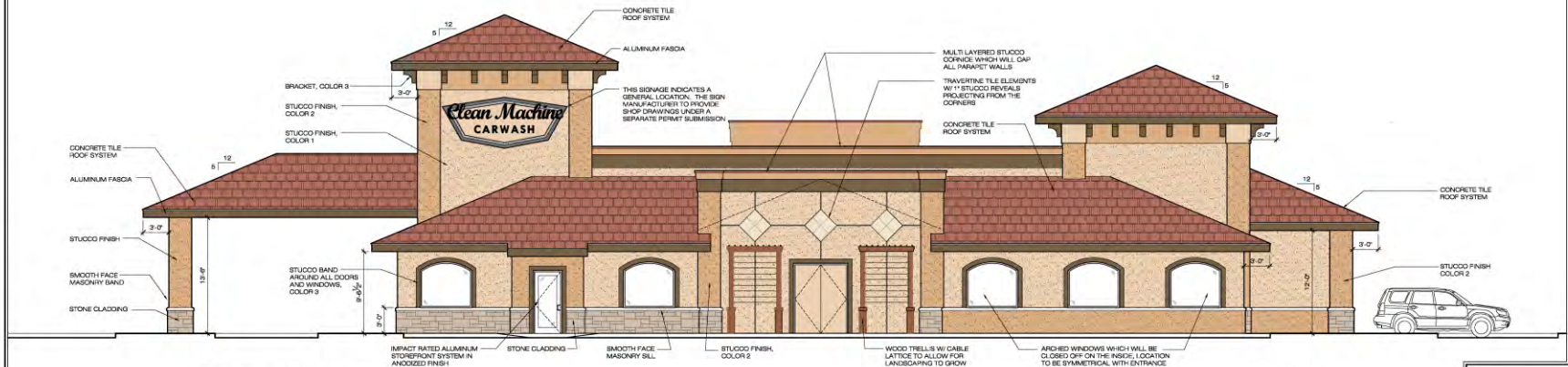


# WEST & EAST ELEVATIONS



**1 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"

(COLOR OPTION 2)



**2 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"

(COLOR OPTION 2)

**LINEA**  
DESIGN IN NEW YORK  
ARCHITECTURAL & INTERIOR DESIGN  
2066 Harington Sun Lane  
Naples, Florida 34119  
License No. AR17502  
ph: (239) 404-5475 email: stephen@lineadn.com

DESCRIPTION	DATE
00 SUBMISSION	JANUARY 26, 2021
00 REVISIONS	MARCH 31, 2021

DESCRIPTION	DATE

**Clean-Machine**  
Car Wash Facility  
US 41 & Vintage Parkway  
Estero, Florida 33928

**NOTES** REFER TO SHEET A-4 FOR COLOR & MATERIAL DESCRIPTIONS  
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DESIGN BY: SMS  
SHEET DESCRIPTION:  
PROPOSED EXTERIOR ELEVATIONS  
COLOR OPTION 2  
SHEET NO.: **A-3b**  
PHASE: DEVELOPMENT ORDER



# NORTH & SOUTH ELEVATIONS & COLORS



**1 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

(COLOR OPTION 2)



**2 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"

(COLOR OPTION 2)

## COLOR LEGEND:

<b>COLOR 1</b>	SHERWIN WILLIAMS SW7722 'TRAVERTINE'	<b>ROOF AWNING</b>	CONCRETE TILE & METAL STANDING SEAM ROOFING, TERRA COTTA COLOR
<b>COLOR 2</b>	SHERWIN WILLIAMS SW7679 'GOLDEN GATE'	<b>STONE</b>	VARIOUS STONE COLORS, REFER TO SAMPLE IMAGE
<b>COLOR 3</b>	BENJAMIN MOORE 2058-30 'DARK NUT BROWN'	<b>TILE</b>	NATURAL STONE, REFER TO SAMPLE IMAGE

## TILE VENEER



TRAVERTINE TILE  
THIS SAMPLE MAY NOT REPRESENT THE FINAL COLOR DEPENDING ON THE MANUFACTURER OF THE STONE



METAL ROOF FOR AWNING  
STANDING SEAM METAL PANEL FOR THE THE AWNING'S - COLOR 'TERRA COTTA'

## STONE VENEER



ELDERADO STONE, SERIES 'RUSTIC LEDGE' PROFILES 'SAWTOOTH'  
THIS SAMPLE MAY NOT REPRESENT THE FINAL COLOR DEPENDING ON THE MANUFACTURER OF THE STONE

## MAIN ROOF



THE ROOF WILL BE A FLAT CONCRETE TILE WITH A TERRA COTTA COLOR

## 3 COLORS & MATERIALS

**LINEA**  
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ARCHITECTURE  
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Naples, Florida 34110  
ph: (239) 404-9193 email: info@lineadesign.com

**Clean Machine**  
Car Wash Facility  
US 41 & Vintage Parkway  
Estero, Florida 33928

DATE:	
DESCRIPTION:	
DATE:	
DESCRIPTION:	
DATE:	
DESCRIPTION:	

## NOTES

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DRAWN BY: SWS  
DATE: 08/11/2021  
PROJECT: 21-001  
SHEET NO. 1

**A-4b**

PHASE:  
DEVELOPMENT  
ORDER





# RENDERINGS





# RENDERINGS





# RENDERINGS





# RENDERINGS





# RENDERINGS





# RENDERINGS





# RENDERINGS





# RENDERINGS



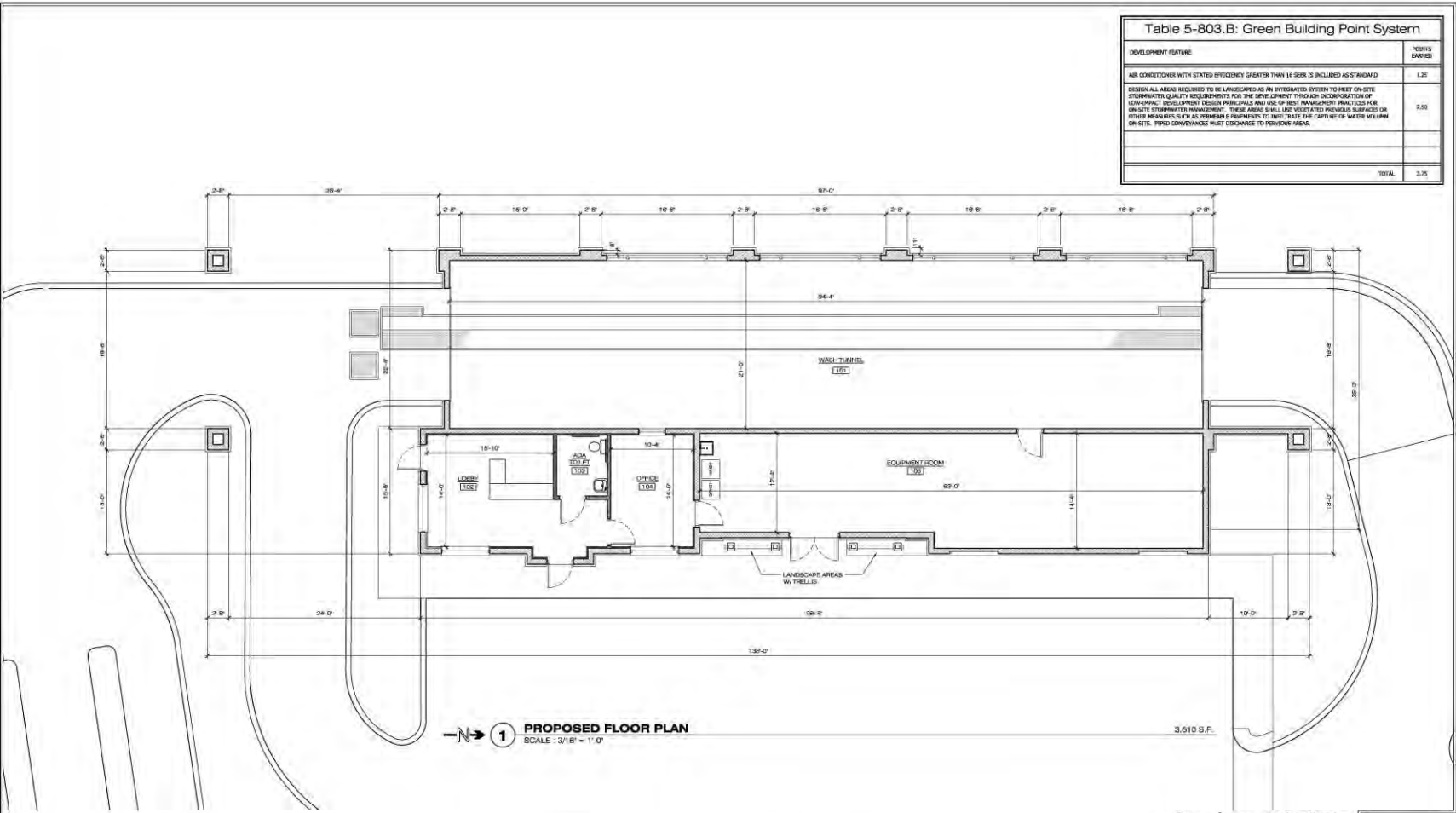


# CURRENT VERSION



# FLOOR PLAN

Table 5-803.B: Green Building Point System	
DEVELOPMENT FEATURE	POINTS EARNED
AIR CONDITIONERS WITH STATED EFFICIENCY GREATER THAN 14 SEER IS INCLUDED AS STANDARD	1.25
DESIGN ALL AREAS REQUIRED TO BE LANDSCAPED AS AN INTEGRATED SYSTEM TO MEET ON-SITE STORMWATER QUALITY REQUIREMENTS FOR THE DEVELOPMENT THROUGH INCORPORATION OF LOW-IMPACT DEVELOPMENT DESIGN PRINCIPLES AND USE OF BEST MANAGEMENT PRACTICES FOR ON-SITE STORMWATER MANAGEMENT. THESE AREAS SHALL INCLUDE VEGETATED PERVIOUS SURFACES OR OTHER MEASURES SUCH AS PERVIOUS PAVEMENTS TO FACILITATE THE CAPTURE OF WATER VOLUME ON-SITE. RIPPED CONVEYANCES MUST DISCHARGE TO PERVIOUS AREAS.	7.50
TOTAL	3.75



**1 PROPOSED FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

**Stephen Seaton**  
Digitally signed by Stephen Seaton  
DN: cn=Stephen Seaton, o=Stephen Seaton, email=Stephen Seaton, ou=Stephen Seaton, c=US

**LINEA DESIGN**  
ARCHITECTURAL & INTERIOR DESIGN  
2066 Morning Sun Lane  
Naples, Florida 34119  
License No. AR17502  
ph: (239) 404-5475 email: stephen@lineadn.com

DESCRIPTION	DATE	DESCRIPTION	DATE
00 SUBMISSION	JANUARY 28, 2021		
01 REVISIONS	MARCH 11, 2021		
02 REVISIONS	MAY 27, 2021		

**Clean-Machine Car Wash Facility**  
US 41 & Vintage Parkway  
Estero, Florida 33928

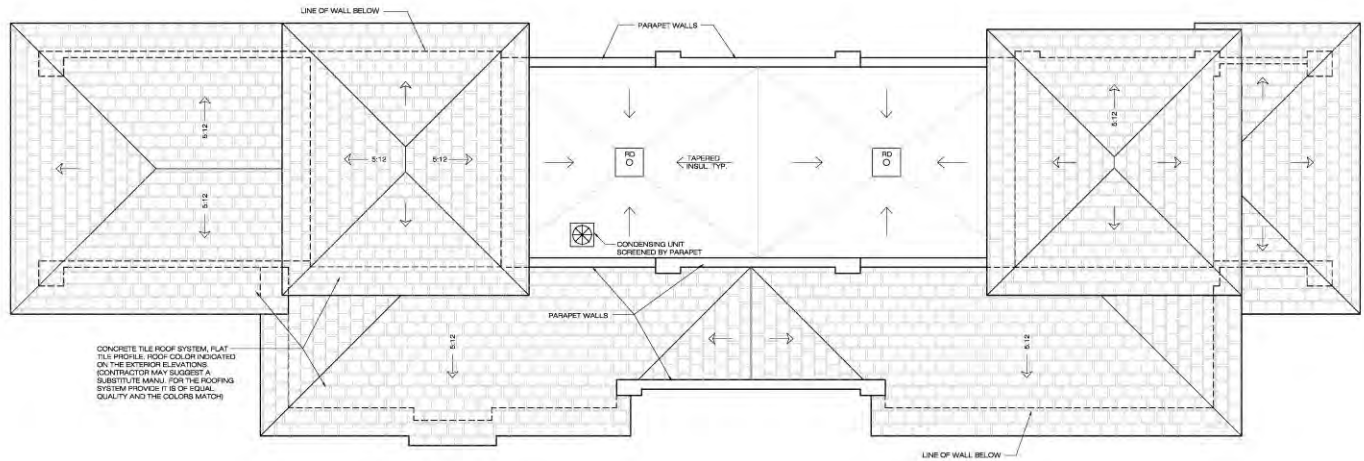
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Drawn by: **SPS**  
SHEET DESCRIPTION: **PROPOSED FLOOR PLAN**  
SHEET No.: **A-1**  
Phase: **DEVELOPMENT ORDER**

S:\Projects\Clean Machine - EDC\Clean Machine A-1 - Proposed Floor Plan.dwg, 8/17/2021 11:23:11 AM, Autodesk EDC



# ROOF PLAN



CONCRETE TILE ROOF SYSTEM, FLAT TILE PROFILE, ROOF COLOR INDICATED ON THE EXTERIOR ELEVATIONS. CONTRACTOR MAY SUGGEST A SUBSTITUTE MANUFACTURER FOR THE ROOFING SYSTEM PROVIDED IT IS OF EQUAL QUALITY AND THE COLORS MATCH.

➔ 1 PROPOSED ROOF PLAN  
SCALE: 3/16" = 1'-0"

S:\Project\Clean Machine 4502\Clean Machine A-2 Proposed Roof Plan.dwg, 5/17/2021 11:58:29 AM, AutoCAD

**LINEA**  
DESIGN IN PRACTICE  
ARCHITECTURAL & INTERIOR DESIGN  
2066 Herring Sun Lane  
Naples, Florida 34119  
License No. AR17502  
ph: (239) 404-5475 email: stephen@lineadn.com

DESCRIPTION	DATE
DD SUBMISSION	JANUARY 26, 2021
DD REVISIONS	MARCH 31, 2021
DD REVISIONS	MAY 27, 2021

DESCRIPTION	DATE

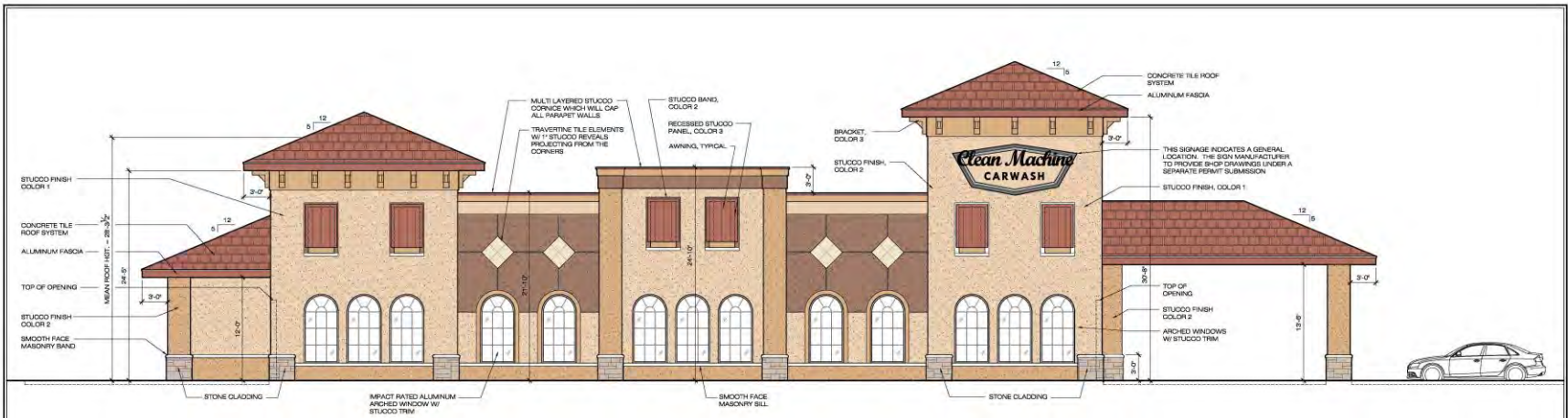
**Clean-Machine**  
**Car Wash Facility**  
US 41 & Vintage Parkway  
Estero, Florida 33928

NOTES -

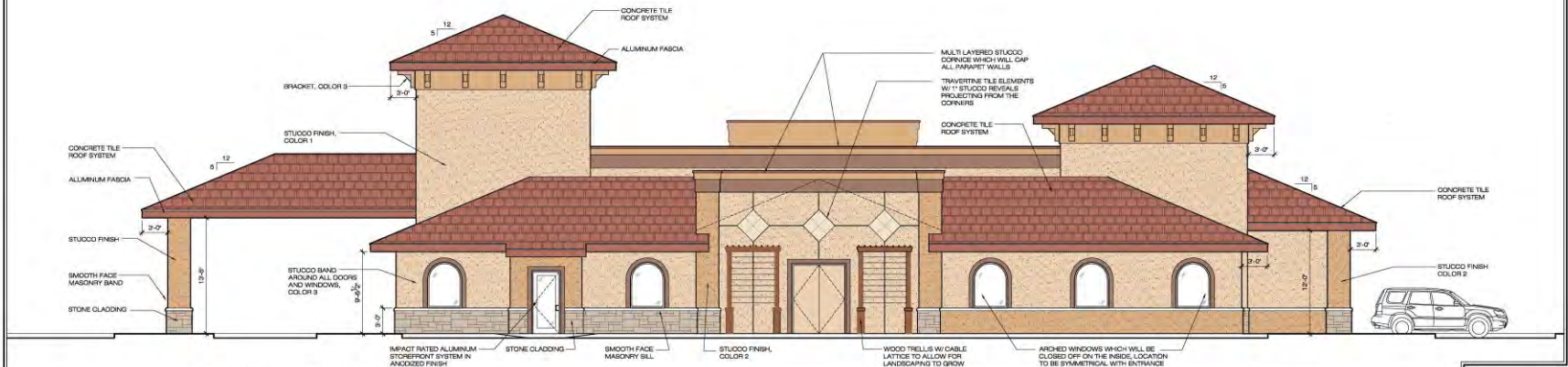
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DESIGN BY:	SHS
SHEET DESCRIPTION:	PROPOSED ROOF PLAN
SHEET No.:	A-2
PHASE:	DEVELOPMENT ORDER

# WEST & EAST ELEVATIONS



**1 WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 EAST ELEVATION**  
SCALE: 3/16" = 1'-0"

**LINEA**  
DESIGN BY NEW YORK  
ARCHITECTURAL & INTERIOR DESIGN  
2066 Haring Sun Lane  
Naples, Florida 34119  
License No. AR17932  
ph: (239) 404-5475 email: stephen@lineadn.com

DESCRIPTION	DATE	DESCRIPTION	DATE
00 SUBMISSION	JANUARY 26, 2021		
00 REVISIONS	MARCH 31, 2021		
00 REVISIONS	MAY 17, 2021		

DESCRIPTION	DATE

**Clean-Machine**  
Car Wash Facility  
US 41 & Vintage Parkway  
Estero, Florida 33928

**NOTES** REFER TO SHEET A-4 FOR COLOR & MATERIAL DESCRIPTIONS  
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DESIGN BY: <b>SDS</b>
SHEET DESCRIPTION: <b>PROPOSED EXTERIOR ELEVATIONS</b>
SHEET NO. <b>A-3</b>
PHASE: <b>DEVELOPMENT ORDER</b>



# NORTH & SOUTH ELEVATIONS



**1 NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"

**COLOR LEGEND:**

<b>COLOR 1</b>	SHERWIN WILLIAMS SW7722 'TRAVERTINE'	<b>ROOF AWNING</b>	CONCRETE TILE & METAL STANDING SEAM ROOFING, TERRA COTTA COLOR
<b>COLOR 2</b>	SHERWIN WILLIAMS SW7679 'GOLDEN GATE'	<b>STONE</b>	VARIOUS STONE COLORS, REFER TO SAMPLE IMAGE
<b>COLOR 3</b>	SHERWIN WILLIAMS SW6060 'MOROCCAN BROWN'	<b>TILE</b>	NATURAL STONE, REFER TO SAMPLE IMAGE

**TILE VENEER**



TRAVERTINE TILE  
THIS SAMPLE MAY NOT REPRESENT THE FINAL COLOR DEPENDING ON THE MANUFACTURER OF THE STONE



METAL ROOF FOR AWNING  
STANDING SEAM METAL PANEL FOR THE THE AWNINGS - COLOR 'TERRA COTTA'

**STONE VENEER**



ELDORADO STONE, SERIES 'RUSTIC LEDGE' PROFILES 'SAWTOOTH'  
THIS SAMPLE MAY NOT REPRESENT THE FINAL COLOR DEPENDING ON THE MANUFACTURER OF THE STONE

**MAIN ROOF**



THE ROOF WILL BE A FLAT CONCRETE TILE WITH A TERRA COTTA COLOR

**3 COLORS & MATERIALS**

**LINEA**  
DESIGN ARCHITECTS  
14111 Avenida Encinas  
2066 Morning Sun Lane  
Napa, Florida 34119  
ph: (239) 464-5475 email: stephen@linea.com

**Clean-Machine**  
Car Wash Facility  
US 41 & Vintage Parkway  
Estero, Florida 33928

DATE	
DESCRIPTION	

DATE	APPROVED BY	DATE
NO. OF REVISIONS	NO. OF REVISIONS	NO. OF REVISIONS
NO. OF REVISIONS	NO. OF REVISIONS	NO. OF REVISIONS

**NOTES**

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DESIGN BY: **SDS**  
SHEET DESCRIPTION: **PROPOSED EXTERIOR ELEVATIONS AND COLORS**

SHEET No. **A-4**

PHASE: **DEVELOPMENT ORDER**





# RENDERINGS





# RENDERINGS





# RENDERINGS





# RENDERINGS





# RENDERINGS





# RENDERINGS





# RENDERINGS





# RENDERINGS





# SIGNAGE



# MONUMENT SIGN



**MANUFACTURE & INSTALL ONE (1) DOUBLE FACED, ILLUMINATED GROUND SIGN.**

MOUNTING AREA - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE TEXTURED. CABINETS TO BE ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE SMOOTH. FACES TO BE ROUTED ALUMINUM WITH FACE ILLUMINATED CHANNEL LETTERS "CLEAN MACHINE", "CAR WASH", "STAR" & "FREE VACUUMS" COPY TO BE .5" PUSH THRU ACRYLIC LETTERS.

TO BE ILLUMINATED USING WHITE (7000k) LED's.

COLUMNS TO BE ALL ALUMINUM CONSTRUCTION WITH FABRICATED ALUM. CAPS AND BASES, FINISH TO BE TEXTURED. ADDRESS NUMBERS TO BE .25" FLAT CUT OUT DIBOND WITH SMOOTH PAINTED FINISH.  
**NOTE: SQUARE COLUMNS**

ROOF - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE SMOOTH WITH TILE TO MATCH BLDG (BY OTHERS) CAP TO BE FABRICATED ALUMINUM WITH PVC SCONCES

BASE TO BE ALL ALUMINUM CONSTRUCTION WITH TEXTURED FINISH. CAP AND BASE TO BE FABRICATED ALUM WITH TEXTURED FINISH.

**COLOR LEGEND:**

COLOR 1: BRUSH WILLOW BRN/ TRAFFIC TRANSPARENT	ROOF FINISH: COMPLETE TILE & METAL FINISH TO MATCH BLDG
COLOR 2: BRUSH WILLOW BRN/ TRAFFIC TRANSPARENT	
COLOR 3: BRUSH WOODS BRN/ TRAFFIC TRANSPARENT	

--	--	--	--



3300 PALM AVENUE, FT. MYERS, FL 33901  
 PHONE: 239.278.4245  
 FAX: 239.278.3912

**ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NFPA 70 - 11**



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction

Max height is 24'-0" Max allowable Sq Ft is 1 Sq Ft per linear Ft of bldg frontage N.T.E. 200.0 Sq Ft. 75% To be sign copy, 25% to be Architectural detail. Sign base to be max 2'-0" in height. Sign width must be greater than sign height.

Sign is 8'-0" High Sign is utilizing 43.2 Sq Ft

**CUSTOMER APPROVAL:**

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

PROJECT MANAGER: Elisha White DESIGNER: MB

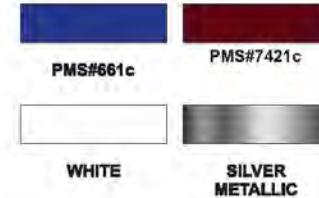
JOB DESCRIPTION: Ground Sign Option #2	DRAWING NUMBER: 20-0272 01 J	INITIAL DRAWING DATE: 5/5/2020	REVISION 4/26 H	REVISION 5/13 I	REVISION 5/19 J	Rev J Revised count wall signs, Included new elevation drawings
COMPANY: Clean Machine	PHONE:	E-MAIL:	SCALE: 3/8" = 1'-0"			

ADDRESS: Vintage Pkwy & US 41 Estero Fl FILEPATH: Z:\gfr\C Jobs\Clean Machine\Estero, Vintage Pkwy & US 41\20-0272, All Drawings\20-0272 01 J Clean Machine - Package.cdr SHEET 1 of 6

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# WALL SIGN



MANUFACTURE & INSTALL ONE (1) SINGLE FACED, ILLUMINATED WALL SIGN.

ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME. FACES TO BE ROUTED WITH .5" ACRYLIC PUSH THRU LETTERS "CARWASH". "CLEAN MACHINE" COPY TO BE 5" DEEP FACE ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO FACE OF CABINET. "STAR" TO BE ROUTED OUT OF FACES AND BACKED WITH PLEX.

TO BE ILLUMINATED USING WHITE (7000k) LED's.



3300 PALM AVENUE, FT. MYERS, FL 33901  
 PHONE: 239.278.4245  
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE  
 IN COMPLIANCE WITH NFPA 70 - II



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

JOB DESCRIPTION: Wall Sign					CUSTOMER APPROVAL:			
					SIGNATURE _____			DATE _____
COMPANY: Clean Machine		DRAWING NUMBER: 20-0272 02 J	INITIAL DRAWING DATE: 5/5/2020	REVISION 4/26 H	REVISION 5/13 I	REVISION 5/19 J	PROJECT MANAGER: Elisha White	DESIGNER: MB

CONTACT:		PHONE:	E-MAIL:	SCALE: 1/4" = 1'-0"	
ADDRESS: Vintage Pkwy & US 41 Estero Fl		FILEPATH: Z:\gfm\C Jobs\Clean Machine\Estero_Vintage Pkwy & US 41\20-0272_AllDrawings\20-0272 01 J Clean Machine - Package.cad		SHEET 2 of 6	

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# WALL SIGN



3300 PALM AVENUE, FT. MYERS, FL 33901  
PHONE: 239.278.4245  
FAX: 239.278.3912

**ALL ELECTRICAL WORK TO BE DONE  
IN COMPLIANCE WITH NFPA 70 - II**



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction  
Max signage allowed is 10% of the total area of wall. N.T.E. 200.0 Sq Ft  
Sign is allowed 122.6 Sq Ft Sign is utilizing 120.4 Sq Ft

CUSTOMER APPROVAL:

SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_

PROJECT MANAGER: Elisha White  
DESIGNER: MB

JOB DESCRIPTION:  
Wall Sign

COMPANY:  
Clean Machine

CONTACT:

DRAWING NUMBER:  
20-0272 02 J

PHONE:

INITIAL DRAWING DATE:  
5/5/2020

E-MAIL:

REVISION 4/26 H

REVISION 5/13 I

REVISION 5/19 J

Rev J Revised count wall signs, Included new elevation drawings

SCALE: 1/8" = 1'-0"

ADDRESS:  
Vintage Pkwy & US 41 Estero Fl

FILEPATH:

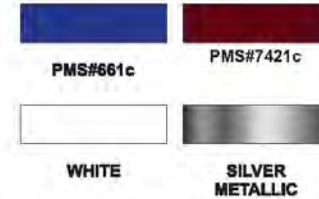
Z:\grfx\C Jobs\Clean Machine\Estero\_Vintage Pkwy & US 41\20-0272\_AllDrawings\20-0272 01 J Clean Machine - Package.cdr

SHEET 3 of 6

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# WALL SIGN



MANUFACTURE & INSTALL ONE (1) SINGLE FACED, ILLUMINATED WALL SIGN.

ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME. FACES TO BE ROUTED WITH .5" ACRYLIC PUSH THRU LETTERS "CARWASH". "CLEAN MACHINE" COPY TO BE 5" DEEP FACE ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO FACE OF CABINET. "STAR" TO BE ROUTED OUT OF FACES AND BACKED WITH PLEX.

TO BE ILLUMINATED USING WHITE (7000k) LED's.



3300 PALM AVENUE, FT. MYERS, FL 33901  
 PHONE: 239.278.4245  
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE  
 IN COMPLIANCE WITH NFPA 70 - II



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

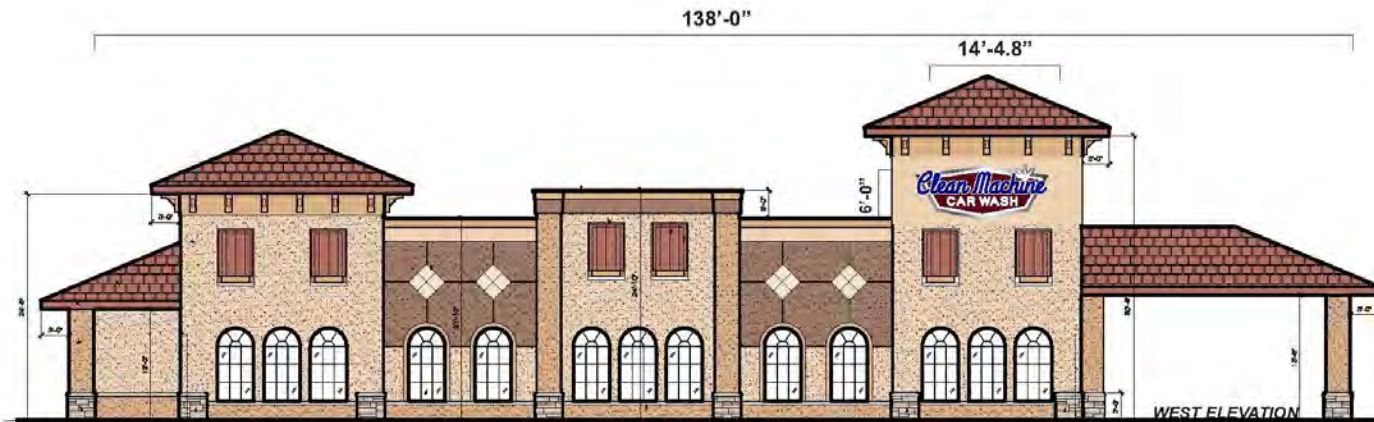
JOB DESCRIPTION: Wall Sign					CUSTOMER APPROVAL:		
					SIGNATURE _____		
COMPANY: Clean Machine	DRAWING NUMBER: 20-0272.06 J	INITIAL DRAWING DATE: 5/5/2020	REVISION 4/26 H	REVISION 5/13 I	REVISION 5/19 J	PROJECT MANAGER: Elisha White	DESIGNER: MB

CONTACT:	PHONE:	E-MAIL:	SCALE: 3/8" = 1'-0"
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ADDRESS: Vintage Pkwy & US 41 Estero Fl	FILEPATH: Z:\light\C Jobs\Clean Machine\Estero_Vintage Pkwy & US 41\20-0272_All Drawings\20-0272 01 J Clean Machine - Package.cad	SHEET 4 of 6
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# WALL SIGN



3300 PALM AVENUE, FT. MYERS, FL 33901  
 PHONE: 239.278.4245  
 FAX: 239.278.3912

**ALL ELECTRICAL WORK TO BE DONE  
 IN COMPLIANCE WITH NFPA 70 - II**



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction  
 Max signage allowed is 10% of the total area of wall. N.T.E. 200.0 Sq Ft  
 Sign is allowed 200.0 Sq Ft Sign is utilizing 86.5 Sq Ft

**CUSTOMER APPROVAL:**

\_\_\_\_\_  
 SIGNATURE

\_\_\_\_\_  
 DATE

PROJECT MANAGER: Elisha White DESIGNER: MB

JOB DESCRIPTION: Wall Sign		DRAWING NUMBER: 20-0272 06 J	INITIAL DRAWING DATE: 5/5/2020	REVISION 4/26 H	REVISION 5/13 I	REVISION 5/19 J	Rev J Revised count wall signs, Included new elevation drawings
COMPANY: Clean Machine		PHONE:	E-MAIL:	SCALE: NONE			

ADDRESS: Vintage Pkwy & US 41 Estero Fl FILEPATH: Z:\gfb\C Jobs\Clean Machine\Estero\_Vintage Pkwy & US 41\20-0272\_01\_J Clean Machine - Package.cdr SHEET 5 of 6  
 THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS



# INTERIOR SIGN

QUANTITY: ONE (1) SINGLE-SIDED  
INTERIOR WALL SIGN  
NON ILLUMINATED

BACKGROUND: 1/2" THICK WHITE PVC  
ROUTER CUT, PAINT COLORS TO MATCH  
EXISTING EXTERIOR WALL SIGN

"Clean Machine" LETTERS:  
1/4" THICK WHITE PVC, ROUTER CUT  
BLUE VINYL OVERLAY  
FLUSH MOUNTED TO BACKER

"CAR WASH" LETTERS:  
1/4" THICK WHITE PVC, ROUTER CUT  
FLUSH MOUNTED TO BACKER

"STAR": 1/4" THICK WHITE PVC, ROUTER CUT  
FLUSH MOUNTED TO BACKER  
INTERIOR SIGN TO BE MOUNTED TO LOBBY WALL



3300 PALM AVENUE, FT. MYERS, FL 33901  
PHONE: 239.278.4245  
FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE  
IN COMPLIANCE WITH NFPA 70 - II



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

CUSTOMER APPROVAL:

SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_

JOB DESCRIPTION:

Interior

PROJECT MANAGER:

Elisha White

DESIGNER:

MB

COMPANY:  
Clean Machine

DRAWING NUMBER:  
20-0272 05 J

INITIAL DRAWING DATE:  
5/5/2020

REVISION  
4/26 H 5/13 I 5/19 J

Rev J Revised count wall signs, Included new elevation drawings

CONTACT:

PHONE:

E-MAIL:

SCALE: 1.5" = 1'-0"

ADDRESS:

Vintage Pkwy & US 41 Estero Fl

FILEPATH:

Z:\grfx\C Jobs\Clean Machine\Estero\_Vintage Pkwy & US 41\20-0272\_AllDrawings\20-0272 01 J Clean Machine - Package.cdr

SHEET 6 of 6

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QUESTIONS?





# Extra Space Storage

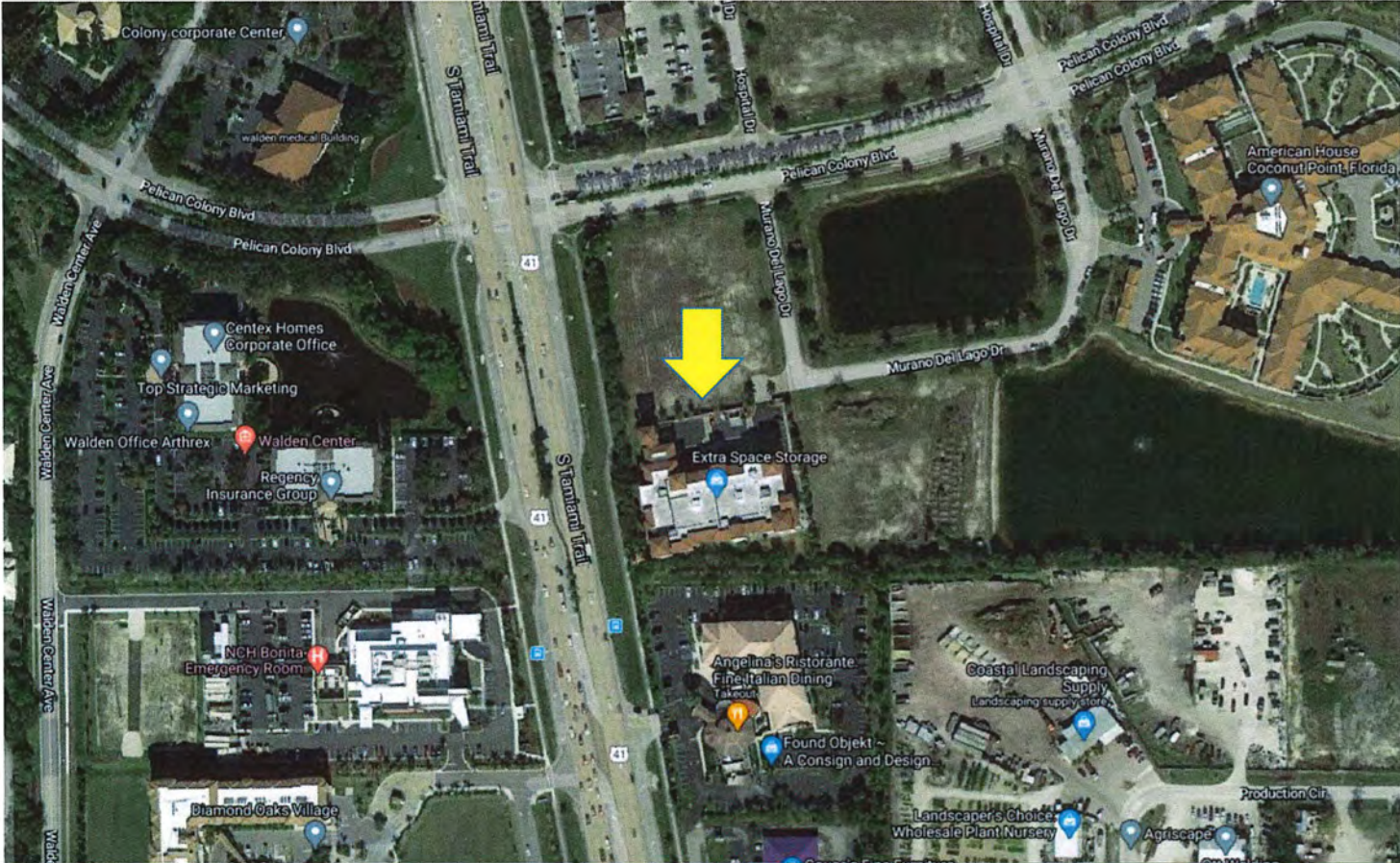
## New Colors Scheme



Existing colors

**Property Location:**  
8420 Murano Del Lago Dr, Estero, FL 34135

# Site location





# Original Approved Building Colors

# PROPOSED SIGNAGE ELEVATIONS

SIGN 9   SIGN 6   SIGN 1   SIGN 7   SIGN 8



**NORTH ELEVATION : N. T. S.**

SIGN 3



**SOUTH ELEVATION : N. T. S.**



**Houston · Dallas  
Buffalo · Austin**

**Austin Regional Office**  
326 Canyon Circle Dr.  
Canyon Lake, Texas 78133  
**830-935-4168**  
FAX: 830-935-4175

**Houston Corporate Office**  
1800 Bering Drive  
Houston, TX 77057  
**713-977-7900**  
Fax 713-977-7903



**ESTERO, FL**

Address: \_\_\_\_\_  
**8420 MURANO DEL  
LARGO DR.**  
City: **ESTERO**  
State: **FL, 34134**  
Account Rep: **KEVIN B.**

Sales Rep: \_\_\_\_\_  
APPROVALS  
CLIENT \_\_\_\_\_  
DESIGN \_\_\_\_\_  
PROD. \_\_\_\_\_

Designer: **EIT**

Design No. **71772-R12**

DATE **09-11-08**

Rev. Date: **12-30-08**

DESCRIPTION  
**PROPOSED SIGNAGE**

**2.10**

The purchaser agrees to hold the seller harmless against any cause for action for damage which may occur as a result of drilling for piers and to residents, including but not limited to sewer, gas lines or any underground obstacles which the purchaser or others may deem valuable.

THIS DESIGN AND ENGINEERING IS SUBMITTED AS OUR PROPOSAL, AND THE RIGHT TO USE OR EXHIBIT IN ANY FORM, IS NOT AUTHORIZED WITHOUT WRITTEN PERMISSION BY US SIGNS.



# PROPOSED SIGNAGE ELEVATIONS

OPTION 2



WEST ELEVATION : N. T. S.

THIS DESIGN AND ENGINEERING IS SUBMITTED AS OUR PROPOSAL, AND THE RIGHT TO USE OR EXHIBIT IN ANY FORM, IS NOT AUTHORIZED WITHOUT WRITTEN PERMISSION BY US SIGNS.



Houston · Dallas  
Buffalo · Austin

**Austin Regional Office**  
326 Canyon Circle Dr.  
Canyon Lake, Texas 78133  
**830-935-4168**  
FAX: 830-935-4175

**Houston Corporate Office**  
1800 Bering Drive  
Houston, TX 77057  
**713-977-7900**  
Fax 713-977-7903



**ESTERO, FL**

Address: **8420 MURANO DEL LARGO DR.**  
City: **ESTERO**  
State: **FL, 34134**  
Account Rep: **KEVIN B.**  
Sales Rep: \_\_\_\_\_  
APPROVALS  
CLIENT \_\_\_\_\_  
DESIGN \_\_\_\_\_  
PROD. \_\_\_\_\_

Designer: **EIT**  
Design No. **71772-R12**

DATE **09-11-08**

Rev. Date: **12-30-08**

DESCRIPTION  
**PROPOSED SIGNAGE**

**5.10**

The purchaser agrees to hold the seller harmless against any cause for action for damage which may occur as a result of drilling for piers and foundations, including but not limited to sewer, gas lines or any underground obstacles which the purchaser or others may deem valuable.

# 1<sup>st</sup> Application to Change Building Colors



**DESIGN NOTES**

- 1 EXISTING METAL/STUCCO ROOFING, FASCIA, GUTTER, AND FLASHING TO BE PAINTED SW 7067 CITYSCAPE.
- 2 EXISTING SOFFIT TO BE PAINTED SW 7065 ARGOS.
- 3 OFFICE SIGN TO BE INSTALLED AS INDICATED.
- 4 NEW OFFICE HOURS DECAL TO BE INSTALLED AS INDICATED.
- 5 EXISTING ROLL-UP DOORS TO BE PAINTED SW EXR WASABI.
- 6 METAL DOOR AND FRAME TO BE PAINTED SW EXR WASABI.
- 7 METAL DOOR AND FRAME TO BE PAINTED SW 7063 NEBULOUS WHITE.
- 8 EXISTING METAL FENCING AND GATE ASSEMBLIES TO BE PAINTED SW 6258 TRICORN BLACK, SEMI-GLOSS.
- 9 AWNING AND ACCENT SUPPORTS TO BE PAINTED SW 7069 IRON ORE.
- 10 NEW CHANNEL/FOOTBALL BUILDING SIGNAGE TO BE INSTALLED AS INDICATED BY SIGNAGE CONTRACTOR.
- 11 SAFETY YELLOW PARKING BOLLARD COVERS, BY IDEAL SHIELD, TO BE INSTALLED BY CONTRACTOR.
- 12 STUCCO TRIM TO BE PAINTED SW 7067 CITYSCAPE ON TOP AND PAINTED SW 7065 ARGOS ON BOTTOM.
- 13 STUCCO BAND TO BE PAINTED SW 7065 ARGOS.
- 14 STUCCO ACCENTS TO BE PAINTED SW 7067 CITYSCAPE.
- 15 STUCCO ACCENTS TO BE PAINTED SW 7065 ARGOS.
- 16 STUCCO ACCENTS TO BE PAINTED SW 7063 NEBULOUS WHITE.
- 17 METAL ACCENTS TO BE PAINTED SW EXR WASABI.
- 18 STUCCO TO BE PAINTED SW 7067 CITYSCAPE.
- 19 STUCCO TO BE PAINTED SW 7065 ARGOS.
- 20 STUCCO TO BE PAINTED SW 7063 NEBULOUS WHITE.
- 21 STUCCO TO BE PAINTED SW EXR WASABI.
- 22 STUCCO TRIM TO BE PAINTED SW 7067 CITYSCAPE.
- 23 STUCCO TRIM TO BE PAINTED SW 7065 ARGOS.
- 24 STUCCO TRIM TO BE PAINTED SW 7063 NEBULOUS WHITE.
- 25 DUMPSTER WALL TO BE PAINTED SW 7063 NEBULOUS WHITE ON TOP AND PAINTED SW 7067 CITYSCAPE ON BOTTOM UP TO MATCH TOP OF TRIM.
- 26 DUMPSTER WALL TRIM TO BE PAINTED SW 7067 CITYSCAPE.
- 27 METAL PLANT TRELLISES TO BE PAINTED SW 7069 IRON ORE.
- 28 METAL VENTS TO BE PAINTED SW 7065 ARGOS.
- 29 COLUMNS TO BE PAINTED SW 7065 ARGOS.
- 30 CORBELS TO BE PAINTED SW 7065 ARGOS.

**SITE PERSPECTIVE**



ROB BURNS  
2795 E. COTTONWOOD PKWY #400  
SALT LAKE CITY, UTAH 84121  
EXTRASPACE.COM  
P: 801-365-4533

**RE-BRANDING FOR**



**PROJECT ID:**

1402-BONITA SPRINGS, FL. EXR WASABI AS INDICATED IS  
**PROJECT LOCATION:** A CUSTOM COLOR BY  
 8420 MURANO DEL LAGO DR. SHERWIN-WILLIAMS:  
 BONITA SPRINGS, FL. **RED GREEN BLUE**  
 34135 R 177 G 212 B 125

**GENERAL NOTES:**

USE SHERWIN-WILLIAMS CHEM  
 BAKE 8000 ON ALL METAL  
 SURFACES. COLOR MATCH TO  
 BE SPECIFIED IN DESIGN NOTES.

COMPLETED BY: M.H.B.
DATE: 11/20/2019

## 2<sup>nd</sup> Application to Change Building Colors



# Second Try- Better but not there yet

- Greys are still too cool
- Soften green more.
- Roof color not correct
- Warmer off whites.



3<sup>rd</sup> Application to Change  
Building Colors



# Third Try

- No cool grays
- Correct roof color
- Limited earth tone green
- Building broken down and unified with colors
- Warm off whites.



## PAINT COLOR CODES

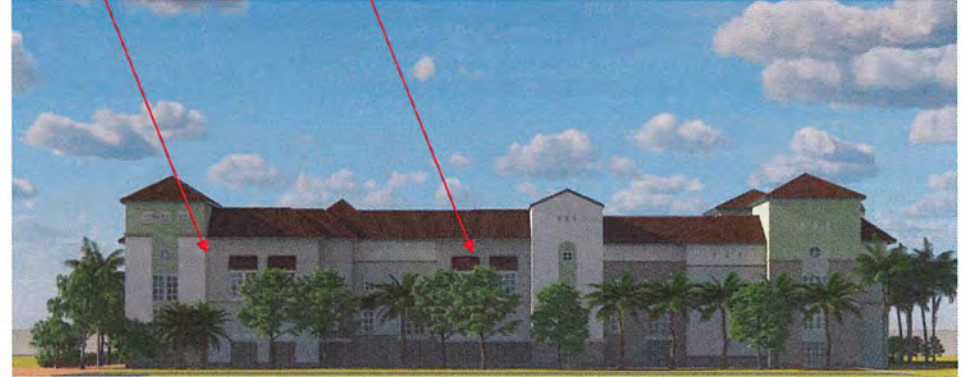
- 1 SW ZURICH WHITE
- 2 SW REPOSE GRAY
- 3 SW FUNCTIONAL GRAY
- 4 SW PAVESTONE
- 5 BM LILY PAD
- 6 SW MINK
- 7 SW CITYSCAPE
- 8 SW COLANNADE GRAY
- 9 SW IRON ORE

# 4<sup>th</sup> Application to Change Building Colors



# Fourth Try

- Every thing from step three, Just with more color blocking as requested



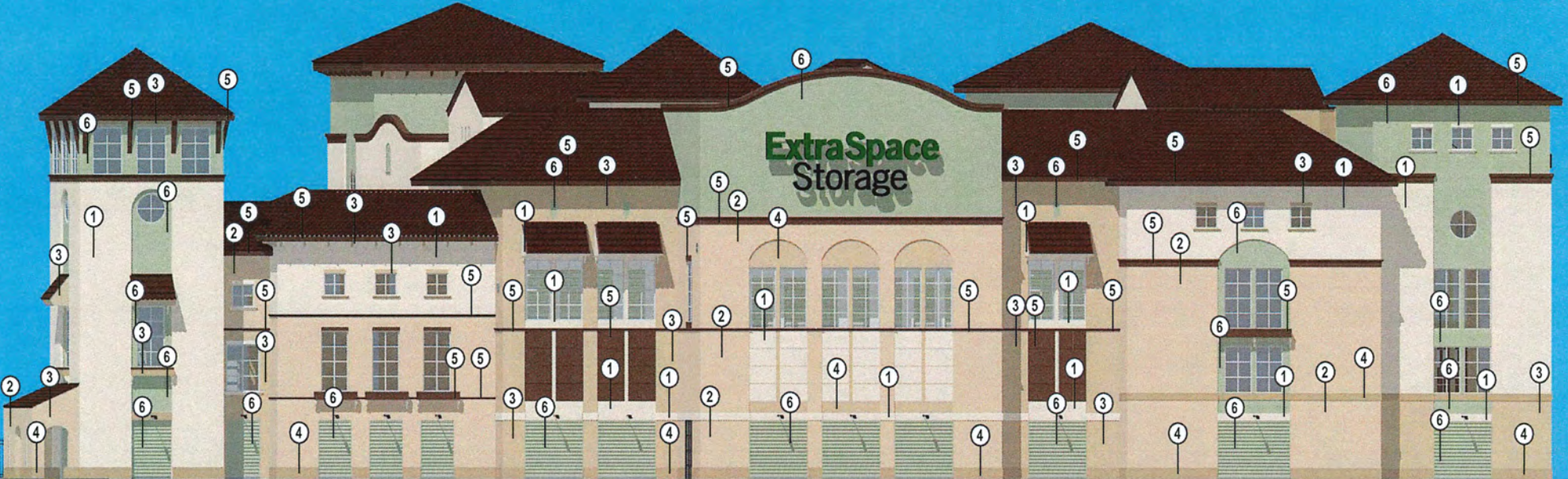
PAINT COLOR CODES	
1	SW ZURICH WHITE
2	SW REPOSE GRAY
3	SW FUNCTIONAL GRAY
4	SW PAVESTONE
5	BM LILY PAD
6	SW MINK
7	SW CITYSCAPE
8	SW COLANNADE GRAY
9	SW IRON ORE

# 5<sup>th</sup> Application to Change

(Presented May 2021)

## Building Colors





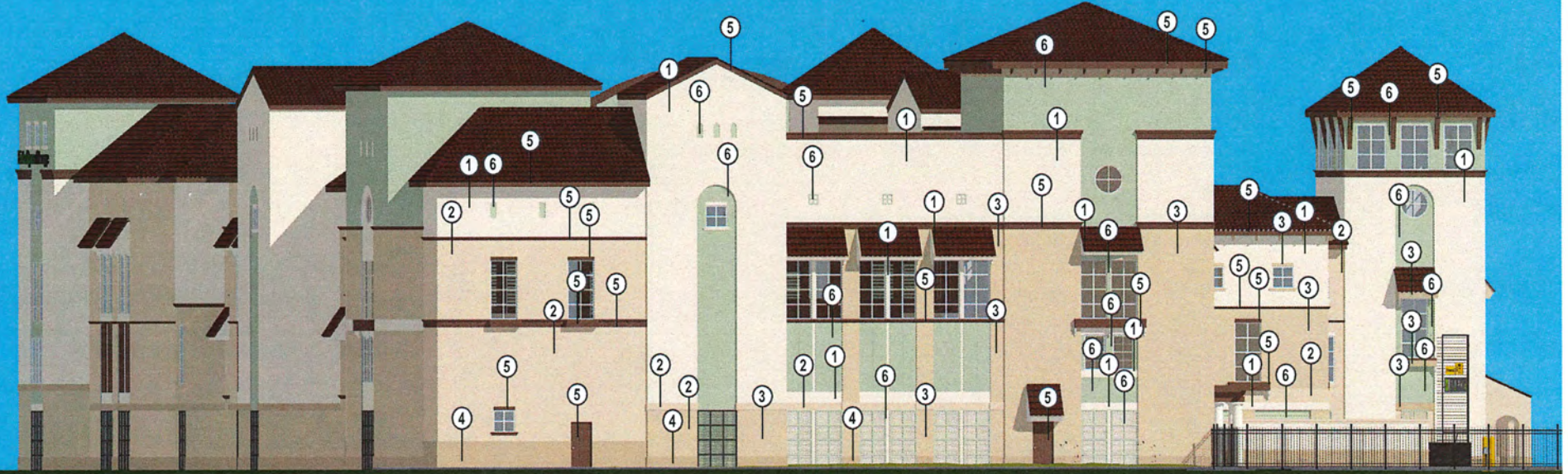
**PAINT COLOR CODES**

- ① SW 7571 CASA BLANCA
- ② SW 7723 COLONY BUFF
- ③ SW 7689 ROW HOUSE TAN
- ④ SW 7690 TOWNHALL TAN
- ⑤ SW 7520 DARK BROWN
- ⑥ BM LILY PAD 480

# ExtraSpaceStorage

April 23 2021





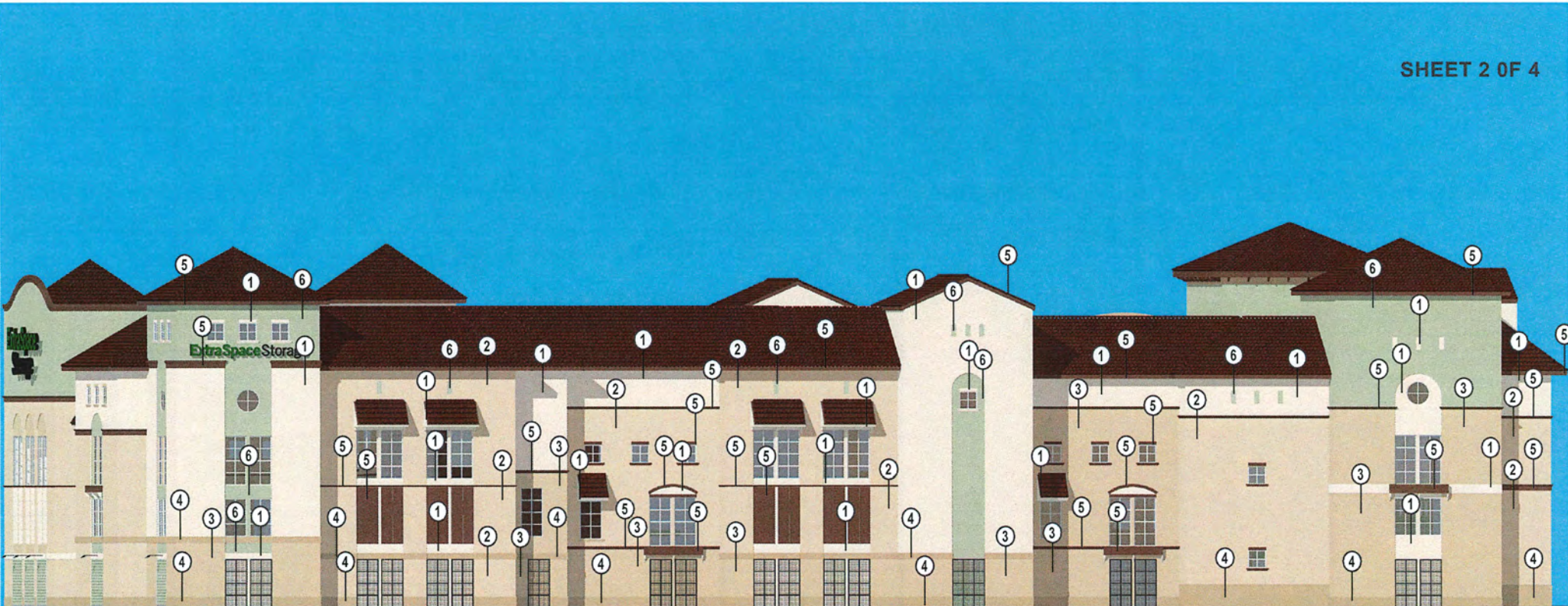
**PAINT COLOR CODES**

- ① SW 7571 CASA BLANCA
- ② SW 7723 COLONY BUFF
- ③ SW 7689 ROW HOUSE TAN
- ④ SW 7690 TOWNHALL TAN
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- ⑥ BM LILY PAD 480

# ExtraSpaceStorage

April 23 2021





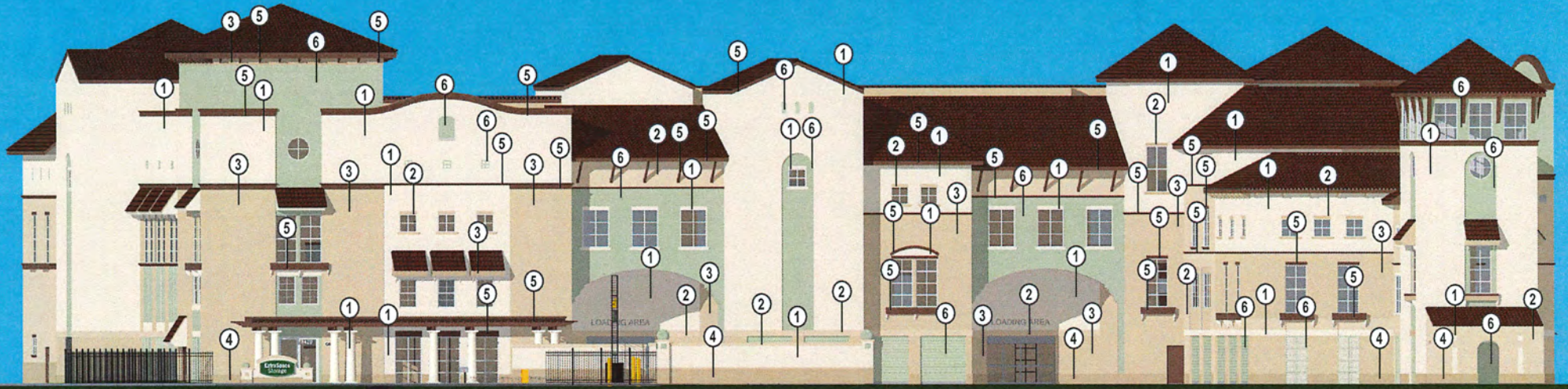
**PAINT COLOR CODES**

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- ② SW 7723 COLONY BUFF
- ③ SW 7689 ROW HOUSE TAN
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April 23 2021





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- ⑥ BM LILY PAD 480

# ExtraSpaceStorage

April 23 2021





**Planning Zoning and Design Board**

*Staff Report*

<b>PROJECT NAME</b>
Lee Health Medical Office
<b>CASE NUMBER</b>
DOS2021-E003
<b>MEETING DATE</b>
June 8, 2021
<b>REQUEST</b>
Development Order for a two-story medical office building with 20,826 square feet of total floor area
<b>APPLICANT</b>
John Conroy, SREG University Highlands, LLC
<b>LOCATION</b>
Located on the southwest corner of Ben Hill Griffin Parkway and Everblades Parkway South
<b>PROPERTY SIZE</b>
0.75 acres±
<b>ZONING</b>
Parcel is zoned MPD under Resolution Z-10-031
<b>PUBLIC INFORMATION MEETING DATES</b>
The DRB conducted a Public Information Meeting on January 27, 2021

***Staff Recommendation***

Staff recommends that the architecture be further revised with some additional detail to be consistent with the Shoppes at University Highlands prior to approval of the development order. When the Shoppes at University Highlands was reviewed by the Design Review Board, it was revised to be consistent with the University Highlands Limited Partnership Image Book approved with the zoning.

The PZDB should review the project for compliance with general criteria of the Land Development Code Ordinance 2015-01 and, in particular, the following facets:

1. Building architecture and colors
2. Site lighting elements and colors, including parking lot poles and fixtures
3. Connectivity
4. Landscaping and buffers for overall design and compatibility with the building and surrounding area

The project must be harmonious with the community and proposed developments in the general area, in conformity with good design, contributing to the image of the Village, not of inferior quality, and consistent with the Land Development Code. If the PZDB denies the application, it must state its findings regarding the criteria.

### **Project Summary**

Lee Health Medical office is a proposed 2-story medical office building with 20,826 square feet of total floor area. The project is located on a vacant parcel within the Shoppes at University Highlands on the west side of Ben Hill Griffin Parkway about 2,000 feet north of Corkscrew Road. The project is bounded by the Longitude apartments to the north, Shoppes at University Highlands to the south; Grandezza residential on the east side of Ben Hill Griffin Parkway; and the Springs apartments to the west.

### **Request**

The applicant is requesting approval of a development order for a proposed medical office building. The project was reviewed by the Design Review Board at a Public Information Meeting on January 27, 2021. Staff has also reviewed the plans including Lee County Utilities, Lee County Department of Transportation, Estero Fire District, Lee Tran and Lee County Solid Waste Division.

### **Architecture and Height**

The architecture has been revised from the elevations presented at the Public Information Meeting on January 27, 2021. The new elevations are much improved; however, staff believes that some additional revisions are needed to meet the requirements of the “Image Book” approved as part of the rezoning of the property, and to be consistent with the Shoppes at University Highlands architecture (See attached.)

The maximum height in the zoning district is 45 feet. The 2-story structure and tower comply with the height. The peak of the front roof is 40’8”.

### **Transportation**

The project will generate 791 new net average weekday trips. According to the 2020 Lee County Concurrency Report, Ben Hill Griffin Parkway at this location operates at LOS E now, and will continue to operate at LOS E with this project.

Twenty-eight (28) parking spaces are provided (70 are required per Land Development Code Section 34-2020). The balance of the required parking is provided as a part of the condo association shared parking for the plaza.

A new 5-foot-wide concrete sidewalk is proposed to be constructed along the northeast side of the building connect to the Everblades Parkway South sidewalk. The Proposed Site Plan showing the connectivity is provided in the applicant’s presentation.

### **Stormwater**

The surface water management system consists of catch basins, pipes and swales to capture stormwater runoff and convey to the master SWM system for water quality treatment and attenuation prior to outfall into the system via an existing control structure.

The proposed surface water management system design and calculations have been reviewed by the Village staff and a SFWMD ERP modification (Permit # 36-100372-P) has been approved. The proposed elevation of the finished floor is 21.0 feet NAVD88.

### **Lighting**

Consistent with Land Development Code Section 34-625, site lighting is provided by LED luminaire full cut-off fixtures mounted at 20 feet on poles, and wall mounted sconce-style fixtures, all textured black color, which produce an average of 1.4 footcandles (fc) illumination in the main parking lot with a maximum 0.2 fc measured at the sidewalk adjacent to Ben Hill Griffin Parkway and Everblades Parkway. All LED luminaires are limited to a maximum IES “BUG” rating of: B = 1, U = 0, G = 1, and a Correlated



Color Temperature (CCT) of 3,000 K which meet the Village requirements. Details of the light poles and fixtures are provided with the applicant's documents.

**Public Gathering Place**

The applicant is proposing two benches at the south entry to the building and an outdoor patio area on the west end of the Building.

**Landscaping**

A 25-foot-wide Type D buffer is existing along Ben Hill Griffin Parkway and Everblades Parkway to screen the parking and building. Landscaping is provided in the vehicular use areas and building perimeter plantings are also provided per the LDC. Landscaping Plans are provided in the applicant's presentation.

**Exhibits**

- A. Image Book Excerpt from Zoning Resolution Z-10-031
- B. Photos of Existing Buildings to the South

EXHIBIT A



COMMERCIAL

In order to achieve a unified architectural theme, all commercial outparcel building facades will be treated as primary facades with the same treatment of style as the overall village. Designs will be compliant with Lee County LDC Chapters 10 and 33 with features including varying rooflines with appropriate slopes, clearly defined entryways, awnings, ornamental trim, and wall treatments. Building colors are intended as warm, earth tone shades or light pastels based on architectural style.

While they may range in details, site elements associated with commercial parcels including signage, lighting and site furniture will be designed for coordination with the entire village to maintain a unified architectural theme. These will be compatible with an overall 'family' of elements through similar materials, letter fonts, etc.

Service yards and waste facilities will be fully screened through landscape and/ or hardscape elements. Pedestrian linkages will provide sidewalk access from surrounding streets and sidewalks to building entries along with adequate bicycle parking facilities.







- Clay tile in warm earth tone colors is the preferred material for roofs to maintain consistency with the Mediterranean Revival style. Roof pitches are typically low and contain varying heights. Wall caps are finished with a parapet or cornice element.

Examples of elements within the General Site and Architectural Elements Category

Image Book









19533

Freeze Play  
Chiro & Cryo

Tide Cleaners

Handicap  
15000 Fine

Handicap

Freeze Play  
Chiro & Cryo  
Chiropractic  
Cryotherapy  
Physical Therapy

Freeze Play  
Chiro & Cryo  
Chiropractic  
Cryotherapy  
Physical Therapy

Chiropractic  
Cryotherapy  
Physical Therapy  
Massage  
Acupuncture  
Yoga

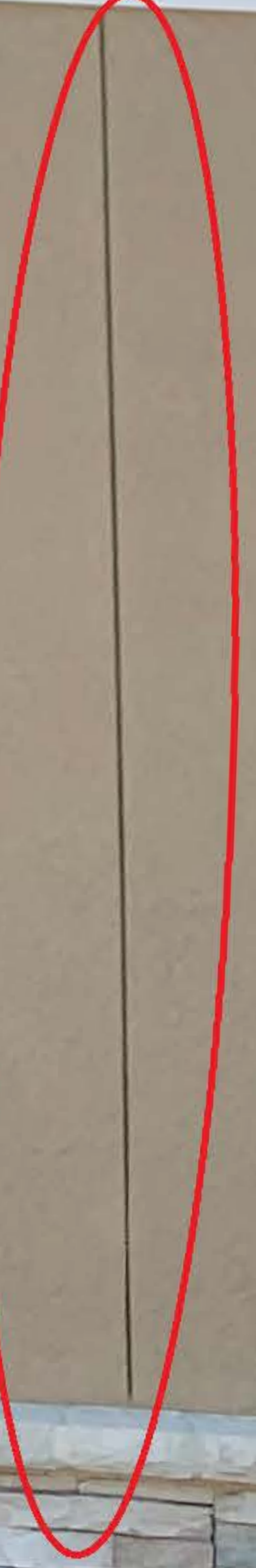
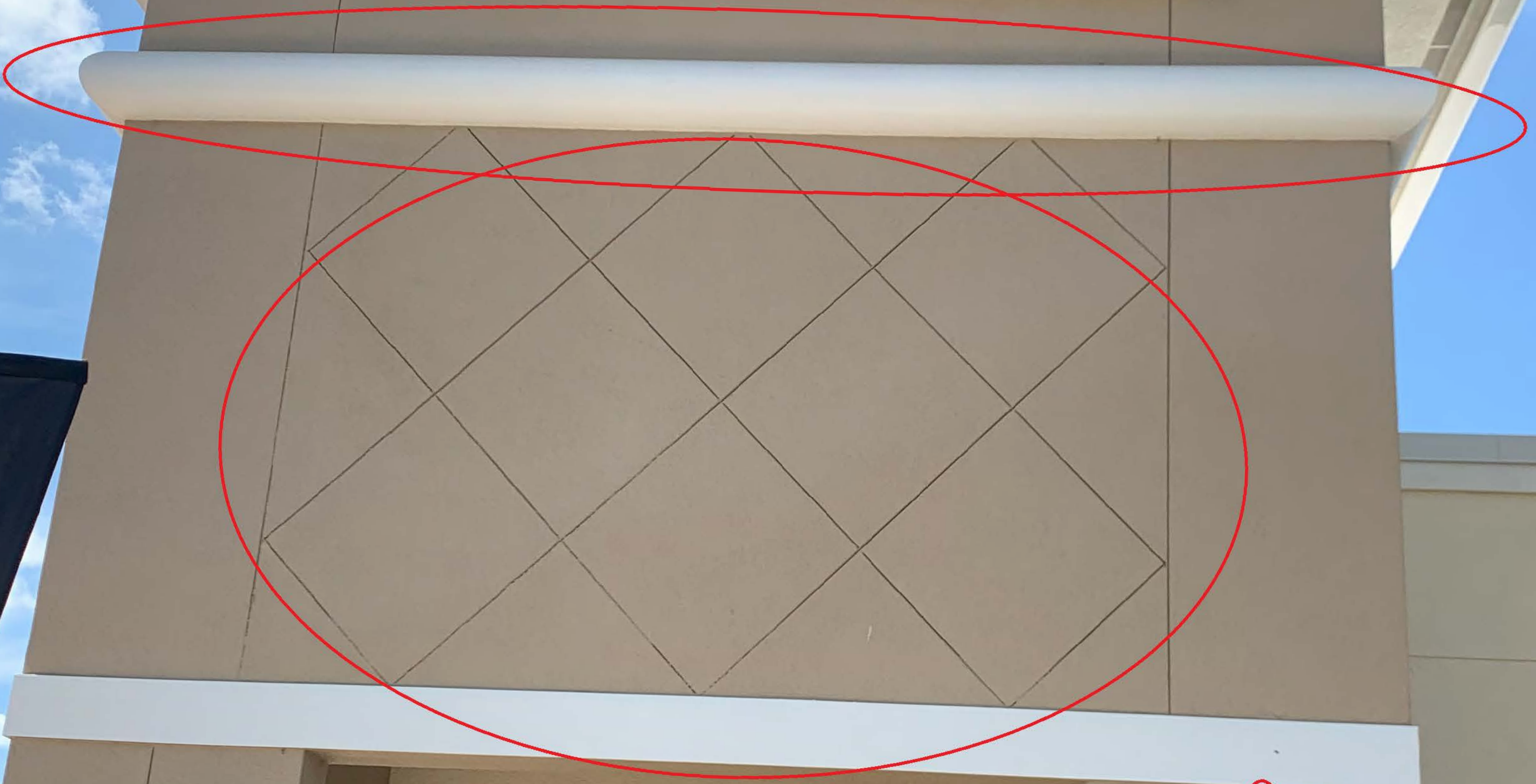
COROLLA

SM7L





STRETCH LAB







## 5-706 Building Design Standards

### B. Complementary Design Transitions

Development shall be designed to relate to adjacent structures in a complementary manner. Transitions from adjoining development to the subject site shall be provided by incorporating:

1. Building massing that relates to the existing adjacent building heights that are in compliance with the requirements of the LDC.
2. Patterns of roof structures, colors, cornices, and other architectural elements that relate to adjacent buildings that are in compliance with the requirements of the LDC. See Figure 5-706.B: Building Transition.

**Figure 5-706.B: Building Transition**

**Do this:**



**Not this:**





# DEVELOPMENT ORDER PLANS FOR

# LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS

## PART OF SECTION 25, TOWNSHIP 46 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA

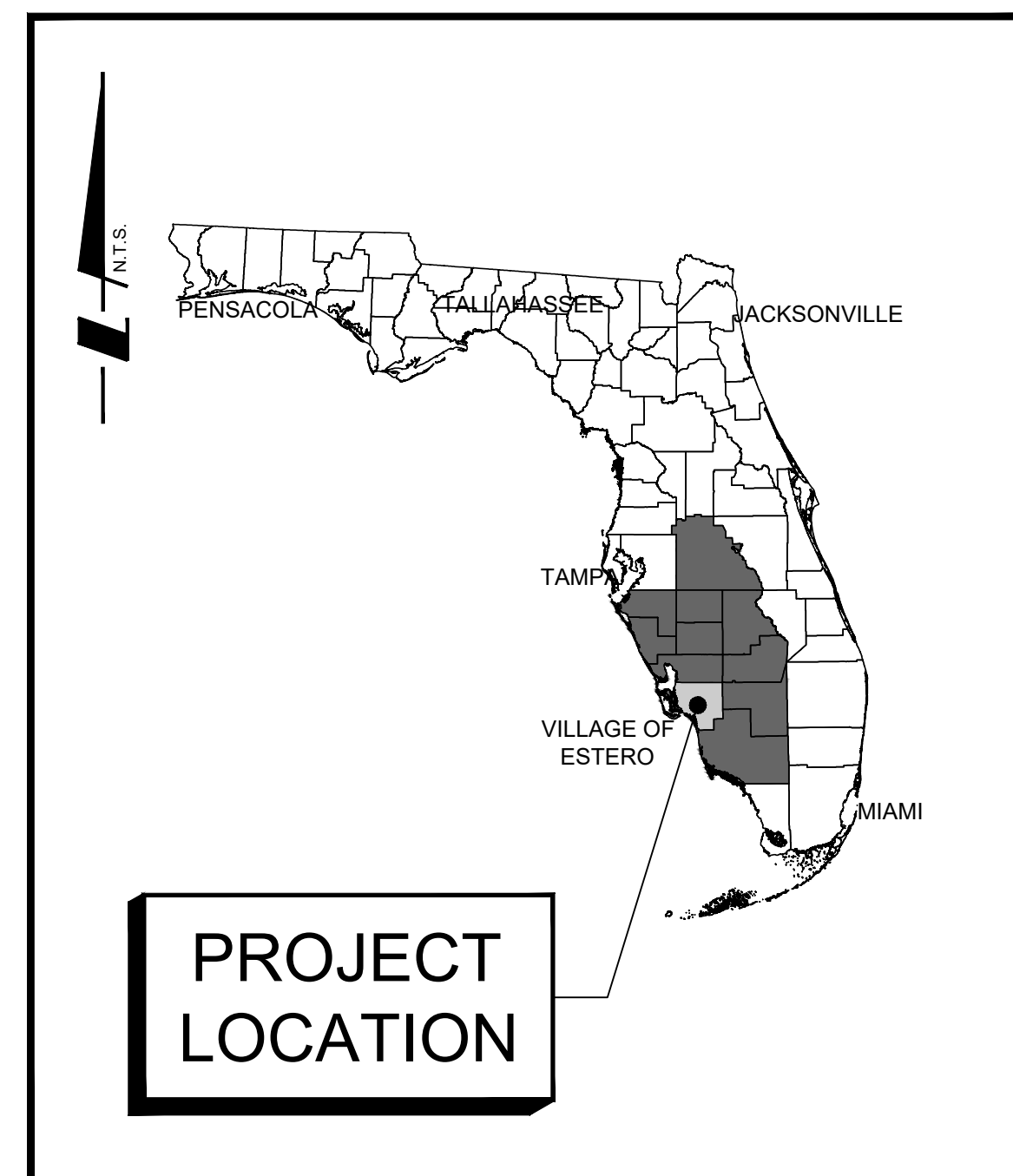
PROJECT:  
**LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS**

PLAN TITLE:  
**PERMIT PLANS**

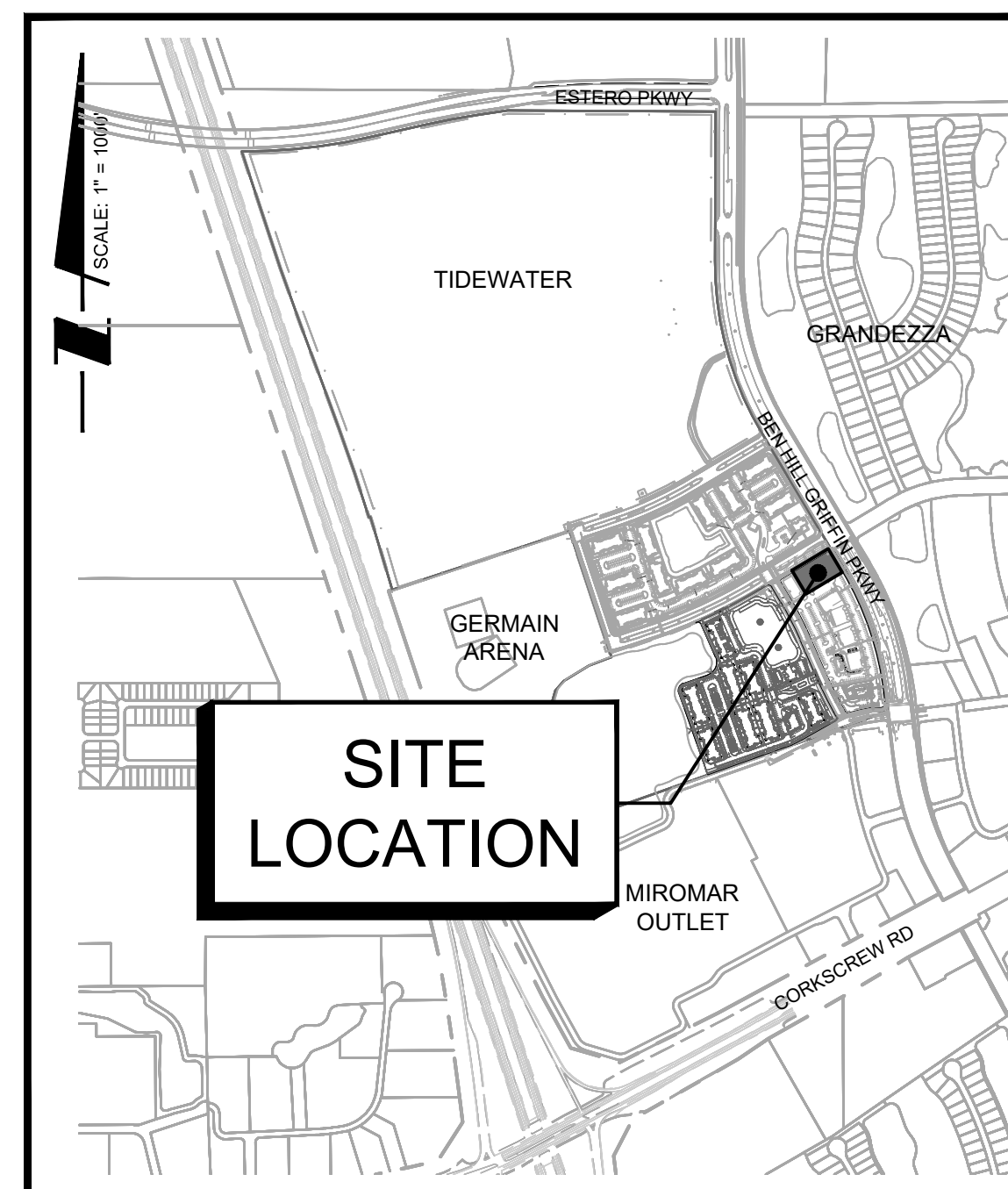
SHEET TITLE:  
**COVER SHEET**

SHEET INDEX:

SHEET INDEX			
SHEET NO.	SHEET ID	SHEET TITLE	SHEET REV
01	C-001	COVER SHEET	2
02	C-002	NOTE SHEET	2
03	C-101	AERIAL CLEARING LIMITS AND FLUCCS MAP AND DEMOLITION PLAN	1
04	C-102	ZONING DATA SHEET AND TABLES	1
05	C-103	OPEN SPACE EXHIBIT	0
06	C-111	MASTER PAVING AND DRAINAGE PLAN	1
07	C-112	MASTER UTILITY PLAN	2
08	C-113	FIRE DEPARTMENT PLAN	0
09	C-121	SITE PLAN	1
10	C-151	SIGNING AND MARKING PLAN	1
11	C-301	CROSS SECTIONS MAP AND CROSS SECTIONS	2
12	C-501	PAVING DETAILS	0
13	C-502	DRAINAGE DETAILS	0
14	C-511	STANDARD LEE COUNTY GENERAL AND UTILITIES DETAILS	2
15	C-701	NPDES DISCHARGE CONTROL PLAN AND DETAILS	0



VICINITY MAP



LOCATION MAP

OWNER/DEVELOPER  
**SREG UNIVERSITY HIGHLANDS, LLC**  
 2210 VANDERBILT BEACH ROAD SUITE 1201  
 NAPLES, FL 39109  
 (239) 404-1930



REVISIONS:

REV. NO.	DESCRIPTION	SHEETS AFFECTED	DATE
1	REVISED PER VILLAGE OF ESTERO COMMENTS DATED 04/08/21	1, 3, 4, 8, 7, 9, AND 10	04/20/21
2	REVISED PER LCU COMMENTS DATED 04/30/21 AND VILLAGE OF ESTERO COMMENTS DATED 5/13/21	1, 2, 7, 11, AND 14	05/14/21

LEGAL DESCRIPTION:  
 UNITS 1, 4 AND 5, UNIVERSITY HIGHLANDS I, A LAND CONDOMINIUM ACCORDING TO THE DECLARATION OF CONDOMINIUM THEREOF RECORDS UNDER ORI NO. 2019000250798, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA, AND ALL AMENDMENTS THERETO, TOGETHER WITH ITS UNDIVIDED SHARE IN THE COMMON ELEMENTS.

BUILDING SUMMARY:

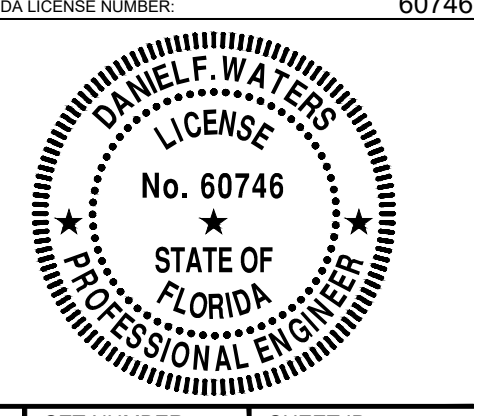
BUILDING SUMMARY									
BUILDING NO.	OCCUPANCY TYPE	CONSTRUCTION TYPE	SPRINKLERED (YES/NO)	SQ. FT. UNDER AC	TOTAL SQ. FT.	NEEDED FIRE FLOW (1)	REDUCED NEEDED FIRE FLOW (2)	ALLOWABLE BUILDING HEIGHT (3)	PROPOSED BUILDING HEIGHT (3)
4	BUSINESS	TYPE III-B	YES	20,826 SF	20,826 SF	3,000 GPM	1,000 GPM	45'-0"	28'-0"

(1) PER NFPA-1, TABLE 18.4.5.1.2  
 (2) 75% SPRINKLERED REDUCTION (1,000 GPM MAX.) PER NFPA 18.4.5.3.2  
 (3) PER VILLAGE OF ESTERO LOC SECTION 34-2; BUILDING HEIGHT IS MEASURED TO THE HIGHEST POINT OF A FLAT ROOF

CONSULTANTS:  
 LANDSCAPE ARCHITECT: PENINSULA ENGINEERING  
 SURVEY: STANTEC  
 ARCHITECT: BURT HILL /POLLOCK KRIEG ARCHITECTS, INC  
 LIGHTING: TREBILCOCK CONSULTING SOLUTIONS

PROJECT INFORMATION:  
 D.O. Number: DOS2018-E004  
 FOLIO Number: 10595455  
 DRI Name: TIMBERLAND AND TIBURON  
 SFWMD ERP Number: 36-100372-P  
 MPD Ordinance Number: Z-10-031  
 Zoning: MPD  
 Zoning (North): MPD  
 Zoning (South): CPD  
 Zoning (East): ROW  
 Zoning (West): MPD

DESIGN TEAM:  
 PROJECT MANAGER: DANIEL F. WATERS, P.E.  
 PROJECT ENGINEER: RAHSAAN SIMON  
 PROJECT DESIGNER: ALEJANDRO AVILA  
 DRAWING BY: ALEJANDRO AVILA  
 PROJECT SURVEYOR: JOHN MALONEY  
 PROJECT FILE INFORMATION:  
 FILE DATE: MARCH 2021  
 FILE NUMBER: P-SOUT-003-001-001CV  
 PROJECT NUMBER: P-SOUT-003-001  
 SET NUMBER: 001  
 SHEET ID: C-001



Peninsula Engineering, Inc. 10/1/2021 10:10:00 AM C:\Users\jw\Documents\Projects\2021\10-1-2021\10-1-2021\10-1-2021.dwg



1	<p><b>DEFINITIONS</b></p> <p><b>OWNER:</b> SREG UNIVERSITY HIGHLANDS, LLC</p> <p><b>PROJECT:</b> LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS</p> <p><b>DEVELOPMENT SERVICES / BUILDING DEPARTMENT:</b> VILLAGE OF ESTERO</p> <p><b>CITY:</b> LEE COUNTY</p> <p><b>UTILITY:</b> VILLAGE OF ESTERO</p> <p><b>UTILITY - LEE COUNTY UTILITIES:</b> POTABLE WATER AND SANITARY SEWER</p> <p><b>DRY UTILITIES:</b> FFL, COMCAST, CENTURY LINK</p> <p><b>CONTRACTOR:</b> GENERAL / PRIME CONTRACTOR</p> <p><b>UNDERGROUND CONTRACTOR:</b> THE UNDERGROUND UTILITY CONTRACTOR AND ALL UTILITY SUBCONTRACTORS</p> <p><b>PAVING CONTRACTOR:</b> THE PAVING CONTRACTOR AND ALL SUBCONTRACTORS PROVIDING MATERIALS AND SERVICES INCLUDING FILL, LIMEROCK, CURBING AND SIDEWALKS</p> <p><b>ENGINEER:</b> OWNER'S ENGINEER RESPONSIBLE FOR INSPECTION AND CERTIFICATION PENINSULA ENGINEERING</p> <p><b>SURVEYOR:</b> OWNER'S SURVEYOR RESPONSIBLE FOR CONSTRUCTION STAKE-OUT AND VERIFICATION OF RECORD DRAWING INFORMATION</p> <p><b>FIRE DISTRICT:</b> ESTERO FIRE RESCUE</p>
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2	<p><b>GENERAL NOTES</b></p> <ol style="list-style-type: none"> <li>ALL INVERTS AND ELEVATIONS ARE BASED ON NAVD 88 (NORTH AMERICAN VERTICAL DATUM OF 1988).</li> <li>THE INFORMATION PROVIDED IN THIS PLAN IS BASED ON THE LATEST FIELD INFORMATION AND AVAILABLE RECORD DRAWING INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THIS INFORMATION PRIOR TO COMMENCEMENT OF CONSTRUCTION AND PROVIDE A WRITTEN AND DISCREPANCIES TO THE ENGINEER.</li> <li>THIS PLAN IS NOT INTENDED TO BE ALL INCLUSIVE OF EXISTING FACILITIES OR MATERIALS TO BE REMOVED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING CONDITIONS WITH REGARDS TO SITE MODIFICATIONS NECESSARY TO ACCOMMODATE THE PROPOSED IMPROVEMENTS. ALL ITEMS TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED AT THE EXPENSE OF THE CONTRACTOR, INCLUDING ALL DUMPING FEES, UNLESS OTHERWISE NOTED.</li> <li>ALL MATERIALS AND CONSTRUCTION METHODS USED FOR THE PROPOSED IMPROVEMENTS SHALL CONFORM TO THE APPROVED TECHNICAL SPECIFICATIONS, AND ALL FEDERAL, STATE AND LOCAL REGULATIONS.</li> <li>THE REVIEW AND APPROVAL OF THESE IMPROVEMENT PLANS DOES NOT AUTHORIZE THE CONSTRUCTION OF REQUIRED IMPROVEMENTS WHICH ARE INCONSISTENT WITH EXISTING EASEMENTS OF RECORD.</li> <li>ALL SOIL WASTE FROM THE PROJECT IS TO BE PICKED UP AND DISPOSED OF BY WASTE MANAGEMENT SERVICES.</li> <li>ALL PROJECT SIGNS SHALL BE IN ACCORDANCE WITH THE MPO (IF APPLICABLE) AND THE DEVELOPMENT SERVICES / BUILDING DEPARTMENT LAND DEVELOPMENT CODE.</li> <li>ENGINEER HAS THE DISCRETION OF USING CONCRETE PAVEMENT BRICKS IN PLACE OF CONCRETE SIDEWALK. PAVING CONTRACTOR SHALL REFERENCE LANDSCAPE ARCHITECT ARCHITECT PLANS OR OWNER FOR PAVEMENT BRICK FINISH LOCATIONS, THICKNESS, SIZE, COLOR, PATTERN, AND SPECIFICATIONS. CONCRETE PAVEMENT BRICK SEALANT OR REFLECTANT MAY BE USED. OWNER'S DISCRETION IF THERE ARE ANY DISCREPANCIES BETWEEN PLANS AND SPECIFICATIONS AND ENGINEER'S PLANS, CONTRACTOR SHALL REPORT DISCREPANCY TO ENGINEER.</li> <li>ALL PVC STORM DRAIN PIPES SHALL BE COLOR WHITE SDR 26, OR APPROVED EQUAL, UNLESS OTHERWISE NOTED IN THE PLANS.</li> <li>THE LIGHTING POLES AND LUMINAIRES SHOWN ON THESE DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION. FINAL LIGHTING POLE LOCATION AND LUMINARY TYPE MAY VARY AND WILL BE COORDINATED WITH OWNER'S ELECTRICAL ENGINEER. POLE LOCATIONS SHOULD MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF FIVE FEET FROM UNDERGROUND UTILITY MAINS.</li> <li>ALL SIDEWALKS AND SIDEWALK CROSSINGS FOR ROADSIDE SIDEWALKS AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FOOT INDEX 404 AND 410, THE AMERICANS WITH DISABILITIES ACT (ADA), AND THE FLORIDA ACCESSIBILITY CODE AT CURBS, CURBS, SIDEWALKS, INTERSECTIONS, ETC.</li> </ol>
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3	<p><b>UTILITY NOTES</b></p> <ol style="list-style-type: none"> <li>ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TECHNICAL STANDARDS OF THE UTILITY AND FDEP.</li> <li>POTABLE WATER SYSTEM UP TO THE FIRST GVA VALVE DEVICE SHALL BE OWNED AND MAINTAINED BY THE UTILITY. POTABLE WATER AND FIRE PROTECTION SYSTEM AFTER FIRST GVA VALVE SHALL BE OWNED &amp; MAINTAINED BY OWNER'S SUCCESSORS OR ASSIGNS.</li> <li>ON-SITE WASTEWATER COLLECTION SYSTEM SHALL BE OWNED AND MAINTAINED BY OWNER. ITS SUCCESSORS OR ASSIGNS.</li> <li>ON-SITE IRRIGATION DISTRIBUTION SYSTEM SHALL BE OWNED AND MAINTAINED BY OWNER. ITS SUCCESSORS OR ASSIGNS.</li> <li>UTILITY MATERIALS, COLORS, AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE TECHNICAL STANDARDS OF THE UTILITY AND FDEP.</li> <li>EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATION. THE CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION AND FAMILIARIZE HIMSELF WITH THE SITE AND THE CONTRACT DOCUMENTS. ALL WORK SHALL BE CONDUCTED IN STRICT ACCORDANCE WITH ALL PERMITS AND APPROVALS OBTAINED FOR THIS PROJECT.</li> <li>CONTRACTOR SHALL MARK LOCATIONS OF ALL PRESSURE PIPES IN ACCORDANCE WITH THE TECHNICAL STANDARDS OF THE UTILITY.</li> <li>THE CONTRACTOR SHALL PROVIDE 48 HOURS WRITTEN NOTICE TO THE ENGINEER, CITY, COUNTY, UTILITY AND FIRE DISTRICT PRIOR TO THE FOLLOWING:       <ol style="list-style-type: none"> <li>COMMENCEMENT</li> <li>CHANGES TO APPROVED SCHEDULES, SUBCONTRACTORS, OR RESIDENT SUPERINTENDENT</li> <li>GENERAL</li> </ol> </li> <li>CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DEVIATION IN PLAN INFORMATION SHALL BE REPORTED TO ENGINEER IMMEDIATELY.       <ol style="list-style-type: none"> <li>COMPACTION           <ol style="list-style-type: none"> <li>TRENCH DENSITY</li> <li>ROADWAY STRINGLINE</li> <li>PAVING (INCLUDING SIDEWALK AND CURBING)</li> <li>FINAL INSPECTIONS</li> </ol> </li> <li>OTHERS AS MAY BE REQUIRED BY OWNER, COUNTY AND ENGINEER</li> </ol> </li> <li>CONTRACTOR SHALL REFERENCE PLANS FOR ADDITIONAL SHOP DRAWINGS REQUESTS, PARTICULARLY FOR STRUCTURES REQUIRING SPECIAL DETAILS AND SPECIFICATIONS WHICH ARE TO BE PROVIDED BY A STRUCTURAL ENGINEER.</li> <li>CONTRACTOR SHALL RETAIN THE SERVICES OF A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO STAKE-OUT THE LOCATION OF ALL PROPOSED WATER, AND SEWER LINES AND INFRASTRUCTURE SHOWN ON THESE DRAWINGS. THE SURVEYOR SHALL OBTAIN A COPY OF THE FINAL UTILITY DRAWINGS, IN CAD FORMAT, FROM THE ENGINEER AND PROVIDE THAT DOCUMENTATION TO THE SURVEYOR. THE DIMENSIONAL INFORMATION OBTAINED FROM THE CAD DRAWINGS SHALL BE USED IN DEVELOPING THE STAKE-OUT PLAN FOR UTILITIES.</li> <li>PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING (SUCH AS SILT FENCE) BEYOND THE BOUNDARIES OF RETAINED VEGETATION ALONG THE LIMITS OF CLEARING. THIS FENCE SHALL REMAIN ERECTED AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.</li> <li>ENTRANCE FEATURES, SITE WALLS AND FLAG POLE LOCATIONS AND CONFIGURATIONS ARE APPROPRIATE AND ARE SUBJECT TO CHANGE. CONTRACTOR SHALL REFERENCE LANDSCAPE ARCHITECTS OR ARCHITECTS PLANS FOR ENTRANCE FEATURES, SITE WALLS AND FLAG POLE LOCATIONS AND CONFIGURATIONS. IF THERE ARE ANY DISCREPANCIES BETWEEN LANDSCAPE ARCHITECTS PLANS AND SPECIFICATIONS AND ENGINEER'S PLANS, CONTRACTOR IS REQUIRED TO OBTAIN FROM ENGINEER WRITTEN APPROVAL FOR ANY DEVIATIONS. SHOW ON THE STAMPED APPROVED SITE DEVELOPMENT PLANS. CONTRACTOR SHALL APPLY SEPARATELY FOR THE APPROPRIATE BUILDING PERMITS, WHERE APPLICABLE, AS OUTLINED IN THE COUNTY BUILDING CODE AND LOC.</li> <li>CONTRACTOR SHALL REFERENCE ELECTRICAL ENGINEERS PLANS FOR STREET-SITE LIGHTING FINAL LOCATIONS, COLOR, MATERIALS, AND SPECIFICATIONS. IF THERE ARE ANY DISCREPANCIES BETWEEN LANDSCAPE ARCHITECTS PLANS AND SPECIFICATION AND ENGINEER'S PLANS, CONTRACTOR IS REQUIRED TO OBTAIN FROM ENGINEER WRITTEN APPROVAL FOR ANY DEVIATIONS. SHOW ON THE STAMPED APPROVED SITE DEVELOPMENT PLANS. CONTRACTOR SHALL APPLY SEPARATELY FOR THE APPROPRIATE BUILDING PERMITS, WHERE APPLICABLE, AS OUTLINED IN THE COUNTY BUILDING CODE AND LOC.</li> <li>ALL MATERIALS, DEBRIS, UNSUITABLE EARTH, ETC. OF NO SALVAGE VALUE SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR.</li> </ol>
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4	<p><b>GENERAL PROCEDURES</b></p> <ol style="list-style-type: none"> <li>CONTRACTOR SHALL BE RESPONSIBLE IN COORDINATING WITH THE FOLLOWING RESPECTIVE UTILITY COMPANIES AND AGENCIES FOR COORDINATION OF SERVICES AND CONNECTIONS FOR THE PROJECT. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO COMMENCING WORK WITHIN ANY AGENCY OR UTILITY COMPANY'S DISTRICT.       <table border="1"> <tr> <td>ESTERO COMMUNITY DEVELOPMENT:</td> <td>WALTER MCCARTHY</td> <td>(239) 231-8206</td> </tr> <tr> <td>LEE COUNTY UTILITIES:</td> <td>TERRY KELLEY</td> <td>(239) 234-1911</td> </tr> <tr> <td>FLORIDA POWER &amp; LIGHT:</td> <td>TRIOY TODD</td> <td>(239) 563-6070</td> </tr> <tr> <td>CENTURY LINK:</td> <td>JOE COCHRAN</td> <td>(239) 514-2020</td> </tr> <tr> <td>ESTERO FIRE RESCUE:</td> <td>LUIS NEGRON</td> <td>(239) 563-6211</td> </tr> <tr> <td></td> <td>SCOTT WANDERBROOK</td> <td>(239) 567-6227</td> </tr> </table> </li> <li>A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO DELIVERY OF MATERIALS AND INITIATION OF ANY WATER AND SEWER CONSTRUCTION. THE MEETING SHALL BE ATTENDED BY THE UTILITY, ANY CONTRACTOR SERVING THE PROJECT, THE APPROPRIATE AGENCY OR UTILITY COMPANY, THE CONTRACTOR, PAVING CONTRACTOR, ENGINEER AND OTHER INTERESTED PARTIES.</li> <li>THREE (3) OR MORE COPIES OF THE CURRENT APPROVED PRODUCT LIST AND ALL NECESSARY SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO SCHEDULING OF THE PRE-CONSTRUCTION MEETING.</li> <li>ALL MATERIALS SUPPLIED SHALL CONFORM TO PRODUCT LIST AND SHOP DRAWINGS AS APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. SUBSTITUTE MATERIALS SHALL NOT BE APPROVED AFTER DELIVERY TO THE JOB SITE. ALL REQUESTS FOR MATERIAL SUBSTITUTION SHALL BE APPROVED PRIOR TO DELIVERY OF THESE MATERIALS TO THE JOB SITE.</li> <li>ALL APPLICABLE PERMITS MUST BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION (FDEP, THE COUNTY, THE CITY, RIGHT-OF-WAY, BLASTING, DRIVEWAYS, ETC.).</li> <li>SEQUENCE OF CONSTRUCTION - UNLESS OTHERWISE NOTED, SEQUENCE OF CONSTRUCTION SHALL BE SUCH THAT ALL UNDERGROUND UTILITIES SHALL BE INSTALLED PRIOR TO ROADWAY CONSTRUCTION.</li> <li>ALL CONTRACTORS SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION PLANS ON-SITE.</li> <li>THE CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS FOR ALL EXISTING PUBLIC AND PRIVATE UTILITY FACILITIES.</li> <li>THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE APPROVED PLANS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTORS. APPROVAL OF DEVELOPMENT PLANS BY THE UTILITY IN NO WAY WELLS VERIFICATION OF THE ACCURACY OF THOSE PLANS OR FEATURES DEPICTED THEREIN. ANY DISCREPANCY OR VARIATION FROM THE APPROVED PLANS IS TO BE BROUGHT TO THE ATTENTION OF THE UTILITY BY THE ENGINEER AND CONTRACTORS.</li> <li>THE CONTRACTORS SHALL BE RESPONSIBLE AT ALL TIMES THROUGH THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTORS SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES NECESSARY TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.</li> <li>THE CONTRACTORS SHALL SCHEDULE INSPECTIONS AND TESTS WITH THE DEVELOPMENT SERVICES, THE CITY AND THE COUNTY, AS REQUIRED, A MINIMUM OF 48 HOURS IN ADVANCE AND NOTIFY ENGINEER 48 HOURS IN ADVANCE.</li> <li>NO CONNECTION TO, OR ANY OTHER CONSTRUCTION SHALL BE PERFORMED ON AN EXISTING UTILITY MAIN OR STRUCTURE WITHOUT THE PRESENCE OF A UTILITY INSPECTOR.</li> <li>FACILITIES PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS, THE UTILITY AND THE DEVELOPMENT SERVICES / BUILDING DEPARTMENT TECHNICAL STANDARDS AND SPECIFICATIONS. CONFLICTS BETWEEN THE APPROVED PLANS AND TECHNICAL STANDARDS SHALL BE CALLED TO THE ATTENTION OF THE UTILITY FOR RESOLUTION. DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED IN ADVANCE BY THE UTILITY.</li> <li>ANY DEVIATIONS FROM THE APPROVED PLANS MUST HAVE PRIOR WRITTEN APPROVAL FROM OWNER, ENGINEER AND APPROVING AGENCY.</li> <li>RECORD DRAWINGS - THE SURVEYOR SHALL PROVIDE A COMPLETE SET OF "AS-BUILT" INFORMATION RELATIVE TO LOCATION OF THE STORM INLETS AND SANITARY MANHOLES AS WELL AS INVERTS AND RIM ELEVATIONS, AND ANY OTHER CHANGES TO THE APPROVED PLANS.</li> <li>UPON COMPLETION OF CONSTRUCTION, A FINAL INSPECTION SHALL VERIFY PROPER ADHERENCE TO ALL FACILITIES OF THE PLANS AND SPECIFICATIONS.</li> <li>GUARANTEE - ALL MATERIAL AND EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTORS UNDER THEIR CONTRACT SHALL BE GUARANTEED FOR A PERIOD OF AT LEAST ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE THEREOF. AGAINST DEFECTIVE MATERIALS, DESIGN AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE OWNER OF FAILURE OF ANY PART OF THE GUARANTEED EQUIPMENT OR MATERIALS, DURING THE GUARANTEE PERIOD, THE AFFECTED PART, PARTS, OR MATERIALS SHALL BE REPLACED PROMPTLY WITH NEW PARTS OR MATERIALS BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER. IN THE EVENT THE CONTRACTOR FAILS TO MAKE THE NECESSARY REPLACEMENT OR REPAIRS WITHIN SEVEN DAYS AFTER NOTIFICATION BY THE OWNER, THE OWNER MAY ACCOMPLISH THE WORK AT THE EXPENSE OF THE CONTRACTOR.</li> <li>ANY WELLS DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE OWNER AND ENGINEER WITHIN 24 HOURS AFTER DISCOVERY IS MADE.</li> </ol>	ESTERO COMMUNITY DEVELOPMENT:	WALTER MCCARTHY	(239) 231-8206	LEE COUNTY UTILITIES:	TERRY KELLEY	(239) 234-1911	FLORIDA POWER & LIGHT:	TRIOY TODD	(239) 563-6070	CENTURY LINK:	JOE COCHRAN	(239) 514-2020	ESTERO FIRE RESCUE:	LUIS NEGRON	(239) 563-6211		SCOTT WANDERBROOK	(239) 567-6227
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5	<p><b>ZONING SUMMARY</b></p> <ol style="list-style-type: none"> <li>CURRENT ZONING: MPD</li> <li>ADJACENT ZONING: NORTH + MPD, SOUTH + CPD, EAST + ROW, WEST + MPD</li> </ol>
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6	<p><b>WATER MANAGEMENT INFORMATION</b></p> <p>WATER MANAGEMENT PERMIT: SPVMD ERP PERMIT No. 16-30327-P</p>
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7	<p><b>SITE DESIGN COORDINATION NOTES</b></p> <ol style="list-style-type: none"> <li>REFERENCE THE LANDSCAPE ARCHITECTS DESIGN, PLANS, DETAILS, AND SPECIFICATIONS FOR:       <ol style="list-style-type: none"> <li>ALL SITE SPECIALTY HARDSCAPE AREAS</li> <li>IRRIGATION MAINS, SERVICES AND APPURTENANCES (LINES SHOWN IN THIS PLAN ARE SCHEMATIC, AS A PLACE HOLDER)</li> <li>SITE WALLS AND STAIRS</li> <li>FOUNTAINS, POOLS, OR OTHER WATER FEATURES</li> <li>PLANTER AREAS</li> <li>DUMPSTER ENCLOSURES</li> <li>BIKE RACKS, BENCHES, AND ALL OTHER SITE FURNITURE</li> <li>BOLLARDS</li> </ol> </li> <li>REFERENCE THE MECHANICAL, ELECTRICAL AND PLUMBING (MEP) PLANS FOR DESIGN, DETAILS, AND SPECIFICATIONS FOR:       <ol style="list-style-type: none"> <li>CHILLED WATER LINES AND VALVE STRUCTURES</li> <li>TELECOMMUNICATIONS LINES (TELEPHONE AND DATA STRUCTURES)</li> <li>ELECTRICAL AND EMERGENCY POWER LINES AND EQUIPMENT</li> <li>GREASE TRAPS</li> </ol> </li> </ol> <p>NOTE: THESE LINES ARE SHOWN FOR CONSTRUCTION COORDINATION PURPOSES, AND SURVEY STAKE-OUT ONLY. CONTRACTOR SHALL VERIFY LOCATION, SIZE, AND MATERIALS PRIOR TO COMMENCING CONSTRUCTION.</p>
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8	<p><b>UNDERGROUND CONTRACTOR RESPONSIBILITY NOTES</b></p> <ol style="list-style-type: none"> <li>UNDERGROUND CONTRACTOR SHALL MINIMIZE THE WORK AREA AND WIDTH OF TRENCHES TO AVOID DISTURBANCE OF EXISTING VEGETATION. SIGNS FROM TRENCHES SHALL BE PLACED ONLY ON PREVIOUSLY CLEARED AREAS OR AS DIRECTED BY THE CONTRACTOR. UNDERGROUND CONTRACTOR SHALL NOT REMOVE AND/OR DISTURB ANY TREE AND/OR SHRUBS WITHOUT PRIOR APPROVAL BY OWNER.</li> <li>ALL UNDERGROUND UTILITIES AND INFRASTRUCTURE LOCATED BENEATH THE STABILIZED PORTION OF THE ROAD BED SHALL BE INSTALLED PRIOR TO COMPACTION OF THE SUBGRADE OR AS OTHERWISE DIRECTED BY OWNER. CAUTION: STORM DRAINAGE PIPES MAY BE EXTENDED INTO STABILIZED SUBGRADE AND/OR BASE. PAVING CONTRACTOR SHALL ADJUST STABILIZER MIXTURE TO PREVENT CONTACT AND DAMAGE TO PIPING.</li> <li>ALL CONDUITS UNDER PAVEMENT SHALL EXTEND 2' BEYOND THE BACK OF CURB AND/OR BACK OF SIDEWALK AT EACH END AND SHALL BE A MINIMUM OF 18" UNDER WATER MAINS AND FORCE MAINS.</li> </ol>
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9	<p><b>OWNER RESPONSIBILITY NOTES</b></p> <ol style="list-style-type: none"> <li>OWNER, ITS SUCCESSORS OR ASSIGNS, SHALL BE RESPONSIBLE FOR PERPETUAL MAINTENANCE OF ALL FEATURES OF THE SURFACE WATER MANAGEMENT SYSTEM AS OUTLINED BY THE DESIGN ENGINEER ON THESE DRAWINGS.</li> <li>THE PROPERTY OWNER IS RESPONSIBLE FOR THE REPLACEMENT OF ALL DEAD LANDSCAPE MATERIAL AND FOR THE MAINTENANCE OF THE REQUIRED IRRIGATION SYSTEM.</li> <li>OWNER'S SUCCESSORS OR ASSIGNS SHALL BE RESPONSIBLE FOR ANNUAL EXOTIC VEGETATION REMOVAL, AS DEFINED BY THE DEVELOPMENT SERVICES ORDINANCE UPON COMPLETION AND MAINTENANCE OF THE PROJECT.</li> <li>CONTRACTOR IS REQUIRED TO OBTAIN FROM THE ENGINEER WRITTEN APPROVAL FOR ANY DEVIATIONS FROM THE PLANS AND/OR SPECIFICATIONS.</li> <li>CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE COUNTY GROUNDWATER PROTECTION ORDINANCE.</li> <li>THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE APPROVED DEVELOPMENT PERMIT FROM SOUTH FLORIDA WATER MANAGEMENT DISTRICT AS REQUIRED.</li> <li>THE CONTRACTOR IS RESPONSIBLE FOR GETTING A BLASTING PERMIT, IF REQUIRED.</li> <li>THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FROM THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY. ADDITIONALLY, THE CONTRACTOR IS ALSO RESPONSIBLE FOR CREATING, IMPLEMENTING AND MAINTAINING A STORM WATER POLLUTION PREVENTION PLAN AS PER THE REQUIREMENTS OF THE NPDES GENERAL PERMIT.</li> <li>CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND USAGE OF THE EXISTING STREETS ADJACENT TO THE PROJECT. ALL TRAFFIC MAINTENANCE CONTROLS SHALL BE IN ACCORDANCE WITH A FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS.</li> <li>THE CONTRACTOR SHALL REPAIR AND REPLACE ALL AREAS DISTURBED BY CONSTRUCTION TO EXISTING CONDITIONS.</li> <li>CONTRACTOR SHALL PROVIDE 48 HOURS WRITTEN NOTICE TO THE ENGINEER, OWNER AND COUNTY PRIOR TO THE FOLLOWING:       <ol style="list-style-type: none"> <li>COMMENCEMENT</li> <li>CHANGES TO APPROVED SCHEDULES, SUBCONTRACTORS, OR RESIDENT SUPERINTENDENT</li> <li>GENERAL</li> </ol> </li> <li>CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DEVIATION IN PLAN INFORMATION SHALL BE REPORTED TO ENGINEER IMMEDIATELY.       <ol style="list-style-type: none"> <li>COMPACTION           <ol style="list-style-type: none"> <li>TRENCH DENSITY</li> <li>ROADWAY STRINGLINE</li> <li>PAVING (INCLUDING SIDEWALK AND CURBING)</li> <li>FINAL INSPECTIONS</li> </ol> </li> <li>OTHERS AS MAY BE REQUIRED BY OWNER, COUNTY AND ENGINEER</li> </ol> </li> <li>CONTRACTOR SHALL REFERENCE PLANS FOR ADDITIONAL SHOP DRAWINGS REQUESTS, PARTICULARLY FOR STRUCTURES REQUIRING SPECIAL DETAILS AND SPECIFICATIONS WHICH ARE TO BE PROVIDED BY A STRUCTURAL ENGINEER.</li> <li>CONTRACTOR SHALL RETAIN THE SERVICES OF A LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA TO STAKE-OUT THE LOCATION OF ALL PROPOSED WATER, AND SEWER LINES AND INFRASTRUCTURE SHOWN ON THESE DRAWINGS. THE SURVEYOR SHALL OBTAIN A COPY OF THE FINAL UTILITY DRAWINGS, IN CAD FORMAT, FROM THE ENGINEER AND PROVIDE THAT DOCUMENTATION TO THE SURVEYOR. THE DIMENSIONAL INFORMATION OBTAINED FROM THE CAD DRAWINGS SHALL BE USED IN DEVELOPING THE STAKE-OUT PLAN FOR UTILITIES.</li> <li>PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING (SUCH AS SILT FENCE) BEYOND THE BOUNDARIES OF RETAINED VEGETATION ALONG THE LIMITS OF CLEARING. THIS FENCE SHALL REMAIN ERECTED AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.</li> <li>ENTRANCE FEATURES, SITE WALLS AND FLAG POLE LOCATIONS AND CONFIGURATIONS ARE APPROPRIATE AND ARE SUBJECT TO CHANGE. CONTRACTOR SHALL REFERENCE LANDSCAPE ARCHITECTS OR ARCHITECTS PLANS FOR ENTRANCE FEATURES, SITE WALLS AND FLAG POLE LOCATIONS AND CONFIGURATIONS. IF THERE ARE ANY DISCREPANCIES BETWEEN LANDSCAPE ARCHITECTS PLANS AND SPECIFICATIONS AND ENGINEER'S PLANS, CONTRACTOR IS REQUIRED TO OBTAIN FROM ENGINEER WRITTEN APPROVAL FOR ANY DEVIATIONS. SHOW ON THE STAMPED APPROVED SITE DEVELOPMENT PLANS. CONTRACTOR SHALL APPLY SEPARATELY FOR THE APPROPRIATE BUILDING PERMITS, WHERE APPLICABLE, AS OUTLINED IN THE COUNTY BUILDING CODE AND LOC.</li> <li>CONTRACTOR SHALL REFERENCE ELECTRICAL ENGINEERS PLANS FOR STREET-SITE LIGHTING FINAL LOCATIONS, COLOR, MATERIALS, AND SPECIFICATIONS. IF THERE ARE ANY DISCREPANCIES BETWEEN LANDSCAPE ARCHITECTS PLANS AND SPECIFICATION AND ENGINEER'S PLANS, CONTRACTOR IS REQUIRED TO OBTAIN FROM ENGINEER WRITTEN APPROVAL FOR ANY DEVIATIONS. SHOW ON THE STAMPED APPROVED SITE DEVELOPMENT PLANS. CONTRACTOR SHALL APPLY SEPARATELY FOR THE APPROPRIATE BUILDING PERMITS, WHERE APPLICABLE, AS OUTLINED IN THE COUNTY BUILDING CODE AND LOC.</li> <li>ALL MATERIALS, DEBRIS, UNSUITABLE EARTH, ETC. OF NO SALVAGE VALUE SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR.</li> </ol>
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11	<p><b>ROADWAY AND PARKING LOT SIGNING AND MARKING NOTES</b></p> <ol style="list-style-type: none"> <li>ROADWAY SIGNAGE AND PAVEMENT MARKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FOOT DESIGN STANDARDS.</li> <li>ALL STOP BARS, IN ROADWAYS AND PARKING LOTS, SHALL BE THERMOPLASTIC. IF PARKING LOT PAVEMENT OCCURS IN TWO LIFTS, FIRST LIFT MAY BE PAINTED AT OWNER'S DISCRETION.</li> <li>PARKING STALL STRIPING MAY BE PAINT, OR THERMOPLASTIC, AT OWNER'S DISCRETION.</li> </ol>
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12	<p><b>FIRE PROTECTION NOTES</b></p> <ol style="list-style-type: none"> <li>ALL BACKFLOW PREVENTER ASSEMBLIES SHALL BE IN ACCORDANCE WITH 62-555.360, F.A.C., THE LCU DESIGN MANUAL, AND THE AWWA MANUAL M-14. PRACTICE FOR BACKFLOW PREVENTION AND CROSS-CONNECTION CONTROL. ALL WATER METERS SHALL CONFORM TO AWWA C700 OR NSF 61 STANDARDS.</li> <li>FIRE HYDRANTS SHALL BE IN ACCORDANCE WITH THE UTILITY STANDARDS OR NFPA REGULATIONS. LATEST EDITIONS SHALL BE USED. THE APPROVED FIRE HYDRANT SPECIFICATIONS AND INSTALLATION REQUIREMENTS. RAISED BOWL PAVEMENT REFLECTORS SHALL BE LOCATED AT THE CENTERLINE OF THE FINISHED TRAVEL LANE, PER THE FIRE DISTRICT, OPPOSITE EACH HYDRANT IN ACCORDANCE WITH FOOT SPECIFICATIONS.</li> <li>UNLESS OTHERWISE APPROVED, ALL FIRE HYDRANT CONNECTIONS, SERVICE CONNECTIONS TO THE CURB STOP AT THE METER, AND ALL JOINTS, CONFLICTS AND THRUST BLOCKS IN THE MAINS SHALL REMAIN UNCOVERED FOR VISUAL INSPECTION BY AN INSPECTOR FOR THE UTILITY OR ENGINEER. THE CONTRACTOR SHALL ONLY BACKFILL AFTER APPROVAL BY INSPECTION.</li> <li>IN ACCORDANCE WITH THE FIRE DISTRICT, DISTANCES BETWEEN INSTALLED FIRE HYDRANTS SHALL NOT EXCEED THOSE SHOWN IN THE APPROVED PLANS.</li> <li>FIRE HYDRANT SHALL BE MARKED IN A UNIFORM MANNER APPROVED BY THE FIRE DISTRICT.</li> <li>FIRE HYDRANTS SHALL BE INSTALLED WITHIN 5 FEET OF THE CURBLINE OF A FIRE LANE, STREET, OR PRIVATE STREET WHEN INSTALLED ALONG SUCH ACCESS WAYS.</li> <li>FIRE HYDRANT SHALL NOT BE OBSTRUCTED VISUALLY OR FUNCTIONALLY BY VEGETATION. A CLEARING OF 3 FEET TO EACH SIDE, REAR AND TO THE STREET SHALL BE MAINTAINED.</li> <li>FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH LATEST NFPA SECTION 14.1 REVISION STANDARDS AND THE FIRE DISTRICT LATEST HYDRANT SPECIFICATIONS AND INSTALLATION REQUIREMENTS.</li> <li>THE FIRE PROTECTION WATER SUPPLY, INCLUDING FIRE HYDRANTS, SHALL BE INSTALLED AND IN-SERVICE PRIOR TO PLACING COMBUSTIBLE BUILDING MATERIALS ON-SITE. CONTRACTOR MAY UTILIZE ALTERNATE METHODS (I.E. TANKS WITH FIRE PUMP), BUT SHALL OBTAIN APPROVAL FROM THE FIRE DISTRICT PRIOR TO IMPLEMENTATION.</li> </ol>
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15	<p><b>CERTIFICATION / SUBSTANTIAL COMPLIANCE NOTES:</b></p> <p>IN ACCORDANCE WITH UTILITY TECHNICAL STANDARDS MANUAL AND DEVELOPMENT SERVICES / BUILDING DEPARTMENT, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING REQUIRED ITEMS TO THE ENGINEER OF RECORD:</p> <ol style="list-style-type: none"> <li>TEST REPORTS BY CONTRACTOR:       <ol style="list-style-type: none"> <li>BACTERIOLOGICAL</li> <li>COMPACT FILL (FOR BUILDING PADS, PIPE BEDDING AND BACKFILL)</li> <li>STABILIZED SUBGRADE</li> <li>LIMEROCK BASE</li> <li>TRENCH</li> <li>ROADWAY CORE SAMPLES, EVERY 300 FT</li> <li>LIMEROCK BASE</li> <li>ASPHALT</li> <li>CONCRETE CYLINDER TESTING</li> </ol> </li> <li>TEST REPORTS BY CONTRACTOR:       <ol style="list-style-type: none"> <li>BACTERIOLOGICAL</li> <li>BACKFLOW DEVICE</li> <li>LEFT STATION STAKE-UP</li> <li>LIFT STATION ELECTRICAL SERVICE WIRING AND VOLTAGE DROP</li> <li>SEWER VIBES</li> </ol> </li> <li>AGENCY APPROVALS:       <ol style="list-style-type: none"> <li>FIRE DISTRICT</li> <li>FIRE CONSTRUCTION, IF APPLICABLE</li> <li>FIRE HYDRANT AND THRUST BLOCK INSPECTION, IF APPLICABLE</li> </ol> </li> <li>RECORD DRAWINGS:       <ol style="list-style-type: none"> <li>POTABLE WATER, IRRIGATION, AND WASTEWATER RECORD INFORMATION PROVIDED SHALL MEET THE REQUIREMENTS OF THE UTILITY AND DEVELOPMENT SERVICES / BUILDING DEPARTMENT TECHNICAL STANDARDS MANUAL, AND SHALL INCLUDE, BUT NOT BE LIMITED TO:           <ol style="list-style-type: none"> <li>LOCATIONS AND ELEVATIONS OF ALL PRESSURE PIPE LINES AT EVERY 200' ALONG PIPE LINE AND AT EACH PIPE ELBOW AND FITTING LOCATION.</li> <li>LOCATIONS OF ALL METER AND VALVE BOXES, AIR RELEASE VALVES, BLOW-OFFS, FIRE HYDRANTS AND BACKFILL SAMPLE POINTS, ETC.</li> <li>INVERTS, RIM ELEVATIONS AND LOCATIONS FOR ALL LIFT STATIONS.</li> <li>LOCATIONS FOR ALL LIFT STATION ELECTRICAL CONTROL PANELS AND TRANSFORMERS.</li> <li>INVERTS, PIPE SLOPES, RIM ELEVATIONS, RUN LENGTHS AND LOCATIONS FOR ALL MANHOLES.</li> <li>INVERTS (AT BOTH ENDS), PIPE SLOPES, RUN LENGTHS AND LOCATIONS FOR ALL SEWER MAIN STUB-OUTS.</li> <li>LOCATIONS OF SEWER LATERALS.</li> <li>INVERTS AND LOCATIONS FOR ALL CLEANOUTS</li> </ol> </li> <li>PAVING AND DRAINAGE:           <ol style="list-style-type: none"> <li>CENTERLINE ELEVATIONS AT ALL INTERSECTIONS AND AT A MINIMUM AT ALL PITS ALONG THE ROADWAY VERTICALLY.</li> <li>INVERT, GRATE AND INLET ELEVATIONS OF ALL WATER MANAGEMENT STRUCTURES, INCLUDING ALL CONTROL STRUCTURES, CATCH BASINS, JUNCTION BOXES, HEADWALLS, MITERED ENDS, AND INLET VIBES AND BLEED-OFF EMERGENCY AND ELEVATIONS SHALL BE INCLUDED FOR ALL CONTROL STRUCTURES.</li> <li>LOCATIONS FOR ALL CONTROL STRUCTURES SHALL BE INCLUDED FOR ALL CONTROL STRUCTURES.</li> </ol> </li> </ol> </li> <li>CONTRACTOR SHALL COORDINATE AND VERIFY PROCEDURES IN ACCOMMODATING REQUIRED RECORD DRAWING INFORMATION WITH ENGINEER AND SURVEYOR PRIOR TO CONSTRUCTION.</li> </ol>
----	--

16	<p><b>LEE COUNTY UTILITIES GENERAL NOTES</b></p> <ol style="list-style-type: none"> <li>ALL WORK SHALL CONFORM TO LATEST REVISION OF THE LCU DESIGN MANUAL, WHICH IS AVAILABLE ON OUR WEB-PAGE VIA THE FOLLOWING LINK: <a href="https://www.lcugeov.com/UTILITIESDESIGNMANUAL">HTTPS://WWW.LCUGEOV.COM/UTILITIESDESIGNMANUAL</a>.</li> <li>ALL REGULATORY AND PERMITTING AGENCIES' REQUIREMENTS SHALL BE COMPLIED WITH AS WELL.</li> <li>ANY QUANTITIES SHOWN ON PLANS ARE NOT VERIFIED BY LCU.</li> <li>THE INFORMATION PROVIDED IN THESE PLANS IS SOLELY TO ASSIST</li></ol>
----	--





**CLEARING NOTES**

SITE HAS BEEN PREVIOUSLY CLEARED AND PARTIALLY FILLED PER PARCEL 10 AT UNIVERSITY HIGHLAND PERMIT #DOS2016-E010

**FLUCCS NOTES**

1. THE ENTIRE PARCEL WAS PREVIOUSLY CLEARED, GRUBBED, AND FILLED IN ACCORDANCE WITH PRIOR FEDERAL AUTHORIZATION. THEREFORE, THE CURRENT LAND USE IS FLUCCS 149 - COMMERCIAL AND SERVICES UNDER CONSTRUCTION.

**PENINSULA ENGINEERING**

CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL CONSULTING - LAND PLANNING - SITE PLANNING - CONSTRUCTION MANAGEMENT - OWNER REPRESENTATIVE

2600 Golden Gate Parkway  
Naples, Florida 34105  
Phone: 239.403.6700 Fax: 239.261.1797  
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Florida Engineering Certificate of Authorization #232275  
Florida Landscape Certificate of Authorization #LC26000632

PROJECT:

# LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS

## AERIAL, CLEARING LIMITS AND FLUCCS MAP AND DEMOLITION PLAN

TITLE:

OWNER/CLIENT/CONSULTANT:

**SREG UNIVERSITY HIGHLANDS, LLC**

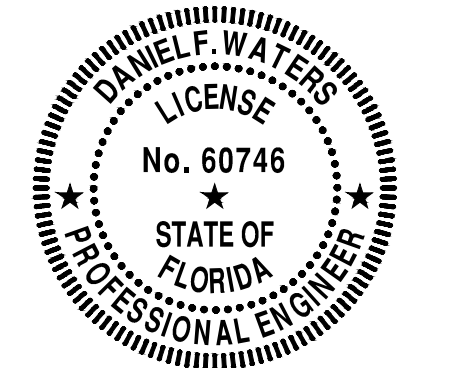
**REVISIONS:**

No.	Revision	Date
1	REVISED PER VILLAGE OF ESTERO COMMENTS DATED 04/20/21	04/20/21

**NOTES:**

PROFESSIONAL SEALS:

PROFESSIONAL ENGINEER: DANIEL F. WATERS, P.E.  
FLORIDA LICENSE NUMBER: 60746



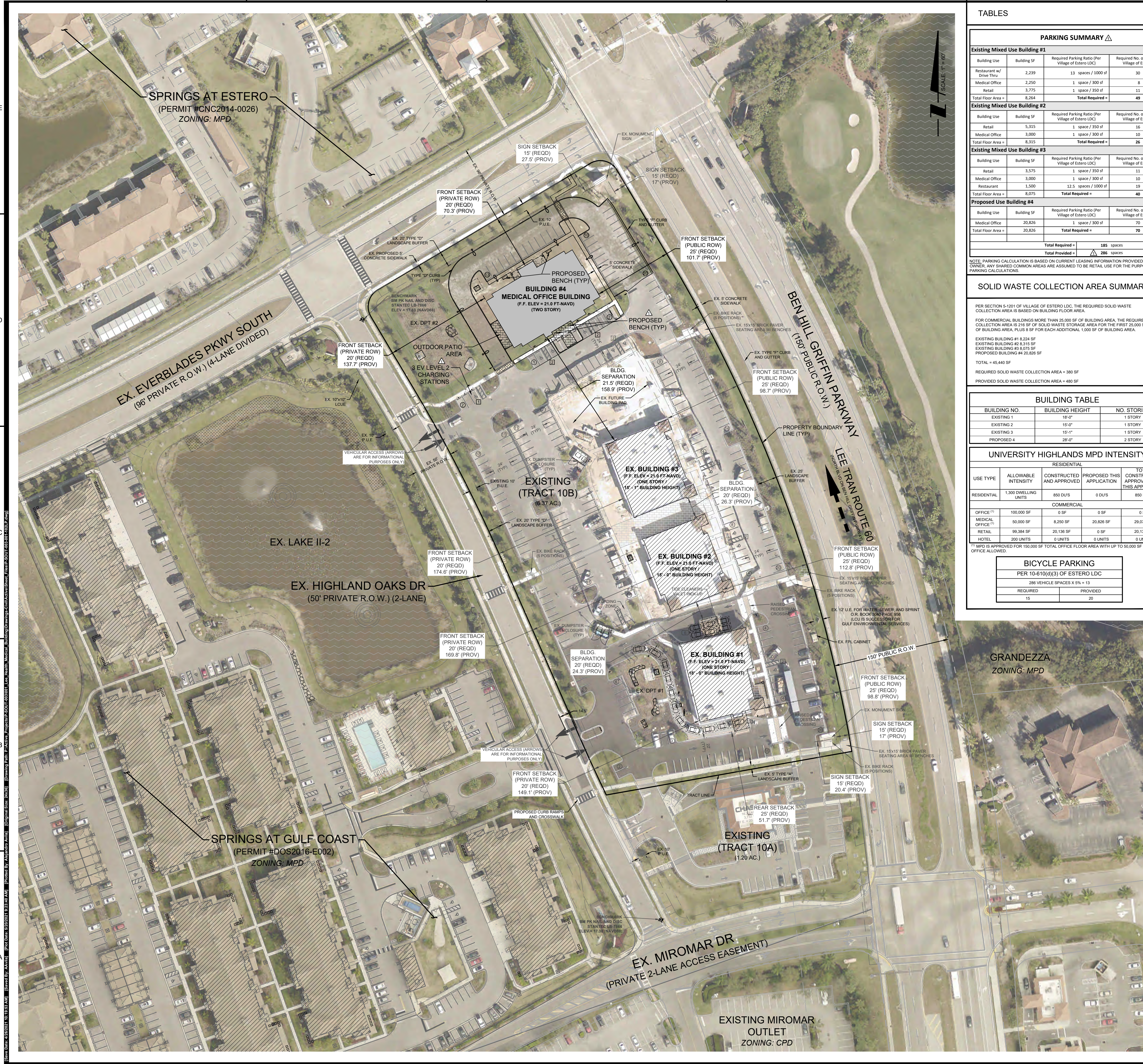
DATUM NOTE:  
ALL ELEVATIONS ARE BASED ON NAVD 88 (NORTH AMERICAN VERTICAL DATUM OF 1988).

Bar Scale: 1" = 60'

SEC: 25 TWP: 46S RGE: 25E  
City: ESTERO County: LEE  
Designed by: ALEJANDRO AVILA  
Drawn by: ALEJANDRO AVILA  
Date: MARCH 2021  
Horizontal Scale: 1" = 60'  
Vertical Scale: N.T.S.  
Project Number: P-SOUT-003-001  
File Number: P-SOUT-003-001-101PL  
Sheet Number: 03 of 15

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 Date: 4/20/21 10:33:31 AM  
 Drawn By: AAV  
 Checked By: JAW  
 PLOT DATE: 4/20/21 12:27:41 PM  
 Project: P-SOUT-003-001-101PL  
 Drawing: 03 of 15  
 User: daniel.f.waters@pen-eng.com  
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**TABLES**

**PARKING SUMMARY**

Existing Mixed Use Building #1	Building SF	Required Parking Ratio (Per Village of Estero LDC)	Required No. of Spaces (Per Village of Estero LDC)
Restaurant w/ Drive Thru	2,239	13 spaces / 1000 sf	30 spaces
Medical Office	2,250	1 space / 300 sf	8 spaces
Retail	3,775	1 space / 350 sf	11 spaces
<b>Total Floor Area =</b>	<b>8,264</b>	<b>Total Required =</b>	<b>49 spaces</b>

**Existing Mixed Use Building #2**

Building Use	Building SF	Required Parking Ratio (Per Village of Estero LDC)	Required No. of Spaces (Per Village of Estero LDC)
Retail	5,315	1 space / 350 sf	16 spaces
Medical Office	3,000	1 space / 300 sf	10 spaces
<b>Total Floor Area =</b>	<b>8,315</b>	<b>Total Required =</b>	<b>26 spaces</b>

**Existing Mixed Use Building #3**

Building Use	Building SF	Required Parking Ratio (Per Village of Estero LDC)	Required No. of Spaces (Per Village of Estero LDC)
Retail	3,575	1 space / 350 sf	11 spaces
Medical Office	3,000	1 space / 300 sf	10 spaces
Restaurant	1,500	12.5 spaces / 1000 sf	19 spaces
<b>Total Floor Area =</b>	<b>8,075</b>	<b>Total Required =</b>	<b>40 spaces</b>

**Proposed Use Building #4**

Building Use	Building SF	Required Parking Ratio (Per Village of Estero LDC)	Required No. of Spaces (Per Village of Estero LDC)
Medical Office	20,826	1 space / 300 sf	70 spaces
Retail	20,826	1 space / 300 sf	70 spaces
<b>Total Floor Area =</b>	<b>41,652</b>	<b>Total Required =</b>	<b>140 spaces</b>

**Total Required = 185 spaces**

**Total Provided = 286 spaces**

NOTE: PARKING CALCULATION IS BASED ON CURRENT LEASING INFORMATION PROVIDED BY THE OWNER. ANY SHARED COMMON AREAS ARE ASSUMED TO BE RETAIL USE FOR THE PURPOSE OF PARKING CALCULATIONS.

**SOLID WASTE COLLECTION AREA SUMMARY**

PER SECTION 5-100 OF VILLAGE OF ESTERO LDC, THE REQUIRED SOLID WASTE COLLECTION AREA IS BASED ON BUILDING FLOOR AREA.

FOR COMMERCIAL BUILDINGS MORE THAN 25,000 SF OF BUILDING AREA, THE REQUIRED COLLECTION AREA IS 216 SF OF SOLID WASTE STORAGE AREA FOR THE FIRST 25,000 SF OF BUILDING AREA, PLUS 8 SF FOR EACH ADDITIONAL 1,000 SF OF BUILDING AREA.

EXISTING BUILDING #1 8,224 SF  
 EXISTING BUILDING #2 8,315 SF  
 EXISTING BUILDING #3 8,075 SF  
 PROPOSED BUILDING #4 41,652 SF  
**TOTAL = 66,266 SF**

REQUIRED SOLID WASTE COLLECTION AREA = 380 SF  
 PROVIDED SOLID WASTE COLLECTION AREA = 480 SF

**BUILDING TABLE**

BUILDING NO.	BUILDING HEIGHT	NO. STORIES
EXISTING 1	19'-0"	1 STORY
EXISTING 2	19'-0"	1 STORY
EXISTING 3	19'-1"	1 STORY
PROPOSED 4	28'-0"	2 STORY

**UNIVERSITY HIGHLANDS MPD INTENSITY**

USE TYPE	ALLOWABLE INTENSITY	CONSTRUCTED AND APPROVED	PROPOSED THIS APPLICATION	TOTAL CONSTRUCTED, APPROVED, AND THIS APPLICATION
RESIDENTIAL	1,300 DWELLING UNITS	850 DUS	0 DUS	850 DUS
OFFICE	100,000 SF	0 SF	0 SF	0 SF
MEDICAL OFFICE	50,000 SF	8,250 SF	20,826 SF	29,076 SF
RETAIL	99,384 SF	20,136 SF	0 SF	20,136 SF
HOTEL	200 UNITS	0 UNITS	0 UNITS	0 UNITS

MPD IS APPROVED FOR 150,000 SF TOTAL FLOOR AREA WITH UP TO 50,000 SF MEDICAL OFFICE ALLOWED.

**BICYCLE PARKING**

PER 10-610(d)(3) OF ESTERO LDC

REQUIRED	PROVIDED
15	20

**WATER MANAGEMENT SUMMARY\***

WATER MANAGEMENT PARAMETER	DRAINAGE AREA DA-7
CONTROL ELEVATION (FT NAVD)	15.0
5-YEAR, 1-DAY RAINFALL (INCHES)	5.2
25-YEAR, 3-DAY RAINFALL (INCHES)	10.2
100-YEAR, 3-DAY RAINFALL (INCHES)	14.2
PEAK 5-YEAR, 1-DAY STORM STAGE (FT NAVD)	17.3
PEAK 25-YEAR, 3-DAY STORM STAGE (FT NAVD)	19.9
PEAK 100-YEAR, 3-DAY ZERO DISCHARGE STORM STAGE (FT NAVD)	19.9
FEMA ELEVATION (FT NAVD)	N/A
MINIMUM REQUIRED ROAD ELEVATION (FT NAVD)	18.9
MINIMUM REQUIRED FINISHED FLOOR ELEVATION (FT NAVD)	21.0
MINIMUM PERMETER BERM ELEVATION 25-YEAR, 3-DAY PEAK STAGE (FT NAVD)	18.9

\*PER SWP BRW NO. 36-01871-S-09 AND 36-10372-P

**SITE AREA SUMMARY (TRACT 10B)**

LOCATION	CATEGORY	SQUARE FOOTAGE	ACREAGE	PERCENTAGE OF TOTAL
IMPERVIOUS	ROOF	36,408	0.84	13.1%
	SIDEWALK / PATHS	19,509	0.45	7.0%
	PAVEMENTS / CURB	122,740	2.82	44.2%
<b>IMPERVIOUS (SUB-TOTAL)</b>		<b>178,657</b>	<b>4.10</b>	<b>64.4%</b>
PERVIOUS	OPEN SPACE	65,681	1.87	30.9%
	DETENTION AREA	13,251	0.30	4.8%
<b>PERVIOUS (SUB-TOTAL)</b>		<b>98,932</b>	<b>2.27</b>	<b>35.6%</b>
<b>TOTAL</b>		<b>277,589</b>	<b>6.37</b>	<b>100.0%</b>

**LEGEND**

- REGULAR PARKING
- ACCESSIBLE PARKING
- LOADING SPACE
- DRIVE THRU STACKING (STARBUCKS)
- DRIVE THRU STACKING (TIDE CLEANERS)

**DRIVE THRU STACKING REQUIREMENTS**

STARBUCKS: PER 34-2021(d) OF ESTERO LDC

10 VEHICLE PER SERVING LANE, MINIMUM OF 5 SPACES PRECEDING THE MENU BOARD

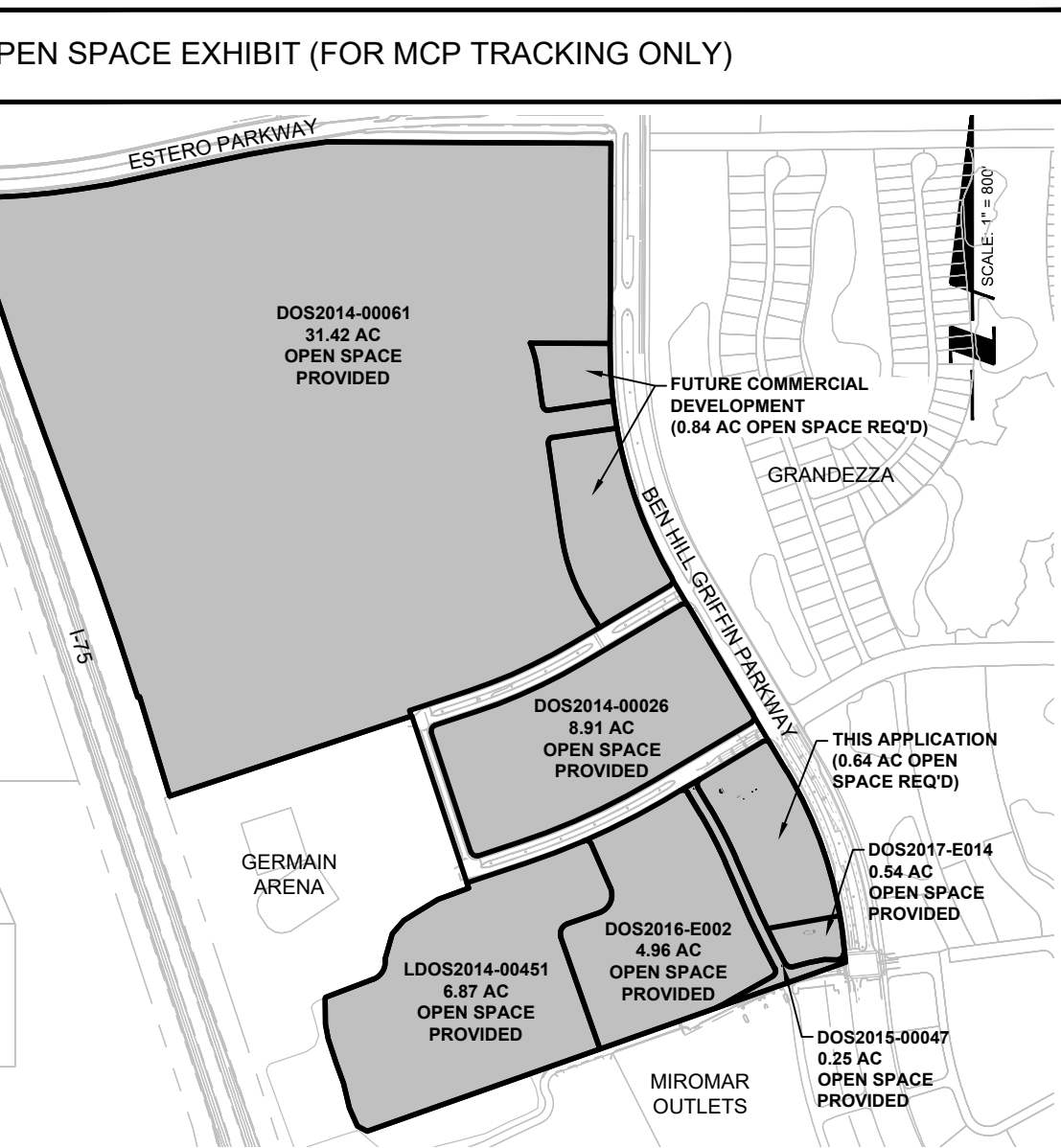
TIDE: PER 34-2021(e) OF ESTERO LDC

REQUIRED	PROVIDED
5	6

**DEVELOPMENT STANDARDS TABLE BUILDING #4 (1)**

DEVELOPMENT STANDARD (UNIVERSITY HIGHLAND MPD / DRI)	COMMERCIAL (IN AREA 2) REQ'D	MINIMUM PROVIDED (MIN)
MIN. LOT AREA (SF)	10,000 SF	277,589 SF
MIN. LOT DEPTH	100	367.1
MIN. LOT WIDTH	100	769.6
SIDE SETBACK	10.0'	N/A
REAR SETBACK	25.0'	70.3
FRONT SETBACK (EVERBLADES PKWY SOUTH PRIVATE ROW)	20.0'	137.7
FRONT SETBACK (HIGHLAND OAKS DRIVE PRIVATE ROW)	20.0'	101.7
FRONT SETBACK (BEN HILL GRIFFIN PARKWAY PUBLIC ROW)	25.0'	N/A
WATER BODY SETBACK	25.0'	28.7
MAX. BUILDING HEIGHT	45.0'	158.9'
BUILDING SEPARATION (1)	21.0'	

(1) SEE APPROVED PLANS FOR DOS2018-E004 FOR DEVELOPMENT STANDARDS FOR BUILDING 1-3.  
 (2) PER VILLAGE OF ESTERO LDC SECTION 34-935(a)(4). (BASED ON A PROPOSED HEIGHT OF BUILDING 4 OF 28'-0" AND A HEIGHT OF 10'-0" FOR EXISTING BUILDING 3).



**REQUIRED OPEN SPACE:**

DEVELOPMENT AREAS #1 AND #2 = 208.4 ACRES  
 PER 2-10-031 CONDITION #7D - 51.5 ACRES OF GENERAL OPEN SPACE IS REQUIRED TO BE PROVIDED.

NOTE: UP TO 25% (OR 12.87 ACRES) OF THIS REQUIREMENT MAY BE CLAIMED FROM THE LAKES

PER DOS2014-00026 - 8.91 AC. OPEN SPACE PROVIDED (INCLUDES 2 AC. OF LAKE)  
 PER DOS2014-00061 - 30.58 AC. OF OPEN SPACE PROVIDED RESIDENTIAL TRACTS (INCLUDES 4 AC. OF LAKE)  
 PER DOS2014-00081 - 0.84 AC. OF OPEN SPACE SHALL BE PROVIDED IN FUTURE COMMERCIAL TRACT D.O. (PARCEL 6 & 7)  
 PER LDO2014-00451 - 6.87 AC. OF OPEN SPACE PROVIDED (INCLUDES 6.7 AC OF LAKE)  
 PER DOS2015-00047 - 0.25 AC. OF OPEN SPACE PROVIDED (REMOVES OUTSIDE ROW)  
 PER DOS2016-E002 - 4.96 AC. OPEN SPACE PROVIDED  
 PER DOS2017-E014 - 0.54 AC. OPEN SPACE PROVIDED  
 PARCEL 10B (PER DOS2018-E004 AND THIS DO APPLICATION) - 1.91 AC. OPEN SPACE PROVIDED (0.64 AC REQUIRED)  
 54.71 AC OPEN SPACE PROVIDED (INCLUDING FUTURE)

**PENINSULA ENGINEERING**  
 CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE - ENVIRONMENTAL CONSULTING - LAND PLANNING - SITE PLANNING - CONSTRUCTION MANAGEMENT - OWNER REPRESENTATIVE

3600 Golden Gate Parkway  
 Naples, Florida 34105  
 Phone: 239.403.6700 Fax: 239.261.1797  
 Email: info@peneng.com Website: www.peneng.com  
 Florida Certificate of Authorization #28275

**PROJECT:**

**LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS**

**TITLE:**

**ZONING DATA SHEET AND TABLES**

**OWNER/CLIENT/CONSULTANT:**

**SREG UNIVERSITY HIGHLANDS, LLC**

**REVISIONS:**

No.	Revision	Date
1	REVISED PER VILLAGE OF ESTERO COMMENTS DATED 04/20/21	04/20/21

**PROFESSIONAL SEALS:**

PROFESSIONAL ENGINEER: DANIEL F. WATERS, P.E.  
 FLORIDA LICENSE NUMBER: 60746

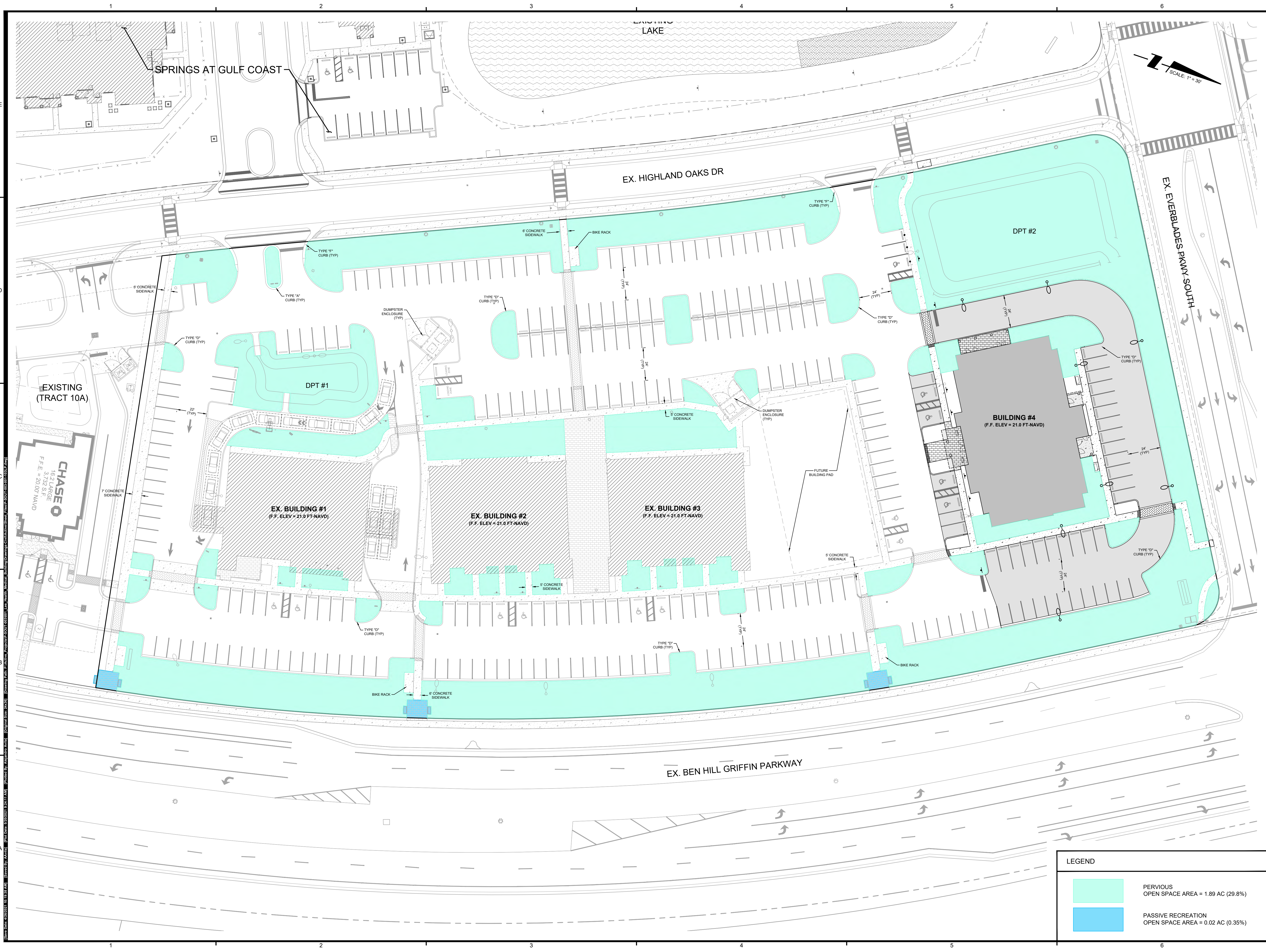
**DANIEL F. WATERS**  
 LICENSE No. 60746  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER

**DATUM NOTE:**  
 ALL ELEVATIONS ARE BASED ON NAVD 88 (NORTH AMERICAN VERTICAL DATUM OF 1988).

Bar Scale: 1" = 60'  
 0 10 20 30 40 50 60 70 80 90 100 120 150

SEC. 25 TWP. 46S RGE. 25E  
 City: ESTERO County: LEE  
 Designed by: ALEJANDRO AVILA  
 Drawn by: ALEJANDRO AVILA  
 Date: MARCH 2021  
 Horizontal Scale: 1" = 60'  
 Vertical Scale: N.T.S.  
 Project Number: P-SOUT-003-001  
 File Number: P-SOUT-003-001-102LP  
 Sheet Number: C-102 04 of 15





**LEE HEALTH  
 MEDICAL  
 BUILDING AT  
 UNIVERSITY  
 HIGHLANDS**

TITLE:  
**OPEN SPACE EXHIBIT**

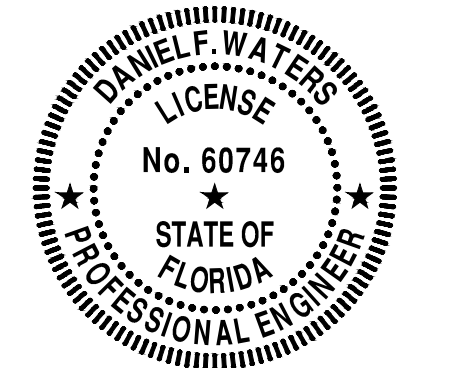
OWNER/CLIENT/CONSULTANT:  
**SREG UNIVERSITY  
 HIGHLANDS, LLC**

REVISIONS:

No.	Revision	Date

NOTES:

PROFESSIONAL SEALS:  
 PROFESSIONAL ENGINEER: DANIEL F. WATERS, P.E.  
 FLORIDA LICENSE NUMBER: 60746



DATUM NOTE:  
 ALL ELEVATIONS ARE BASED ON NAVD 88  
 (NORTH AMERICAN VERTICAL DATUM OF 1988)

Bar Scale: 1" = 30'

SEC: 25	TWP: 46S	RGE: 25E
City: ESTERO	County: LEE	
Designed by: ALEJANDRO AVILA		
Drawn by: ALEJANDRO AVILA		
Date: MARCH 2021		
Horizontal Scale: 1" = 30'		
Vertical Scale: N.T.S.		
Project Number: P-SOUT-003-001		
File Number: P-SOUT-003-001-103LP		
<b>C-103</b>		
Sheet Number: 05	of	15

**LEGEND**

	PERVIOUS OPEN SPACE AREA = 1.89 AC (29.8%)
	PASSIVE RECREATION OPEN SPACE AREA = 0.02 AC (0.35%)

10/13/2021 10:39:31 AM [Saved By: AAV] [Plot Date: 2/22/2021 12:21:14 PM] [Plot User: AAV] [Plot Path: \\server\projects\2021\Lee Health Medical Building\Drawings\Site\Open Space Exhibit\Sheet\05.dwg] [Plot Scale: 1"=30'] [Plot Orientation: Landscape] [Plot Color: Black] [Plot Lineweight: 0.20] [Plot Linetype: Solid] [Plot Font: Arial] [Plot Size: 11x17] [Plot Units: Feet] [Plot Precision: 2] [Plot Decimals: 2] [Plot Angle: 0] [Plot Rotate: 0] [Plot Offset: 0] [Plot Border: On] [Plot Title: LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS] [Plot Project: P-SOUT-003-001] [Plot Client: SREG UNIVERSITY HIGHLANDS, LLC] [Plot Designer: ALEJANDRO AVILA] [Plot Drawn: ALEJANDRO AVILA] [Plot Date: MARCH 2021] [Plot Horizontal Scale: 1"=30'] [Plot Vertical Scale: N.T.S.] [Plot Project Number: P-SOUT-003-001] [Plot File Number: P-SOUT-003-001-103LP] [Plot Sheet Number: 05 of 15]









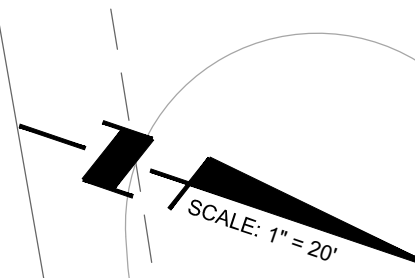
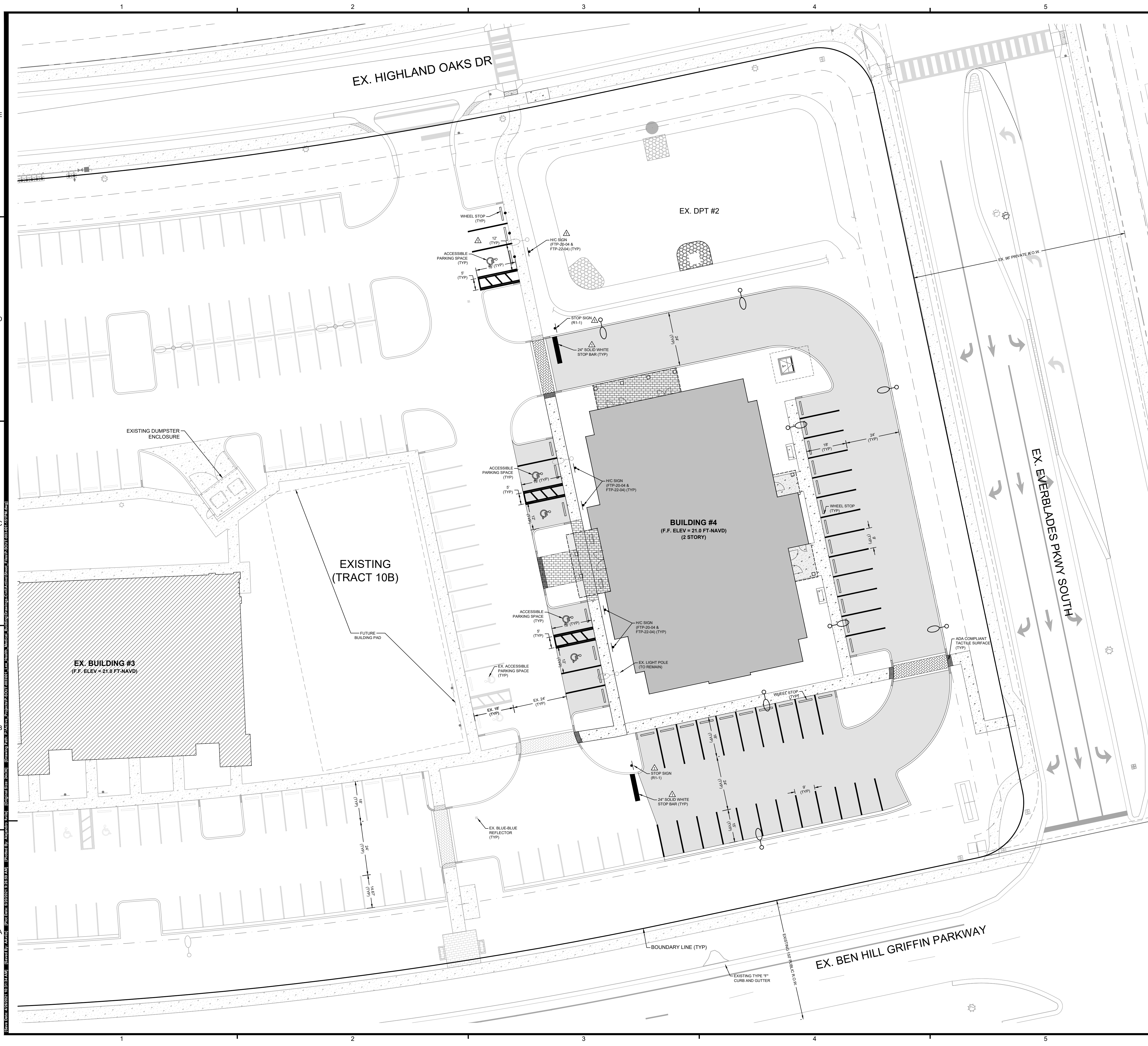












**LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS**

**SIGNING AND MARKING PLAN**

OWNER/CLIENT/CONSULTANT:  
**SREG UNIVERSITY HIGHLANDS, LLC**

REVISIONS:

No.	Revision	Date
1	REVISED PER VILLAGE OF ESTERO COMMENTS DATED 04/08/21	04/20/21

NOTES:

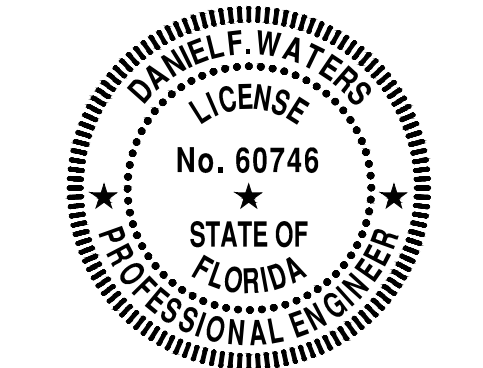
**SIGN LEGEND**

30"x30" SINGLE LANE ROAD	PARKING BY DISABLED PERMIT ONLY	VAN ACCESSIBLE
	FTP - 20 - 04	FTP - 22 - 04
	A MINIMUM OF ONE "VAN ACCESSIBLE" SIGN SHALL BE POSTED PER SITE.	
	<b>DISABLED PARKING SIGNS</b>	

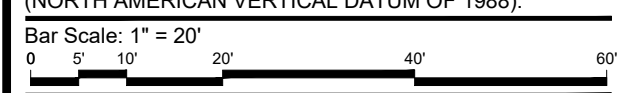
**ROADWAY AND PARKING LOT SIGNING AND MARKING NOTES**

- ROADWAY SIGNAGE AND PAVEMENT MARKINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND FDOT DESIGN STANDARDS.
- ALL STOP BARS, IN ROADWAYS AND PARKING LOTS, SHALL BE THERMOPLASTIC. IF PARKING LOT PAVEMENT OCCURS IN TWO LIFTS, FIRST LIFT MAY BE PAINTED AT OWNER'S DISCRETION.
- PARKING STALL STRIPING MAY BE PAINT, OR THERMOPLASTIC, AT OWNER'S DISCRETION.
- ALL SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE F.D.O.T. STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION, THE F.D.O.T. DESIGN STANDARDS INDEX, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND ALL APPLICABLE LOCAL STANDARDS. UTILIZATION OF THE 2009 M.U.T.C.D. SHALL BE IN ACCORDANCE WITH F.D.O.T. POLICY.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL COMPLY WITH THE LATEST EDITIONS OF THE "STATE OF FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS" AND WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND WITH ALL OTHER GOVERNING SAFETY REGULATIONS.
- PAVEMENT MARKINGS SHALL BE PERMANENT REFLECTIVE TRAFFIC PAINT WITH GLASS BEADS IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS SECTION 710 UNLESS NOTED OTHERWISE.
- MATCH EXISTING PAVEMENT MARKINGS AT EXISTING ROADS. ALL EXISTING PAVEMENT MARKERS THAT ARE IN CONFLICT WITH PROPOSED MARKINGS SHALL BE REMOVED BY HYDRO-BLASTING. EXISTING SIGNS SHALL REMAIN UNLESS NOTED OTHERWISE.
- ALL STOP SIGN LOCATIONS SHALL INCLUDE A 3" PAINTED WHITE STOP BAR, AS AN ALTERNATIVE, ROADS WITH PAVED BRICK SURFACES MAY UTILIZE CONTRASTING COLOR PAVERS IN LIEU OF PAINT.
- THE CONTRACTOR SHALL FURNISH AND INSTALL STREET NAME SIGNS IN ACCORDANCE WITH LOCAL DEVELOPMENT STANDARDS. IF POSSIBLE, STREET NAME SIGNAGE TO BE ATOP ALL STOP SIGNS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL BLUE/BLUE REFLECTIVE PAVEMENT MARKERS AT THE CENTER OF THE TRAFFIC LANE NEAREST ALL PROPOSED FIRE HYDRANTS.
- ALL ROADWAY SIGNING AND PAVEMENT MARKINGS, STREET NAME SIGNS, ETC. (EXCLUDING PROJECT IDENTIFICATION SIGNING) ARE TO BE INCLUDED IN THE LUMP SUM PRICE FOR SIGNING AND MARKING UNLESS A DETAILED BID QUANTITY BREAKDOWN IS PROVIDED.
- ANY EXISTING SIGN TO REMAIN THAT IS RELOCATED OR DISTURBED DURING CONSTRUCTION SHALL BE RESET TO CURRENT F.D.O.T. STANDARD INDEXES 1180 AND 1202 FOR HEIGHT, OFFSET AND METHOD OF INSTALLATION. ANY SIGNS DAMAGED BY CONTRACTOR SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- ALL SIGNS THAT ARE EMBEDDED IN CONCRETE OR ASPHALT SHALL BE INSTALLED IN A F.D.O.T. APPROVED PIPE SLEEVE.

PROFESSIONAL SEALS:  
 PROFESSIONAL ENGINEER: DANIEL F. WATERS, P.E.  
 FLORIDA LICENSE NUMBER: 60746



DATUM NOTE:  
 ALL ELEVATIONS ARE BASED ON NAVD 88 (NORTH AMERICAN VERTICAL DATUM OF 1988).



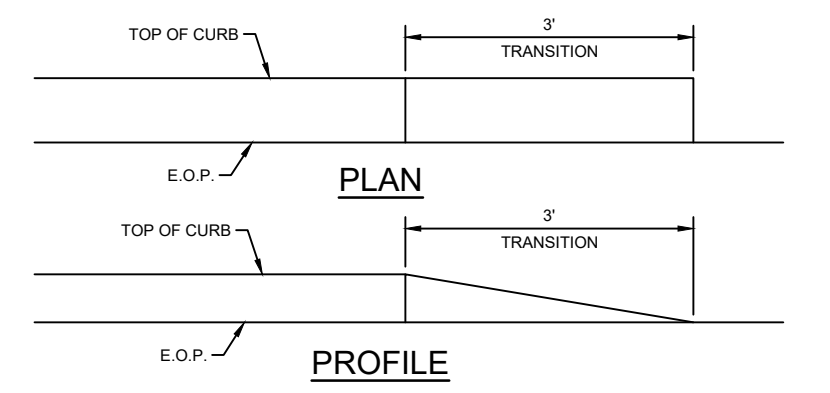
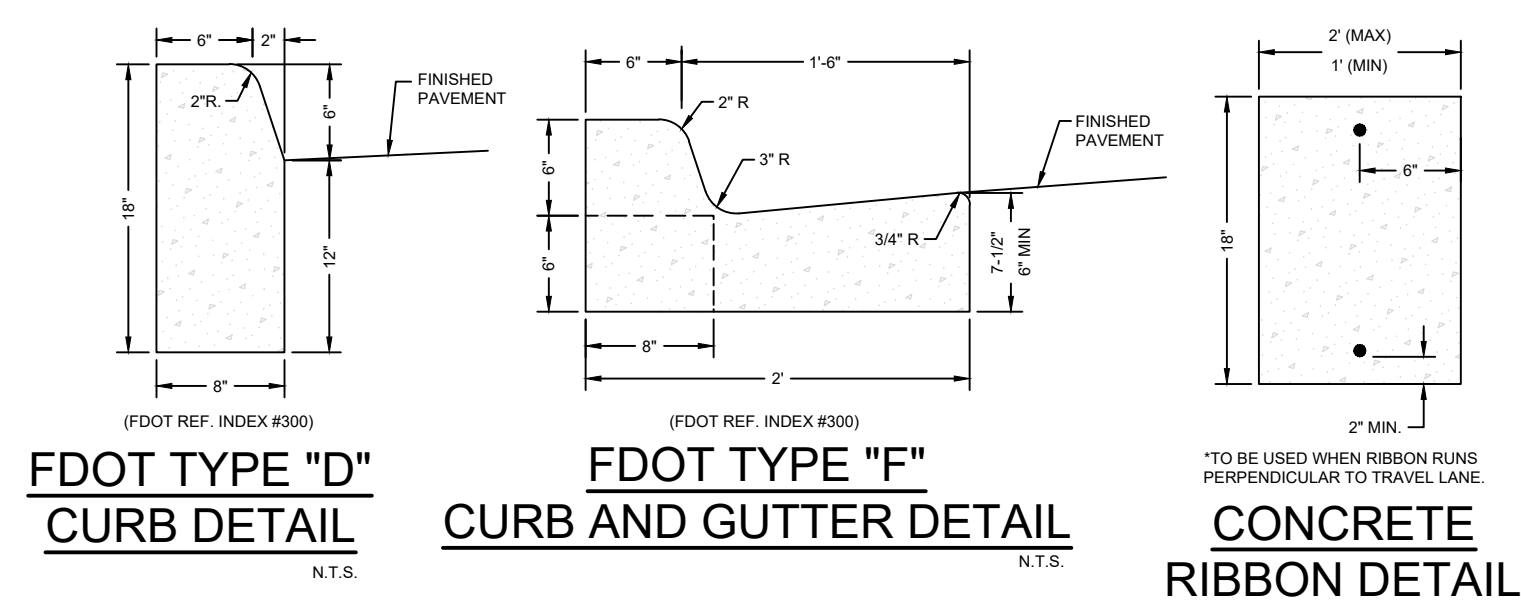
SEC: 25 TWP: 46S RGE: 25E  
 City: ESTERO County: LEE  
 Designed by: ALEJANDRO AVILA  
 Drawn by: ALEJANDRO AVILA  
 Date: MARCH 2021  
 Horizontal Scale: 1" = 20'  
 Vertical Scale: N.T.S.  
 Project Number: P-SOUT-003-001  
 File Number: P-SOUT-003-001-151PM  
**C-151**  
 Sheet Number: 10 of 15



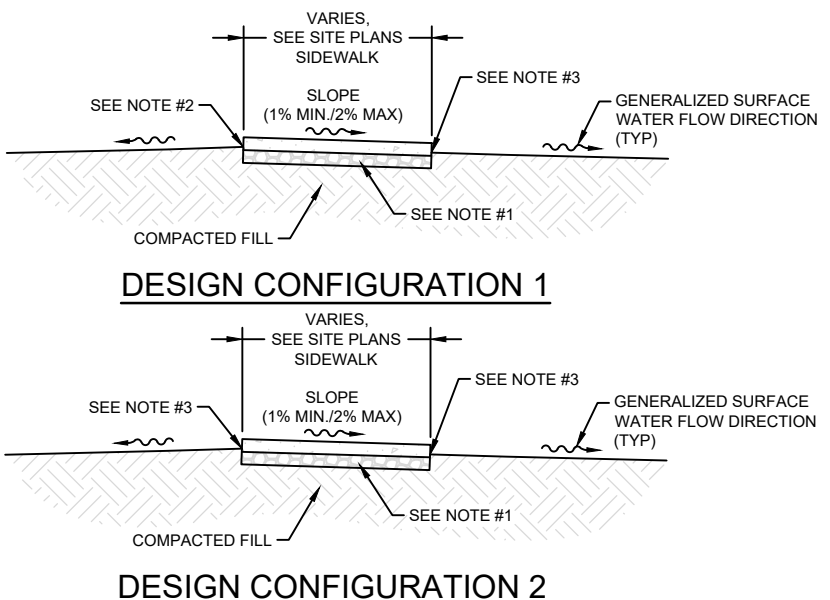


**CURB NOTES**

- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 P.S.I. IN 28 DAYS UNLESS OTHERWISE NOTED.
- AN EXPANSION JOINT WILL BE PLACED AT THE END OF ALL RETURNS AT INTERVALS NOT TO EXCEED 50' WITH CONTRACTION JOINTS AT 10' INTERVALS BETWEEN.
- EXPANSION JOINT, PREFORMED JOINT FILLER AND JOINT SEAL ARE REQUIRED BETWEEN CURBS AND CONCRETE PAVEMENT ONLY.
- EXPANSION JOINTS SHALL BE CONSTRUCTED WITH 1/2" BITUMINOUS IMPREGNATED EXPANSION JOINT MATERIAL.
- THE FOLLOWING NOTE IS APPLICABLE FOR CURB TYPES "A", "E", AND "F". WHEN USED ON THE HIGH SIDE OF THE ROADWAYS THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT. THE THICKNESS OF THE FACE WILL BE LESS.

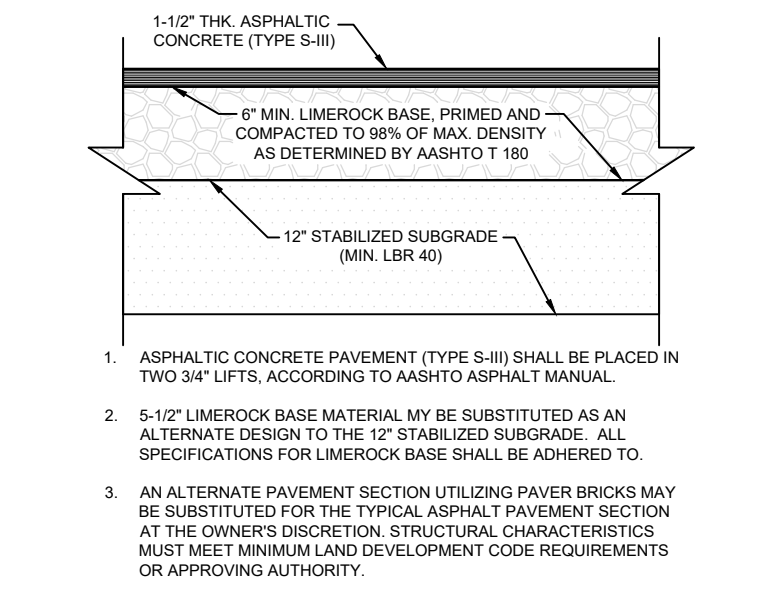


**3' TYPE "D" DROP CURB TRANSITION DETAIL**  
N.T.S.



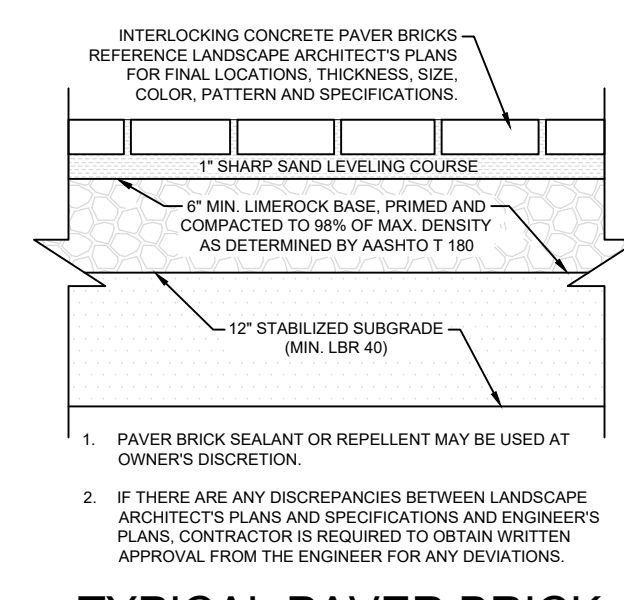
- REFERENCE TYPICAL CONCRETE SIDEWALK SECTION DETAIL FOR SIDEWALK DESIGN SPECIFICATIONS.
- CONTRACTOR SHALL SET ROUGH GRADE A MINIMUM OF 1" BELOW FINISHED SIDEWALK ELEVATION TO ACCOMMODATE LANDSCAPE SOD PLACEMENT. IF AREA IS TO BE SEED, THEN CONTRACTOR SHALL SET ROUGH GRADE FLUSH WITH FINISHED SIDEWALK ELEVATION TO ACCOMMODATE POSITIVE DRAINAGE FLOW.
- CONTRACTOR SHALL SET ROUGH GRADE A MINIMUM OF 3" BELOW FINISHED SIDEWALK ELEVATION TO ACCOMMODATE LANDSCAPE SOD PLACEMENT. IF AREA IS TO BE SEED, THEN CONTRACTOR SHALL SET ROUGH GRADE AT A 1/2" MIN./1" MAX. BELOW FINISHED SIDEWALK ELEVATION TO ACCOMMODATE POSITIVE DRAINAGE FLOW.

**TYPICAL EDGE OF SIDEWALK SECTION DETAILS**  
N.T.S.



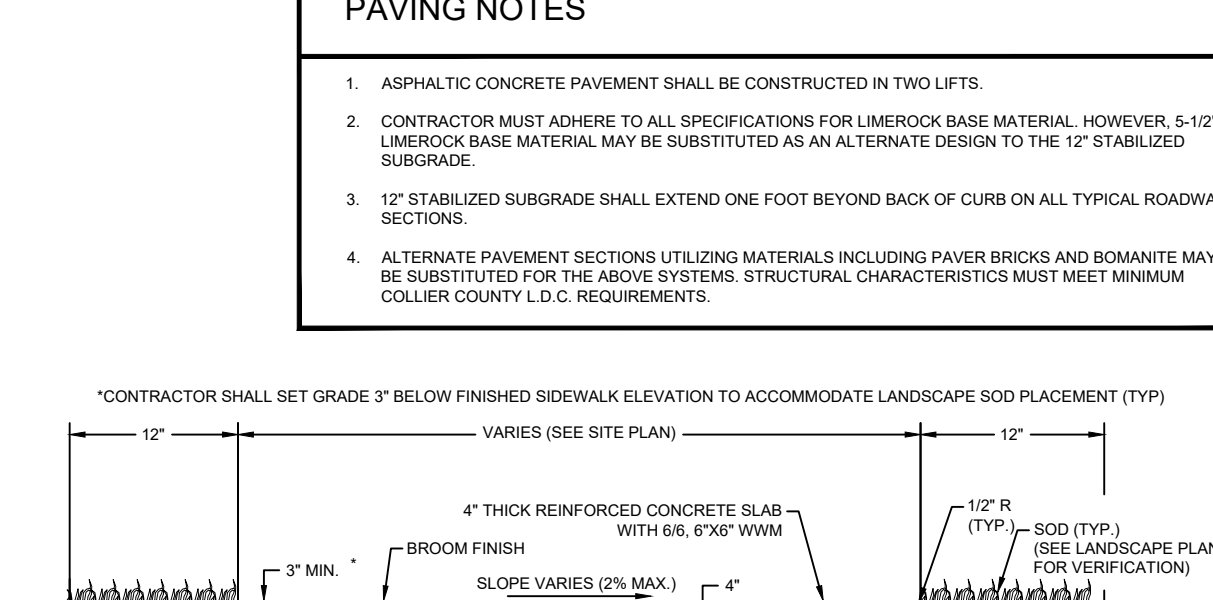
- ASPHALTIC CONCRETE PAVEMENT (TYPE S-8) SHALL BE PLACED IN TWO 3/4" LIFTS, ACCORDING TO AASHTO ASPHALT MANUAL.
- 5-1/2" LIMEROCK BASE MATERIAL MAY BE SUBSTITUTED AS AN ALTERNATE DESIGN TO THE 12" STABILIZED SUBGRADE. ALL SPECIFICATIONS FOR LIMEROCK BASE SHALL BE ADHERED TO.
- AN ALTERNATE PAVEMENT SECTION UTILIZING PAVER BRICKS MAY BE SUBSTITUTED FOR THE TYPICAL ASPHALT PAVEMENT SECTION AT THE OWNER'S DISCRETION. STRUCTURAL CHARACTERISTICS MUST MEET MINIMUM LAND DEVELOPMENT CODE REQUIREMENTS OR APPROVING AUTHORITY.

**TYPICAL ASPHALT PAVEMENT ROADWAY/PARKING PAVEMENT SECTION DETAIL**  
N.T.S.



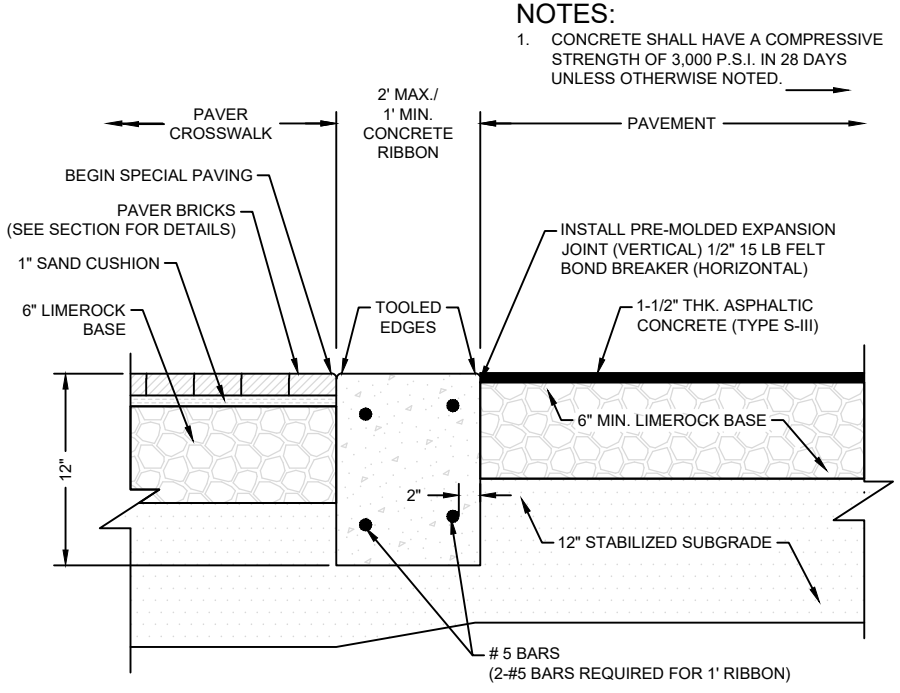
- PAVER BRICK SEALANT OR REPELLENT MAY BE USED AT OWNER'S DISCRETION.
- IF THERE ARE ANY DISCREPANCIES BETWEEN LANDSCAPE ARCHITECT'S PLANS AND SPECIFICATIONS AND ENGINEER'S PLANS, CONTRACTOR IS REQUIRED TO OBTAIN WRITTEN APPROVAL FROM THE ENGINEER FOR ANY DEVIATIONS.

**TYPICAL PAVER BRICK ROADWAY AND SEATING AREA SECTION DETAIL**  
N.T.S.



- NOTES:**
- OWNER HAS THE DISCRETION OF USING PAVER BRICKS IN PLACE OF CONCRETE SIDEWALK. CONTRACTOR SHALL REFERENCE LANDSCAPE ARCHITECT'S PLANS FOR PAVER BRICK FINAL LOCATIONS, THICKNESS, SIZE, COLOR, PATTERN, AND SPECIFICATIONS. PAVER BRICK SEALANT OR REPELLENT MAY BE USED AT OWNER'S DISCRETION. IF THERE ARE ANY DISCREPANCIES BETWEEN LANDSCAPE ARCHITECT'S PLANS AND SPECIFICATIONS AND ENGINEER'S PLANS, CONTRACTOR IS REQUIRED TO OBTAIN WRITTEN APPROVAL FROM THE ENGINEER FOR ANY DEVIATIONS.
  - THE PROPOSED FILL SHALL BE COMPACTED IN 12" LIFTS TO 95% MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-99 AND THE ENGINEER'S TECHNICAL SPECIFICATIONS.
  - SUBGRADE SHALL BE SAND, COMPACTED TO A FIRM, EVEN SURFACE, TRUE TO GRADE, AND CROSS-SECTION, AND BE MOIST WHEN CONCRETE IS PLACED.
  - CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 P.S.I. IN 28 DAYS.
  - SIDEWALK SHALL HAVE CONTRACTION JOINTS AT 5' INTERVALS AND AN EXPANSION JOINT EVERY 100'.
  - MAXIMUM LONGITUDINAL SLOPE FOR DISABLED ACCESSIBLE SIDEWALK SHALL BE 1:20.
  - SOD TO BE FLUSH WITH SIDEWALK. PROVIDE POSITIVE SLOPE TO PREVENT PONDING.
  - FIBER REINFORCEMENT MAY BE SUBSTITUTED FOR WIRE MESH REINFORCEMENT AT THE DISCRETION OF THE DEVELOPER.

**TYPICAL CONCRETE SIDEWALK DETAIL**  
N.T.S.



**TYPICAL ROADWAY RIBBON CURB/PAVER BRICK INTERFACE DETAIL**  
N.T.S.

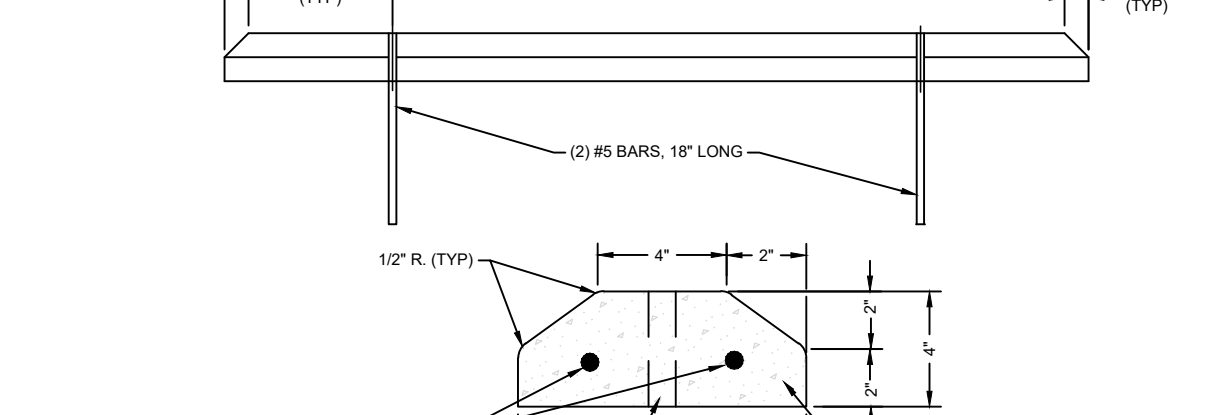
- PAVING NOTES**
- ASPHALTIC CONCRETE PAVEMENT SHALL BE CONSTRUCTED IN TWO LIFTS.
  - CONTRACTOR MUST ADHERE TO ALL SPECIFICATIONS FOR LIMEROCK BASE MATERIAL. HOWEVER, 5-1/2" LIMEROCK BASE MATERIAL MAY BE SUBSTITUTED AS AN ALTERNATE DESIGN TO THE 12" STABILIZED SUBGRADE.
  - 12" STABILIZED SUBGRADE SHALL EXTEND ONE FOOT BEYOND BACK OF CURB ON ALL TYPICAL ROADWAY SECTIONS.
  - ALTERNATE PAVEMENT SECTIONS UTILIZING PAVER BRICKS AND BOMANITE MAY BE SUBSTITUTED FOR THE ABOVE SYSTEMS. STRUCTURAL CHARACTERISTICS MUST MEET MINIMUM COLLIER COUNTY L.D.C. REQUIREMENTS.

**TYPICAL CONCRETE SIDEWALK DETAIL**  
N.T.S.

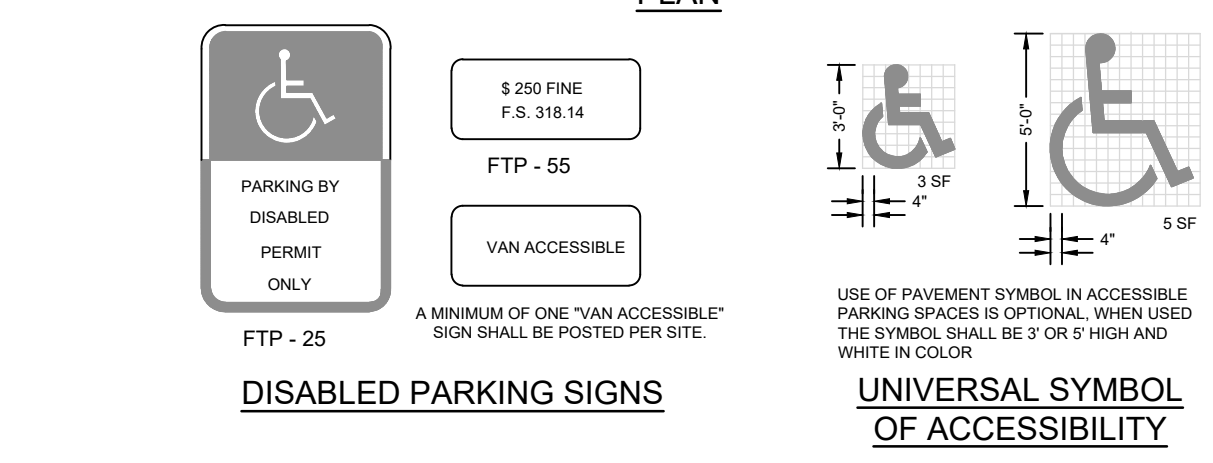
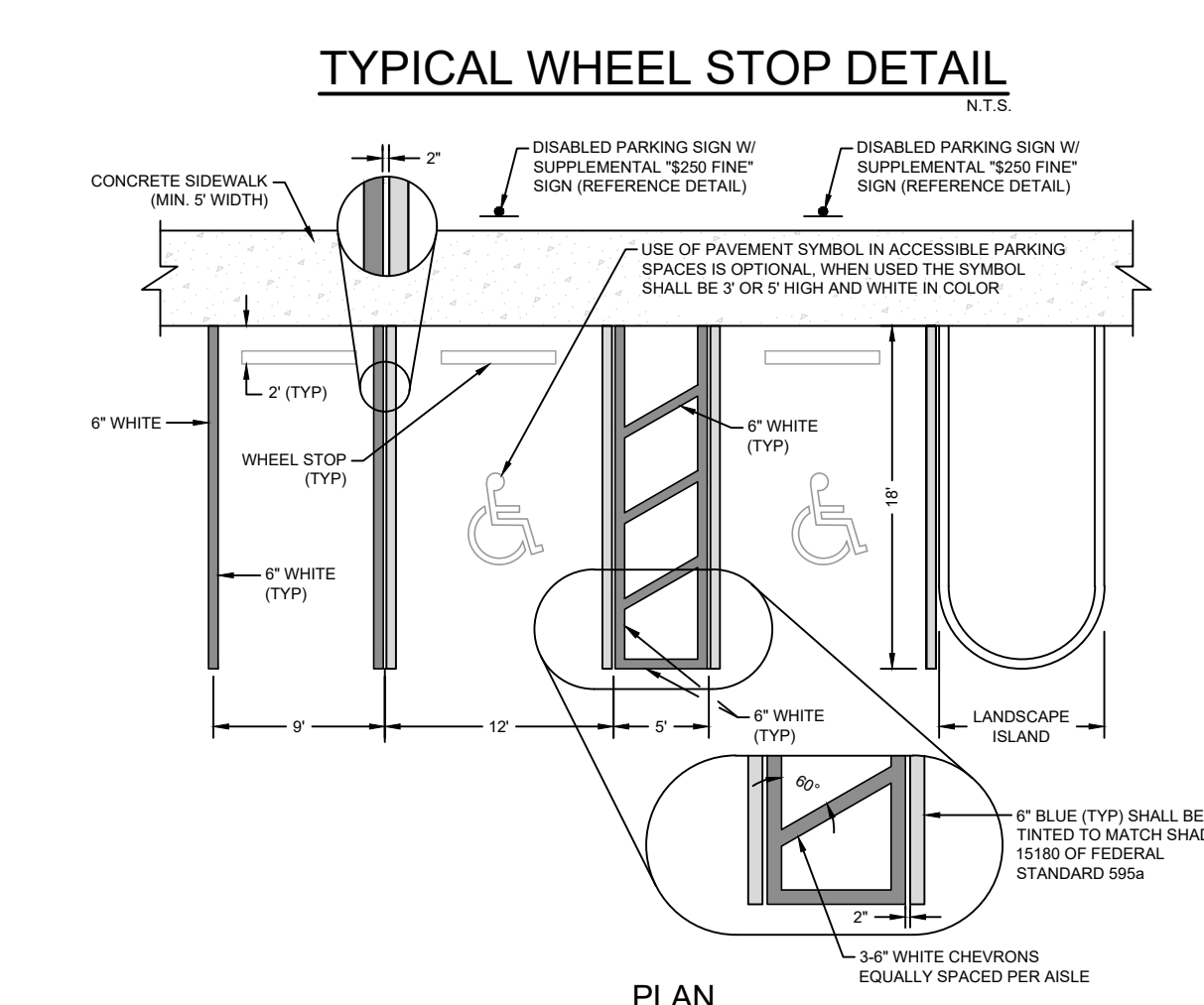
- NOTES:**
- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3,000 P.S.I. IN 28 DAYS UNLESS OTHERWISE NOTED.



**TYPICAL 90° PARKING SPACE DETAILS**  
N.T.S.



**TYPICAL WHEEL STOP DETAIL**  
N.T.S.



**STANDARD AND DISABLED SPACES W/ SIDEWALK (NO CURB)**

**TYPICAL 90° PARKING SPACE DETAILS**  
N.T.S.

**PENINSULA ENGINEERING**  
CIVIL ENGINEERING · LANDSCAPE ARCHITECTURE · ENVIRONMENTAL CONSULTING · LAND PLANNING · SITE PLANNING · CONSTRUCTION MANAGEMENT · OWNER REPRESENTATIVE

3500 Golden Gate Parkway  
Naples, Florida 34105  
Phone: 239.403.6700 Fax: 239.261.1797  
Email: info@pen-eng.com Website: www.pen-eng.com  
Florida Engineering Certificate of Authorization #23275  
Florida Landscape Certificate of Authorization #LC26000632

PROJECT:

**LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS**

TITLE:

PAVING DETAILS

OWNER/CLIENT/CONSULTANT:

SREG UNIVERSITY HIGHLANDS, LLC

REVISIONS:

No.	Revision	Date

NOTES:

PROFESSIONAL SEALS:  
PROFESSIONAL ENGINEER: DANIEL F. WATERS, P.E.  
FLORIDA LICENSE NUMBER: 60746



DATUM NOTE:  
ALL ELEVATIONS ARE BASED ON NAVD 88 (NORTH AMERICAN VERTICAL DATUM OF 1988).

SEC: 25 TWP: 46S RGE: 25E  
City: ESTERO County: LEE

Designed by: ALEJANDRO AVILA  
Drawn by: ALEJANDRO AVILA

Date: MARCH 2021  
Horizontal Scale: N.T.S.  
Vertical Scale: N.T.S.

Project Number: P-SOUT-003-001  
File Number: P-SOUT-003-001-501DD

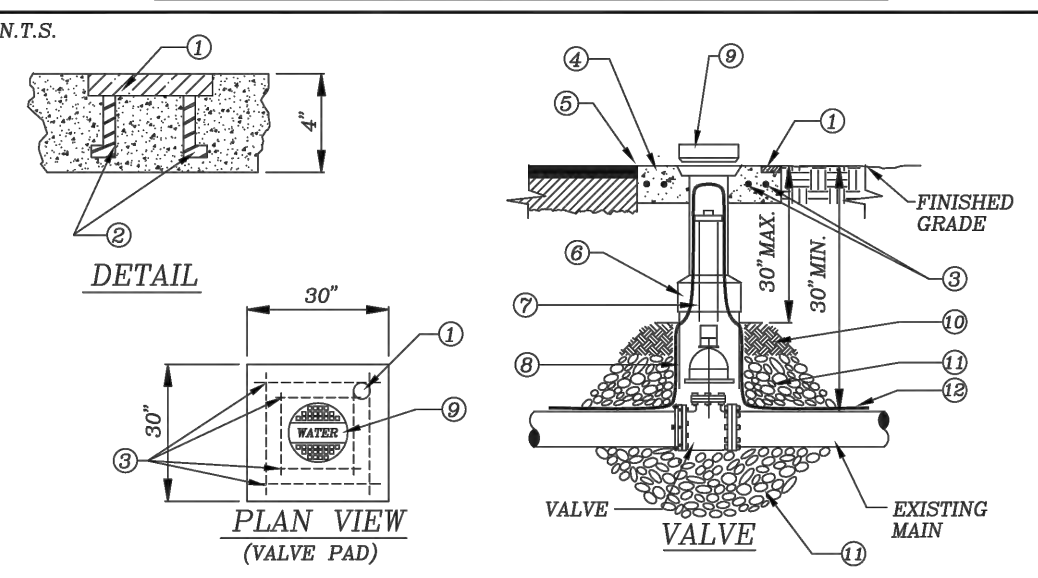
C-501  
Sheet Number: 12 of 15







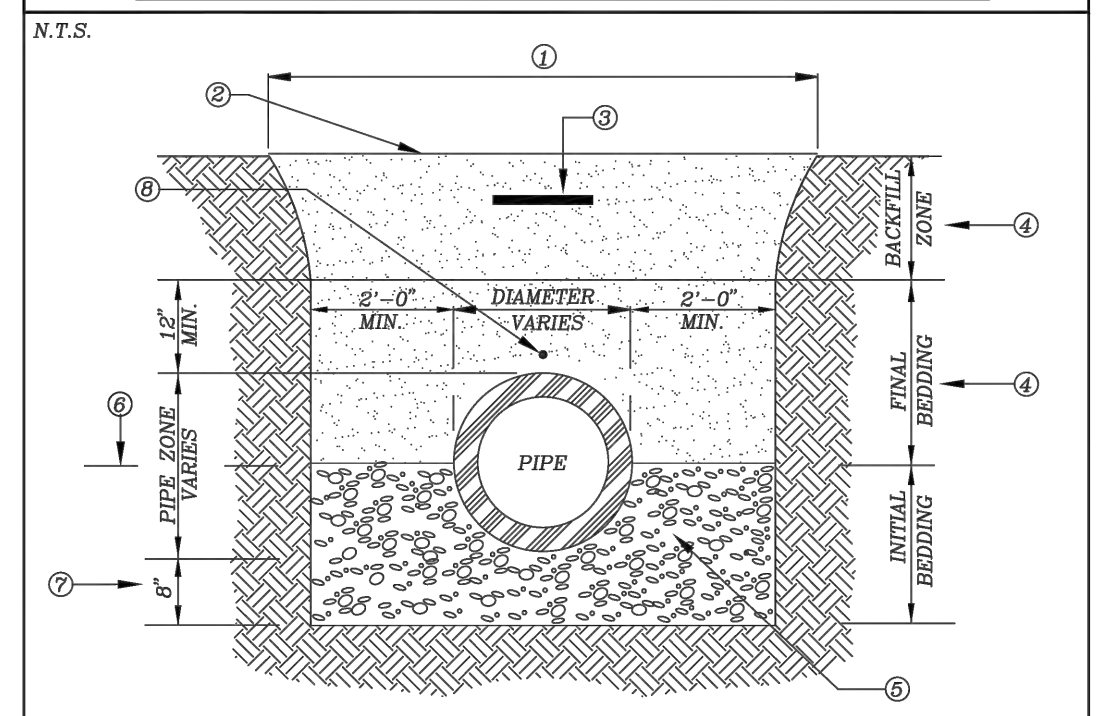
**STANDARD DETAIL NO. 6.2  
LEE COUNTY UTILITIES  
VALVE INSTALLATION**



- BRASS PLATE, SIZE OF VALVE, VALVE TYPE, NO. OF TURNS & DIRECTION TO OPEN VALVE M.F.C. & YEAR INSTALL, SYSTEM "WATER" OR "SEWER" OR "REUSE" OR "FIRE"
- ANCHOR
- EIGHT (8) #4 BARS OVERLAP EACH CORNER BY 2"
- 30" SQ X 4" THK CONCPAD SURROUNDING BOX, MIN. 3,000 P.S.I. POURED IN PLACE
- SET TOP OF BOX FLUSH WITH FINISHED GRADE
- HEAVY DUTY TRAFFIC BEARING CAST IRON VALVE BOX, ADJUSTABLE SCREW TYPE, 5/16" DIAMETER SHAFT THAT IS LCU APPROVED
- EXTENSION STEM WITH 2" OPERATING NUT AS REQUIRED, IF NUT IS MORE THAN 30" BELOW FINISH GRADE
- RISER NOT TO BEAR ON VALVE OR PIPE
- CAST IRON DROP COVER MARKED "WATER" OR "SEWER" OR "REUSE" OR "FIRE"
- COMPACTED SUITABLE EARTH BACKFILL
- 3/4" GRANULAR MATERIAL #57 STONE
- 12 GAUGE DOUBLE INSULATED COPPER LOCATING WIRE (SEE LCU STANDARD DETAIL)

REV: 12/10/2015

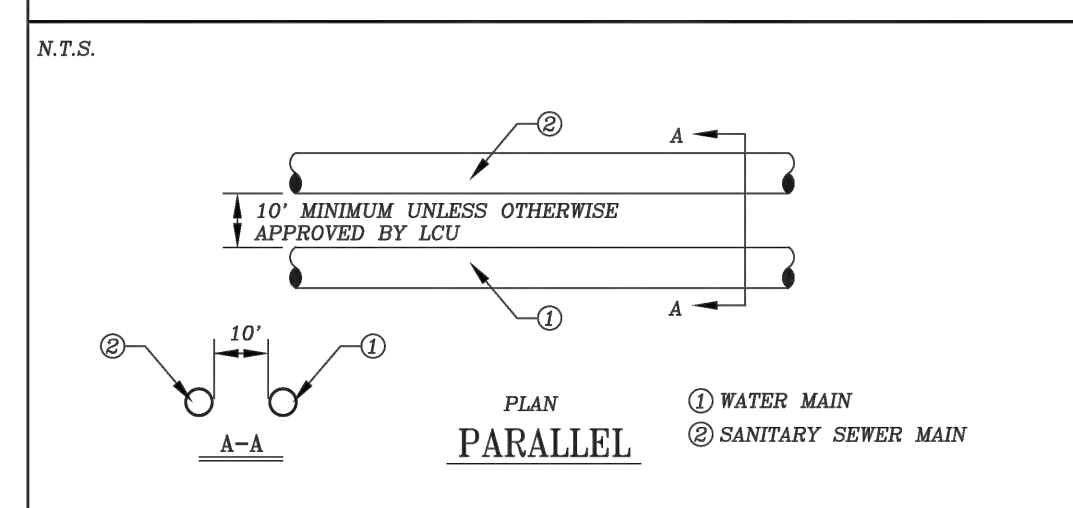
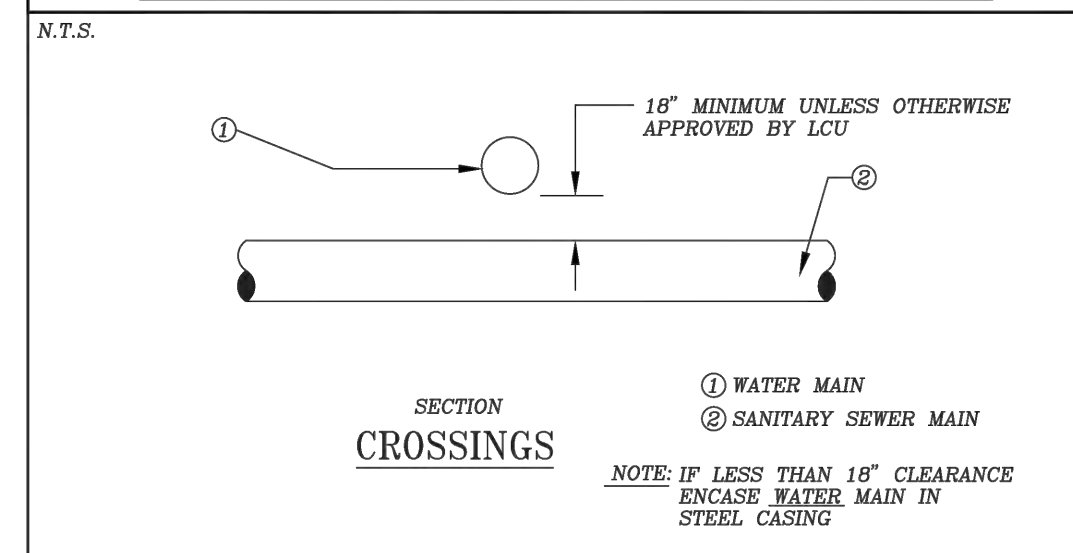
**STANDARD DETAIL NO. 6.5  
LEE COUNTY UTILITIES  
TRENCH CROSS SECTION**



- EXCAVATED TRENCH
- FINISHED GRADE
- MARKING TAPE 12" DEPTH MAX.
- MATERIALS CLEAN DRY SAND, FINE LIME ROCK OR PIT SHELL MECHANICALLY COMPACTED IN 6" LIFTS TO AT LEAST 95% OF MAX. DENSITY, OR 95% IF UNDER PAVED AREA OF ROADWAY.
- #57 STONE LOCATED UNDER PIPE OR EXISTING UNDISTURBED
- SPRING LINE
- STANDARD 6" MIN TRENCH UNDERCUT AND BACKFILL WITH #57 STONE COMPACTED IN 6" LIFTS ADDITIONAL UNDERCUT AND CRUSHED ROCK BEDDING FOUNDATION WHEN DIRECTED BY L.C.U. THE CONTRACTOR IS TO REMOVE UNSTABLE MATERIAL FROM THE TRENCH FOUNDATION, THEN INSTALL STABILIZED CRUSHED ROCK BACKFILL WITH #57 STONE COMPACTED IN 6" LIFTS
- LOCATING WIRE IS REQUIRED FOR ALL PRESSURIZED PIPELINES

REV: 12/10/2015

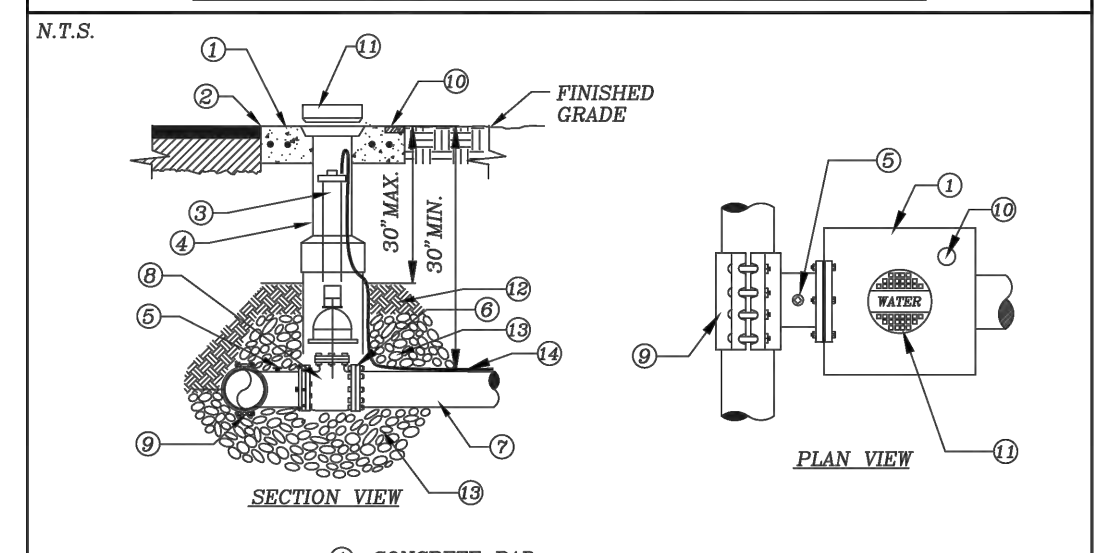
**STANDARD DETAIL NO. 6.8  
LEE COUNTY UTILITIES  
WATER AND SEWER CROSSING DETAIL**



- NOTE: IF LESS THAN 10" CLEARANCE ENCASE WATER MAIN IN STEEL CASING

REV: 12/10/2015

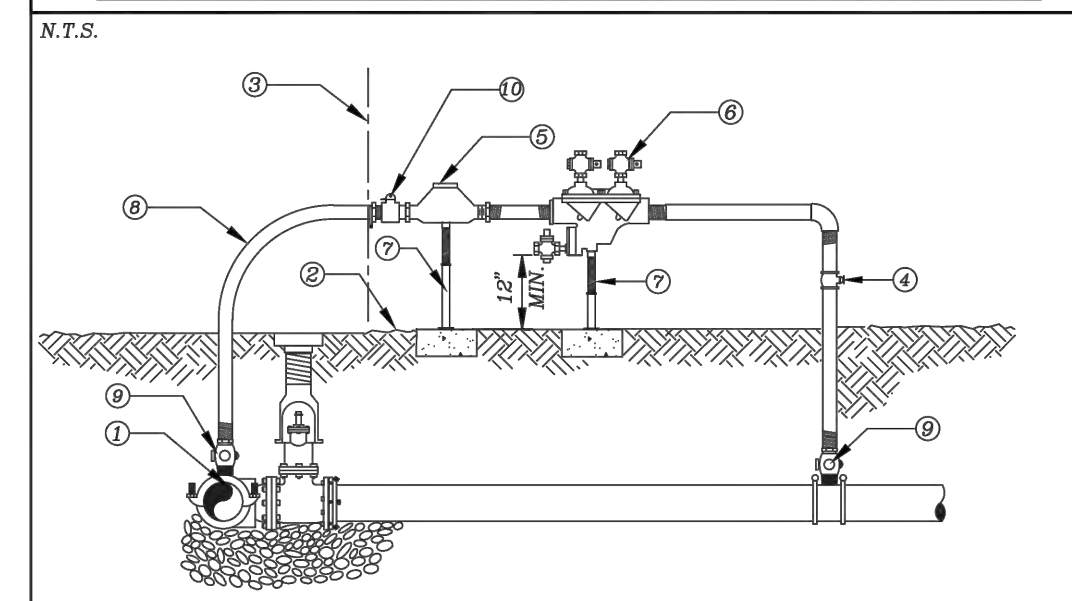
**STANDARD DETAIL NO. 6.1  
LEE COUNTY UTILITIES  
TAPPING SLEEVE AND VALVE**



- CONCRETE PAD (SEE VALVE INSTALLATION DETAIL)
- SET TOP OF BOX FLUSH WITH FINISHED GRADE
- EXTENSION STEM IF TOP OF OPERATING NUT IS MORE THAN 30" BELOW FINISH GRADE
- VALVE BOX (SEE VALVE INSTALLATION DETAIL)
- OUTLET FOR TESTING
- MJ RESTRAINED
- MAIN SIZE VARIES
- TAPPING VALVE (SEE VALVE INSTALLATION DETAIL)
- LCU APPROVED ALL STAINLESS STEEL PRESSURE RATED TAPPING SLEEVE FOR SIZE ON SIZE TAPS A FLANGED TAPPING SLEEVE IS REQUIRED, SPRING LOADED TAPPING SLEEVE IS REQUIRED WHEN CONNECTING TO HOPE (SEE APPROVED MATERIAL LIST)
- BRASS PLATE (SEE VALVE INSTALLATION DETAIL)
- CAST IRON DROP COVER MARKED "WATER", "SEWER", OR "REUSE"
- COMPACTED SUITABLE EARTH BACKFILL
- 3/4" GRANULAR MATERIAL #57 STONE
- 12 GAUGE DOUBLE INSULATED COPPER LOCATING WIRE (SEE LCU STANDARD DETAIL)

REV: 12/10/2015

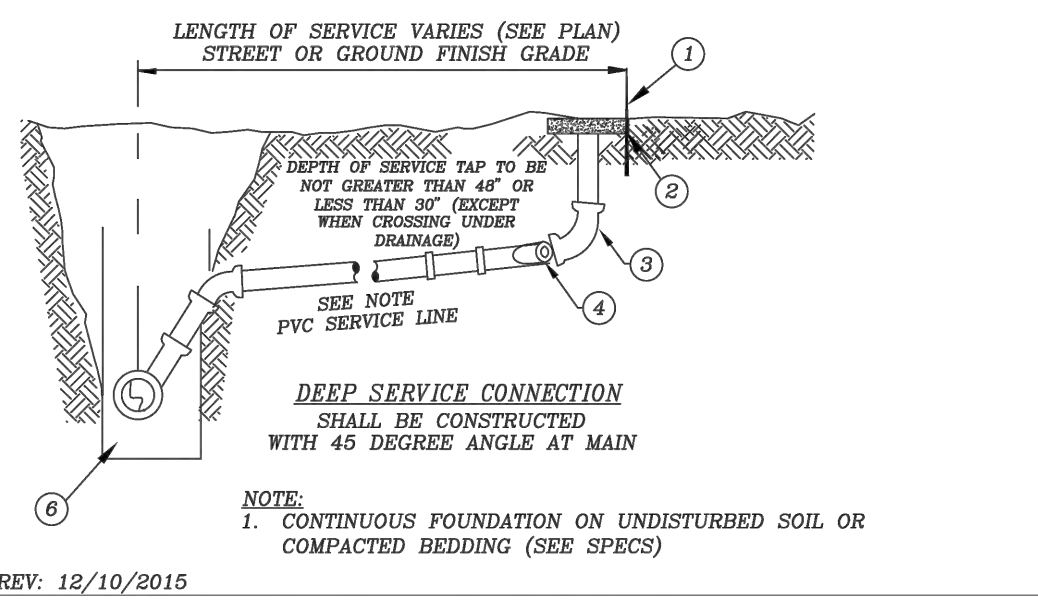
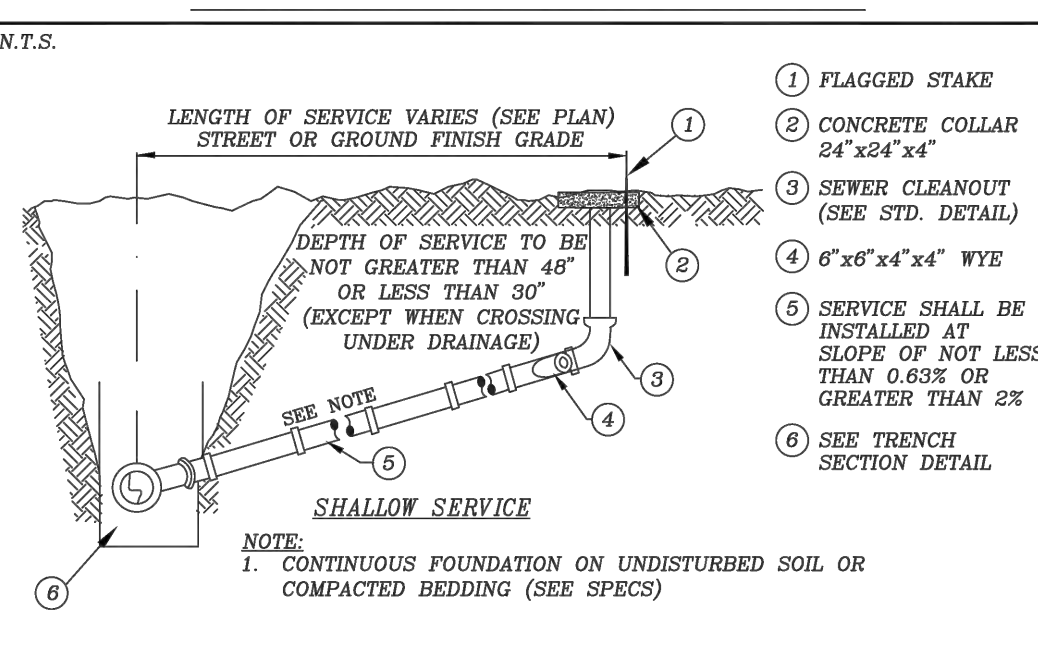
**STANDARD DETAIL NO. 6.15  
LEE COUNTY UTILITIES  
TEMPORARY CONSTRUCTION JUMPER WITH METER**



- NOTES:  
CONTRACTOR/CUSTOMER SHALL APPLY AT LEE COUNTY UTILITIES FOR TEMPORARY WATER SERVICE FIVE DAYS PRIOR TO REQUIRED SERVICE DATE. THE METER ONLY WILL BE FURNISHED BY LEE COUNTY UTILITIES. ALL FITTINGS, PIPING, VALVES AND MATERIALS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR/CUSTOMER. THE APPROVED BACKFLOW PREVENTION DEVICE SHALL BE TESTED AND CERTIFIED BY LEE COUNTY UTILITIES APPROVED CERTIFIED BACKFLOW PREVENTION TECHNICIAN (FURNISHED BY CONTRACTOR/CUSTOMER) AT TIME OF METER INSTALLATION. CONTRACTOR/CUSTOMER SHALL PROTECT THE ASSEMBLY FROM DAMAGE. TEMPORARY CONSTRUCTION JUMPER/METER ASSEMBLY SHALL NOT BE REMOVED UNTIL SYSTEM IS ACCEPTED AND DEPARTMENT OF HEALTH CERTIFICATION AND CLEARANCE FOR SERVICE FORM HAS BEEN RECEIVED BY LEE COUNTY UTILITIES. WHEN THE NEW SYSTEM IS ACCEPTED, THE TEMPORARY CONSTRUCTION JUMPER METER ASSEMBLY MUST BE COMPLETELY REMOVED DOWN TO CORP STOPS.
- TAPPING SLEEVE AND VALVE TO BE FULLY RESTRAINED ON EXISTING MAIN (SEE LCU STANDARD DETAIL)
  - GRADE
  - PROPERTY LINE AND/OR RIGHT OF WAY LINE
  - BRONZE BALL VALVE
  - METER FURNISHED BY LEE COUNTY UTILITIES
  - REDUCED PRESSURE BACKFLOW PREVENTER
  - PIPE STAND (SEE LCU STANDARD DETAIL)
  - 2" DIA. HDPE DR9
  - 2" DIA. CORPORATION STOP
  - 2" DIA. CURB STOP

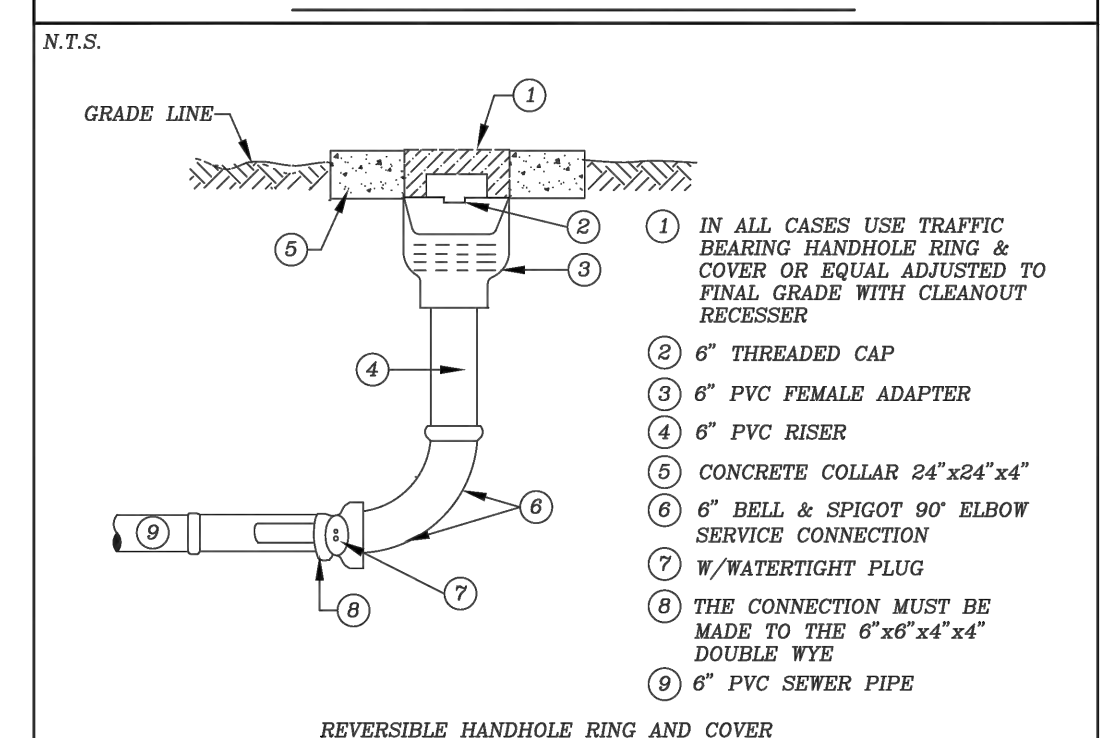
REV: 12/10/2015

**STANDARD DETAIL NO. 6.39  
LEE COUNTY UTILITIES  
STANDARD SEWER SERVICE LATERAL**



REV: 12/10/2015

**STANDARD DETAIL NO. 6.40  
LEE COUNTY UTILITIES  
6" SEWER CLEAN-OUT DETAIL**

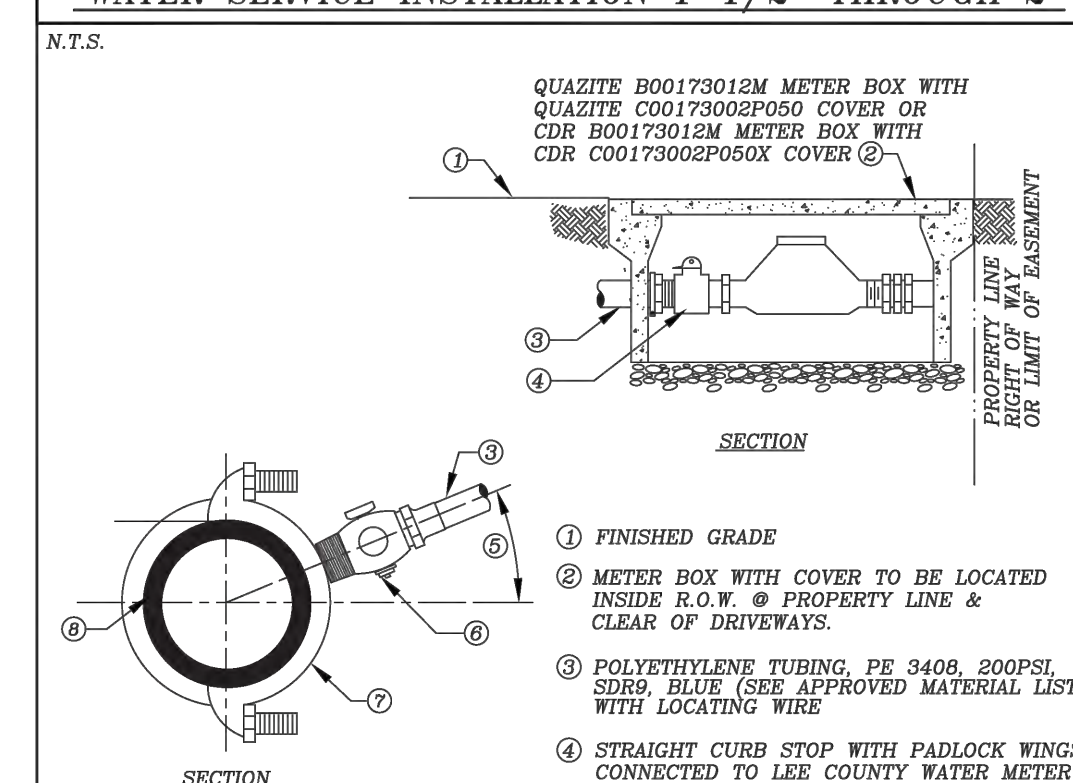


COVERS ARE MARKED WITH "S"

COVER TYPE	LOAD RATING	COVER WEIGHT	TOTAL WEIGHT
FE HEAVY DUTY	20	20	45

REV: 12/10/2015

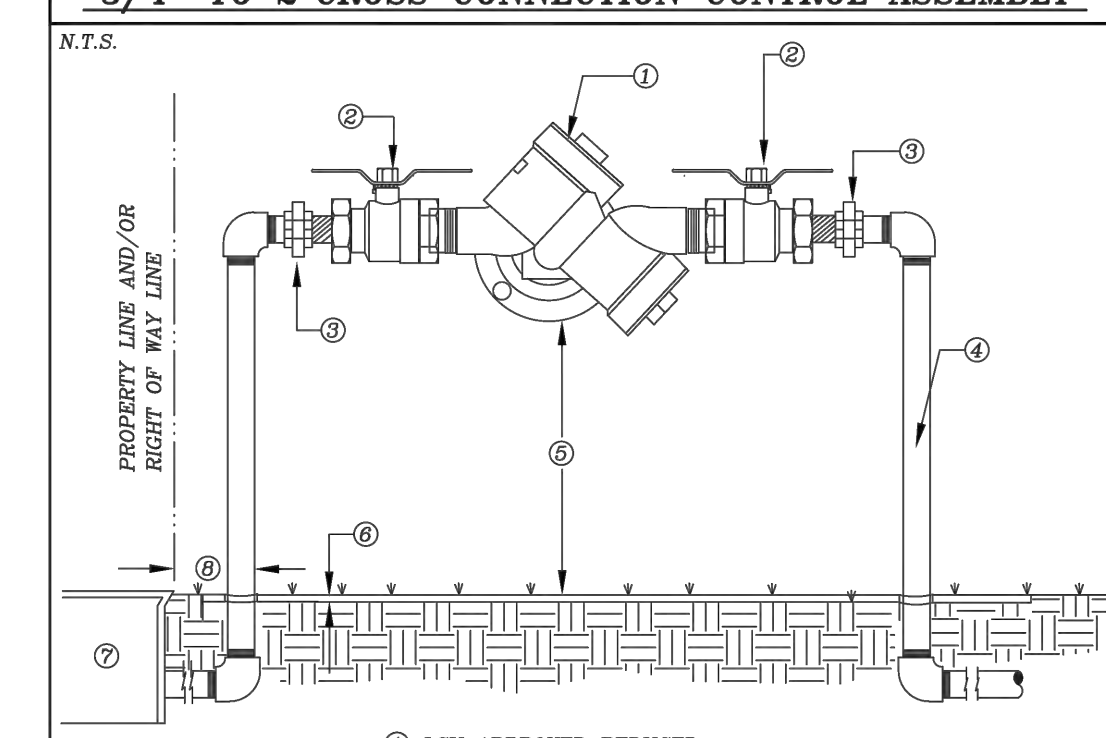
**STANDARD DETAIL NO. 6.17  
LEE COUNTY UTILITIES  
WATER SERVICE INSTALLATION 1-1/2" THROUGH 2"**



- IN ALL CASES USE TRAFFIC BEARING HANDHOLE RING & COVER OR EQUAL ADJUSTED TO FINAL GRADE WITH CLEANOUT RECESSER
  - 6" THREADED CAP
  - 6" PVC FEMALE ADAPTER
  - 6" PVC RISER
  - CONCRETE COLLAR 24"x24"x4"
  - 6" BELL & SPIGOT 90° ELBOW SERVICE CONNECTION
  - W/WATERTIGHT PLUG
  - THE CONNECTION MUST BE MADE TO THIS 6"x6"x4"x4" DOUBLE WYE
  - 6" PVC SEWER PIPE
- NOTE:  
1. TUBING UNDER ROADWAY SHALL BE ENCASED IN 4" P.V.C. PIPE SCHEDULE 40 MINIMUM AND EXTEND 4 FEET BEYOND THE EDGES OF PAVEMENT OR BACK OF CURB.

REV: 12/10/2015

**STANDARD DETAIL NO. 6.19  
LEE COUNTY UTILITIES  
3/4" TO 2" CROSS CONNECTION CONTROL ASSEMBLY**



- LCU APPROVED REDUCED PRESSURE BACKFLOW PREVENTION DEVICE (SEE APPROVED MATERIAL LIST)
  - FULL FLOW BRONZE BALL VALVE
  - UNION
  - ALL PIPING AND FITTINGS SHALL BE BRASS OR COPPER
  - 12" MIN - 24" MAX UNLESS OTHERWISE APPROVED BY LCU
  - FINISHED GRADE
  - METER BOX
  - 2" MAXIMUM
- NOTES:  
1. UNIONS REQUIRED  
2. INITIAL AND ANNUAL DEVICE TESTING REQUIRED

REV: 12/10/2015

**PENINSULA ENGINEERING**

CIVIL ENGINEERING · LANDSCAPE ARCHITECTURE · ENVIRONMENTAL CONSULTING · LAND PLANNING · SITE PLANNING · CONSTRUCTION MANAGEMENT · OWNER REPRESENTATIVE  
2600 Golden Gate Parkway  
Naples, Florida 34105  
Phone: 239.403.6700 Fax: 239.261.1797  
Email: info@pen-eng.com Website: www.pen-eng.com  
Florida Engineering Certificate of Authorization #23275  
Florida Landscape Certificate of Authorization #LC26000612

**LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS**

**STANDARD LEE COUNTY GENERAL AND UTILITIES DETAILS**

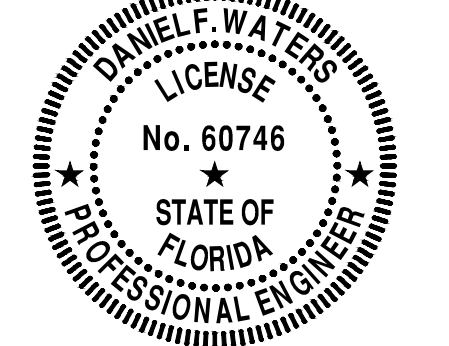
OWNER/CLIENT/CONSULTANT:  
**SREG UNIVERSITY HIGHLANDS, LLC**

REVISIONS:

No.	Revision	Date
1	REVISED PER LCU COMMENTS DATED 04/30/21 AND VILLAGE OF ESTERO COMMENTS DATED 5/13/21	05/14/21
2		
3		
4		
5		
6		
7		
8		
9		
10		

NOTES:  
ALL DETAILS AND INFORMATION PROVIDED ON THIS SHEET ARE REQUIRED STANDARDS, AND HAVE BEEN DESIGNED AND REVIEWED BY LEE COUNTY UTILITIES.

PROFESSIONAL SEALS:  
PROFESSIONAL ENGINEER: DANIEL F. WATERS, P.E.  
FLORIDA LICENSE NUMBER: 60746



DATUM NOTE:  
ALL ELEVATIONS ARE BASED ON NAVD 88 (NORTH AMERICAN VERTICAL DATUM OF 1988).

SEC: 25	TWP: 46S	RGE: 25E
City: ESTERO	County: LEE	
Designed by: ALEJANDRO AVILA		
Drawn by: ALEJANDRO AVILA		
Date: MARCH 2021		
Horizontal Scale: N.T.S.		
Vertical Scale: N.T.S.		
Project Number: P-SOUT-003-001		
File Number: P-SOUT-003-001-511DT		
<b>C-511</b>		
Sheet Number: 14 of 15		





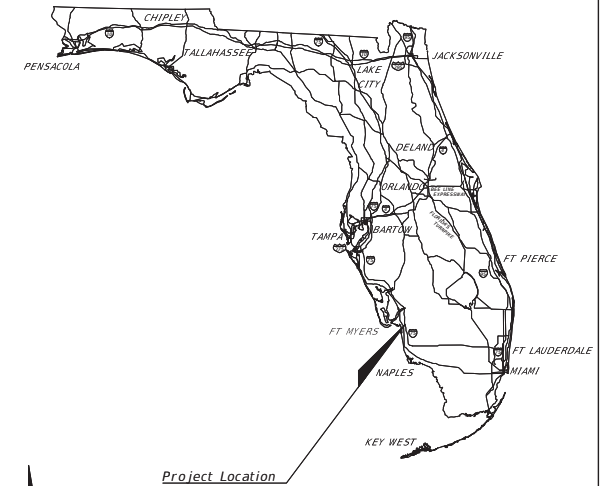


VILLAGE OF ESTERO  
LEE COUNTY

LEE HEALTH MEDICAL BUILDING  
AT UNIVERSITY HIGHLANDS  
SITE LIGHTING PLANS

INDEX OF LIGHTING PLANS

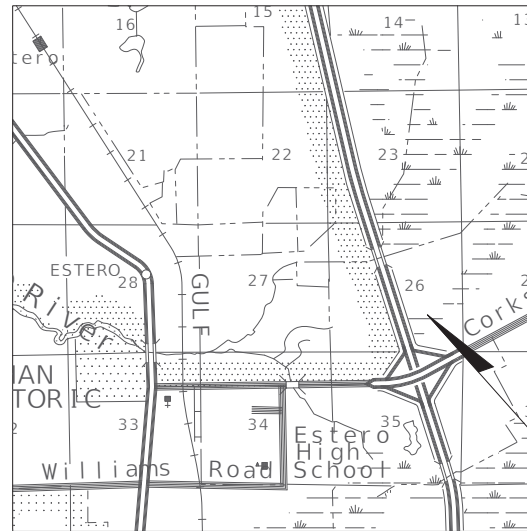
SHEET NO.	SHEET DESCRIPTION
L-1	KEY SHEET
L-2	FIXTURE SCHEDULE, PHOTOMETRIC SUMMARY AND NOTES
L-3	PLAN SHEET



PLANS PREPARED FOR:



PENINSULA ENGINEERING  
2600 GOLDEN GATE PARKWAY  
NAPLES, FL 34105



PROJECT LOCATION

**GOVERNING STANDARDS AND SPECIFICATIONS:**  
Florida Department of Transportation, STANDARD PLANS 2020-21 and revised Index Drawings as appended herein, and 2020 Standard Specifications for Road and Bridge Construction, as amended by Contract Documents.

For Design Standards click on the "Design Standards" link at the following web site:  
[HTTPS://WWW.FDOT.GOV/DESIGN/STANDARDPLANS/CURRENT/DEFAULT.SHTM](https://www.fdot.gov/design/standardplans/current/default.shtm)  
Design Standards

For the Standard Specifications for Road and Bridge Construction click on the "Specifications" link at the following web site:  
[http://www.dot.state.fl.us/specificationsoffice/Standard Specifications](http://www.dot.state.fl.us/specificationsoffice/Standard%20Specifications)

KEY SHEET REVISIONS	
DATE	DESCRIPTION
4-23-21	REVISED PER COMMENTS

This item has been electronically signed and sealed by Norman J. Trebilcock, P.E., State of Florida, license 47116, using a SHA-1 authentication code. Printed copies of this document are not considered signed and sealed, and the SHA-1 authentication code must be verified on any electronic copies.



SHOP DRAWINGS SUBMITTED TO:

PLANS PREPARED BY:

TREBILCOCK CONSULTING SOLUTIONS, PA  
2800 DAVIS BLVD SUITE 200 NAPLES FL 34104  
CERTIFICATE OF AUTHORIZATION No. 27796  
PHONE: 239 566 9551  
FAX: 239 566 9553

NOTE: THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION.

ISSUED FOR PERMIT: 3-10-21



Digitally signed by Norman Trebilcock  
DN: c=US, st=Florida, l=Naples, o=Norman Trebilcock, cn=Norman Trebilcock, email=ntrebilcock@trebilcock.biz  
Date: 2021.04.26 11:54:42 -04'00'

LIGHTING PLANS  
ENGINEER OF RECORD: NORMAN J. TREBILCOCK A1CP, PTOE, PE

PE NO. : 47116

FISCAL YEAR	SHEET NO.
21	L-1



LIGHTING FIXTURE SCHEDULE							
Q	MANUFACTURER	ORDER INFORMATION					
		QTY	LAMP	LUMINAIRE CATALOG NUMBER	VOLTAGE	MOUNTING	REMARKS
A	CYCLONE LIGHTING	8	LED	CY55P1A-FGC-3HS-60W-3K	MVOLT	POLE	CYCLONE (SINGLE FIXTURE), 3000K, TYPE 3 OPTICS WITH HOUSE SIDE SHIELDS ON A DIRECT BURIED CONCRETE POLE AT 25 FT MAX POLE HEIGHT.

Statistics						
Description	Symbol	Max	Min	Max/Min	Avg/Min	Avg
Lee Health parking	+	2.4 fc	0.8 fc	3.0:1	1.8:1	1.4 fc
Sidewalk-Lee Health	+	1.8 fc	0.9 fc	2.0:1	1.6:1	1.4 fc

PHOTOMETRICS BASED ON NO LIGHT LOSS. LIGHT LOSS FACTOR IS SET TO 1.0.

- \* OR EQUAL PER ALTERNATE MANUFACTURER
  - \*\* FIXTURE COLOR BY OWNER
- GENERAL ELECTRICAL NOTES:

- ELECTRICAL WORK SHALL BE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL CODES AND ORDINANCES GOVERNING ELECTRICAL SYSTEMS.
- CONTRACTOR SHALL VERIFY LOCATION OF PROPOSED UTILITIES, AND IRRIGATION SLEEVES PRIOR TO DRILLING POLE FOUNDATION. MINOR POLE LOCATION MODIFICATIONS MAY BE MADE BY CONTRACTOR IN THE FIELD TO AVOID CONFLICTS. MAJOR POLE LOCATION MODIFICATIONS SHALL BE APPROVED BY ENGINEER OF RECORD.
- PRIOR TO PURCHASING ELECTRICAL EQUIPMENT, SHOP DRAWINGS SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL.
- UPON COMPLETION OF THE PROJECT CONTRACTOR SHALL SUPPLY OWNER ONE SET OF AS-BUILT SHOP DRAWINGS, SHOWING EXACT ELECTRICAL INSTALLATION.
- FUSE HOLDERS (BUSSMAN TRON IN-LINE FUSE HOLDER W/ FNM 5 AMP SLOW BLOW FUSE OR EQUAL), SURGE PROTECTORS (HUNT ENTERPRISES IN-LINE TYPE OR EQUAL) AND GROUND RODS (5/8" X 10', COPPER CLAD, MEASURED 25 OHMS OR LESS) SHALL BE PROVIDED AT EACH LIGHT POLE FIXTURE BASE.
- PULL BOXES SHALL BE IN-GROUND TYPE FOUNDATION 1419-48 BOLT DOWN T COVER (OR EQUAL).
- CONTRACTOR TO SUPPLY ENGINEER CONSTRUCTION DESIGN SEALED BY FLORIDA STRUCTURAL ENGINEER TO REQUIRED DESIGN WIND SPEED.
- ALL CONDUCTORS ARE COPPER WITH THHN INSULATION UNLESS OTHERWISE NOTED.

**Domia DETAILS**

The Domia offers smooth curves and a timeless shape. It's heavy-duty and built to last. With a flat top design, flat bottom, flared and tapered top protect against falling. High performance and low-risk compatibility.

**CONSTRUCTION**

- Identify aluminum casting housing available with or without integrated driver compartment.
- Corrosion resistant cast aluminum.
- Available gauges and stainless steel hardware.
- House side shield: 1/2" aluminum for use on concrete or 3/8" x 1/2" for use with optional self-healing PVC.

**FINISH**

- Super durable extremely resistant exterior polyester powder coating meets AAMA 8000 requirements (5 years South Florida exposure).
- Available in 10 standard colors / textured (TX) or smooth (SM) finish.
- Optional colors are also available.
- For added protection a Marine grade (MG) pre-finish is available to meet ASTM G7, B117, D1654 and D2427 requirements (salt spray, corrosion and humidity resistance).

**LED, LENS & OPTICS**

- High power LED available in 3000K & 4000K.
- Type 3, 2-jm (wide), 4 & 8 Rowway optics available.
- Optional house-side shield available to cut back light.
- Flat Clear Glass (FCG) - highest efficiency and performance.
- Flat Clear Flood (FCF) - reduces glare with better uniformity.
- All lens & optics are fully UV stable.
- Dark Sky compliant.

**FORMATS**

- Available Pendant or Post Top (note mount or a Utility Fitter variable top & bottom heights) that features easy tool-free access.

**ELECTRICAL**

- Dimmable 0-10 volt, high power factor (90%) driver.
- 150, 200, 240, 277, 347 or 480 volts available.
- 10-15A surge protector supplied standard.

**OPTIONAL**

- Programmable driver (PROG), button-type photocell (PC).
- 7-ft in ANSI C80-01 compatible (PTM) available with shorting cap (PC), photocell (PT) or long life photocell (PLL).
- Field adjustable 10% increment step-dimming switch (SD).

Contact factory for **WIRELESS CONTROLS** and further details.

**Pendant CY55P1A-FGC-3HS-60W-3K**

Ordering Template

FINISH	LENS	OPTICS	HOUSE SIDE SHIELD	HOUSE SIDE SHIELD MATERIAL	HOUSE SIDE SHIELD COLOR	HOUSE SIDE SHIELD FINISH	HOUSE SIDE SHIELD MOUNTING	HOUSE SIDE SHIELD ATTACHMENT	HOUSE SIDE SHIELD FASTENERS	HOUSE SIDE SHIELD FASTENER TYPE	HOUSE SIDE SHIELD FASTENER COLOR	HOUSE SIDE SHIELD FASTENER FINISH
FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG	FCG

**References**

**Luminaire**

**Adaptors**

**Domia - CY55P1A-FGC (Flat Glass Clear)**

Package	Watts	Optics	Lumen Output (LMK)	Efficiency (LMK/W)	B U C	Beam Spread	Beam Diameter	Beam Angle	Beam Spread
200W	22	34	2000	90.9	1.0	1.0	1.0	1.0	1.0
400W	45	34	4000	88.9	1.0	1.0	1.0	1.0	1.0
600W	67	34	6000	89.6	1.0	1.0	1.0	1.0	1.0

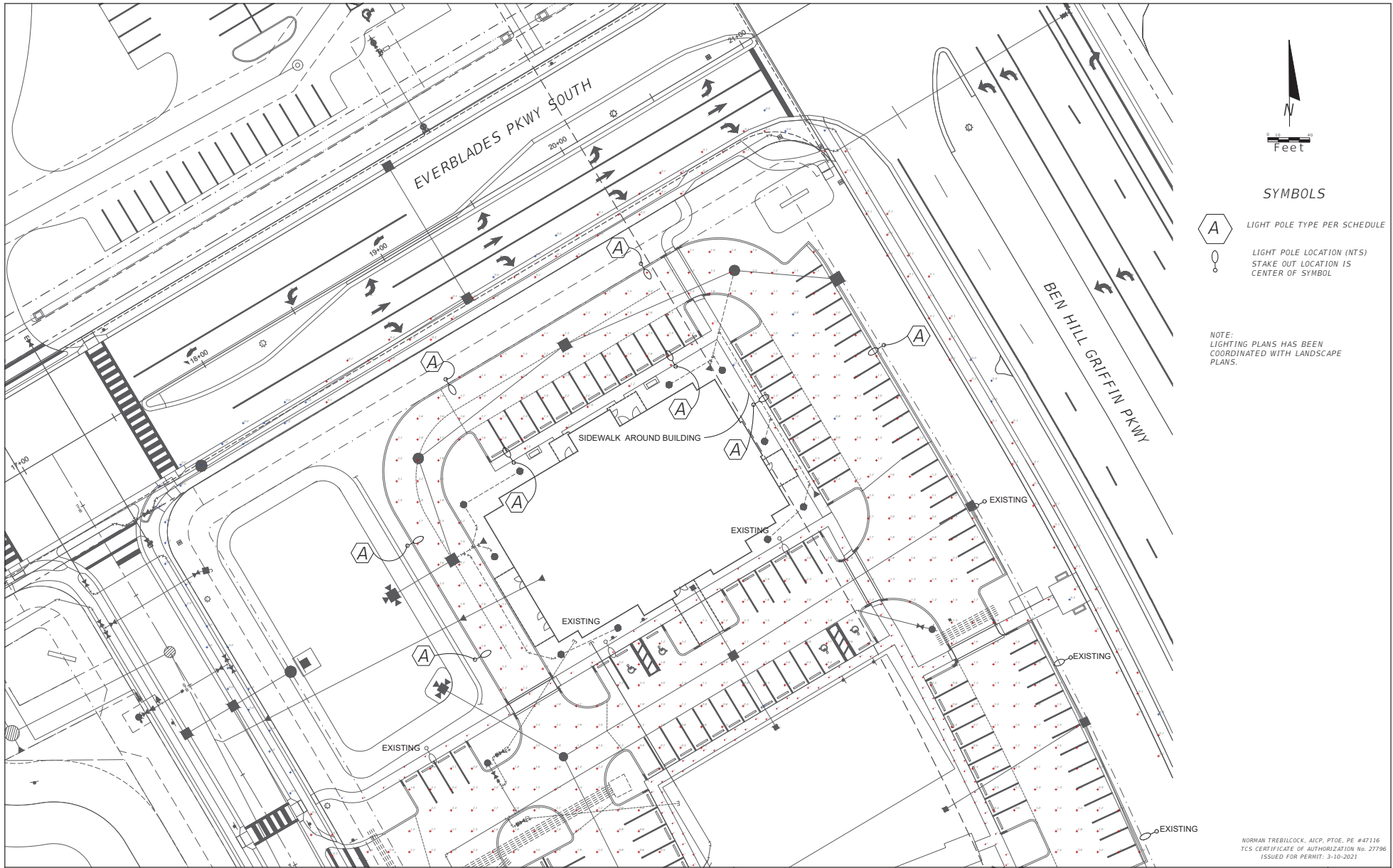
REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION
4-23-21	REVISED PER COMMENTS		

LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS SITE LIGHTING PLANS		
ROAD NO.	COUNTY	FINANCIAL PROJECT ID
NA	LEE	NA


FIXTURE SCHEDULE, PHOTOMETRIC SUMMARY AND NOTES


SHEET NO. L-2

NORMAN TREBILCOCK, AICP, PTOE, PE #47116  
TCS CERTIFICATE OF AUTHORIZATION NO. 27796  
ISSUED FOR PERMIT: 3-10-2021



**SYMBOLS**

 LIGHT POLE TYPE PER SCHEDULE

 LIGHT POLE LOCATION (NTS)  
STAKE OUT LOCATION IS  
CENTER OF SYMBOL

NOTE:  
LIGHTING PLANS HAS BEEN  
COORDINATED WITH LANDSCAPE  
PLANS.

NORMAN TREBILCOCK, AICP, PTOE, PE #47116  
TCS CERTIFICATE OF AUTHORIZATION No. 27796  
ISSUED FOR PERMIT: 3-10-2021

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION
4-23-21	REVISED PER COMMENT		



**Trebilcock**  
planning-engineering

2800 DAVIS BLVD. SUITE 200 NAPLES, FL 34104

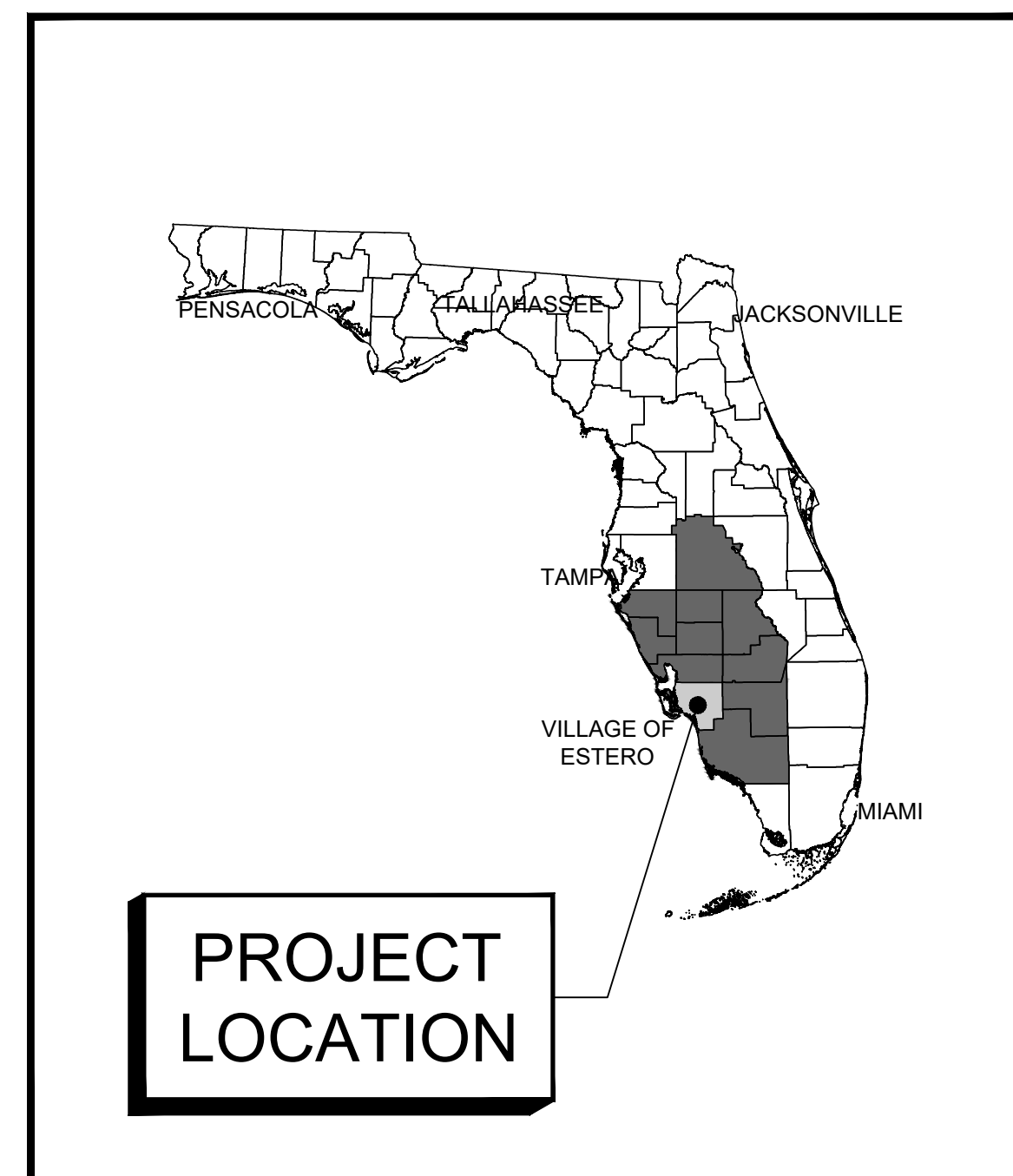
LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS SITE LIGHTING PLANS		
ROAD NO.	COUNTY	FINANCIAL PROJECT ID
NA	LEE	NA

<b>PLAN SHEET</b>	SHEET NO.  L-3
-------------------	-------------------------

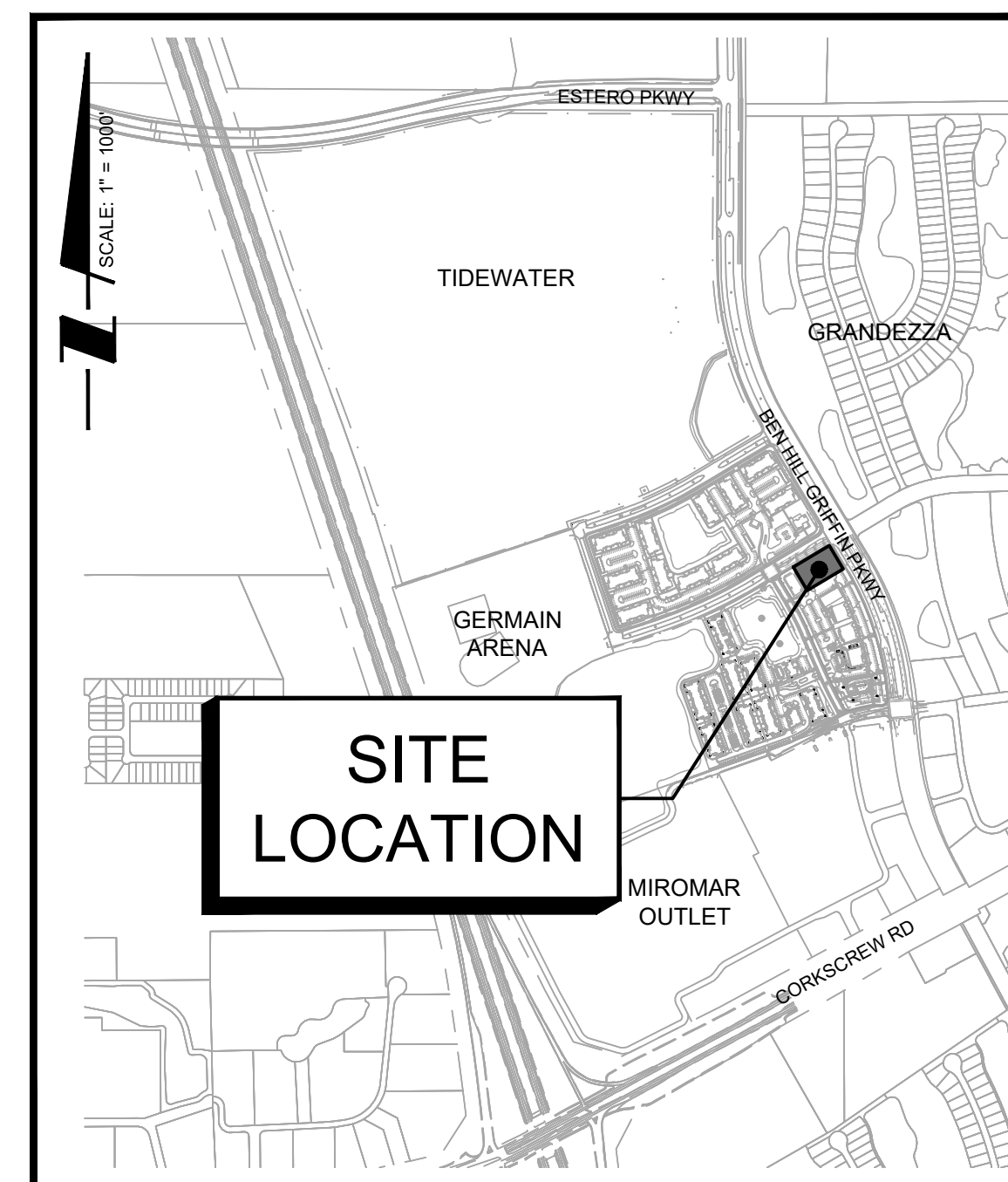


# CODE MINIMUM LANDSCAPE PLAN FOR LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS

PART OF SECTION 25, TOWNSHIP 46 SOUTH, RANGE 25 EAST,  
LEE COUNTY, FLORIDA



VICINITY MAP



LOCATION MAP

OWNER/DEVELOPER  
**SOUTH REAL ESTATE GROUP**  
2210 VANDERBILT BEACH ROAD SUITE 1201  
NAPLES, FL 39109  
(239) 404-1930



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY STEVE SAMMONS USING A SHA-1 AUTHENTICATION CODE.  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

2600 Golden Gate Parkway  
Naples, Florida 34105  
Phone: 239.403.6700 Fax: 239.261.1797  
Email: info@pen-eng.com Website: www.pen-eng.com  
Florida Engineering Certificate of Authorization #028275  
Florida Landscape Certificate of Authorization #LC26000632

PROJECT:  
**LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS**

PLAN TITLE:  
**CODE MINIMUM PLANS**

SHEET TITLE:  
**COVER SHEET**

SHEET INDEX:

SHEET INDEX			
SHEET NO.	SHEET ID	SHEET TITLE	SHEET REV
01	L-1	COVER SHEET	1
02	L-2	CODE MINIMUM LANDSCAPE PLAN	1
03	L-3	CODE MINIMUM IRRIGATION PLAN	1
04	L-4	CODE MINIMUM NOTES AND DETAILS	1

REVISIONS:

REV. NO.	DESCRIPTION	SHEETS AFFECTED	DATE
1	REVISIONS PER VILLAGE COMMENTS DATED 4/8/21	ALL	4/21/21

LEGAL DESCRIPTION:

BUILDING SUMMARY:

NOTES:

DESIGN TEAM:  
DRAWN BY: STEVE SAMMONS  
LANDSCAPE ARCHITECT: STEVE SAMMONS  
FLORIDA LICENSE NUMBER: LA0001394

PROJECT FILE INFORMATION:  
FILE DATE: FEBRUARY 2021  
FILE NUMBER: P-SOUT-003-001-CV

PROFESSIONAL SEALS:  
PROJECT NUMBER: P-SOUT-003 L01  
SET NUMBER: L01  
SHEET ID: L-1



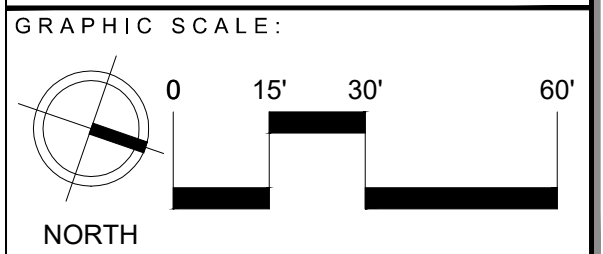
PROJECT:  
**LEE HEALTH  
 MEDICAL  
 BUILDING AT  
 UNIVERSITY  
 HIGHLANDS**

SHEET TITLE:  
**CODE MINIMUM  
 LANDSCAPE PLAN**

PREPARED FOR:  
**SOUTH REAL ESTATE  
 GROUP**

REVISIONS:

No.	Revision	Date
1	REVISIONS PER VILLAGE COMMENTS DATED 4/8/21	4/21/2021

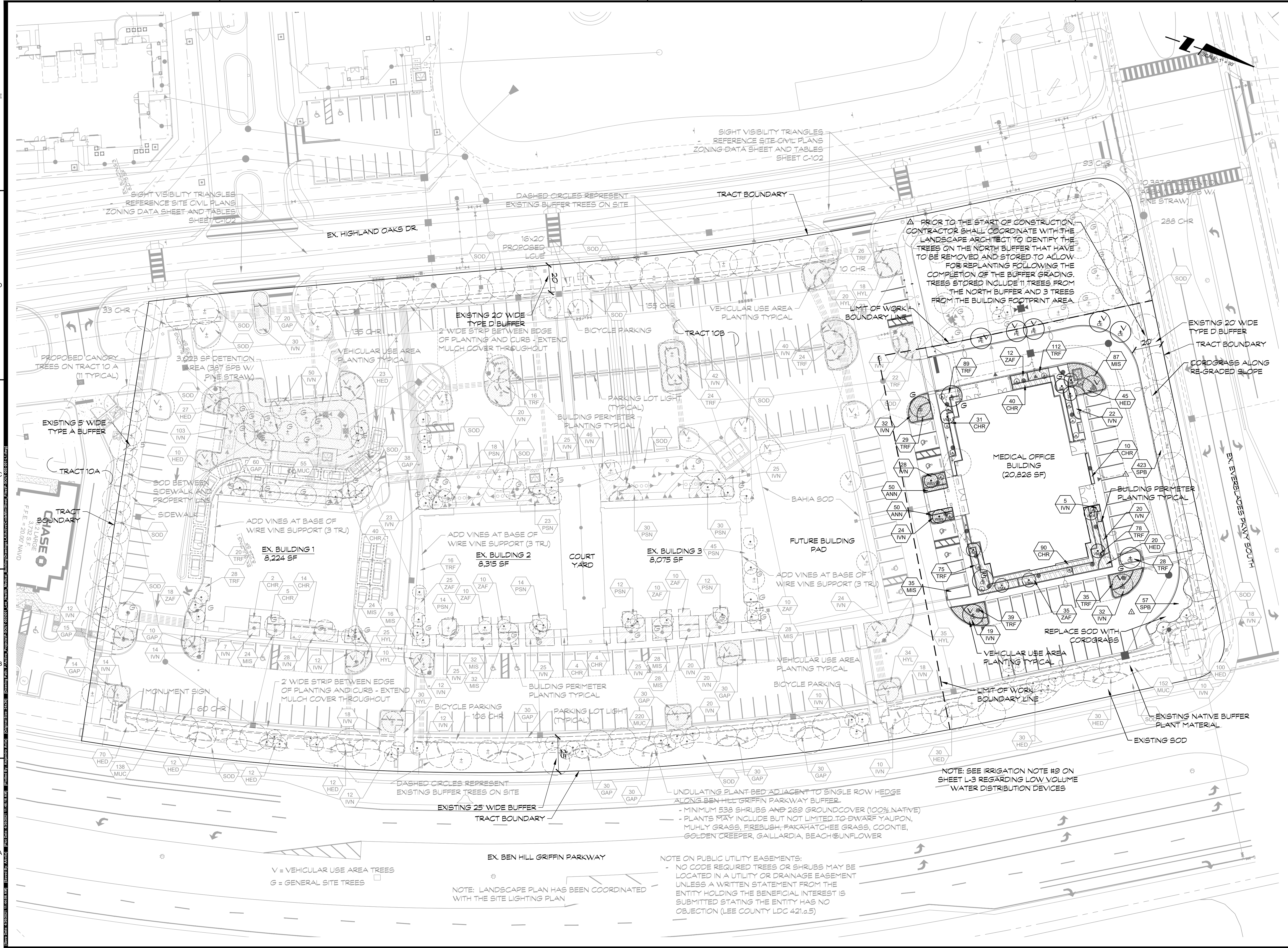


NORTH

VERIFY ALL DIMENSIONS SHOWN ON THESE DRAWINGS TO CONFIRM PROPER SCALE PRIOR TO CONSTRUCTION. REPORT ANY ERRORS OR OMISSIONS TO PENINSULA ENGINEERING.

PROFESSIONAL SEALS:  
 PROFESSIONAL ENGINEER: STEVE SAMMONS, R.L.A.  
 FLORIDA LICENSE NUMBER: LA0001394

Designed by: STEVE SAMMONS  
 Drawn by: STEVE SAMMONS  
 Date: FEBRUARY 2021  
 Horizontal Scale: 1" = 30'  
 Project Number: P-SOUT-003-001  
 File Number: P-SOUT-003-001-L1  
 Sheet Number: 02 of 04



4/21/2021, 11:48:30 AM  
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 Peninsula Engineering  
 Steve Sammons  
 2/2/2021 11:48:30 AM  
 F:\E:\2000\NAD







**LANDSCAPE NOTES**

1. QUALITY: PLANT MATERIALS USED TO MEET THE REQUIREMENTS OF THIS PLAN SHALL MEET THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS SET OUT IN GRADES AND STANDARDS FOR NURSERY PLANTS, PART I AND PART II, DEPARTMENT OF AGRICULTURE, STATE OF FLORIDA (AS AMENDED). ROOT BALL SIZES ON ALL TRANSPLANTED MATERIAL SHALL ALSO MEET STATE STANDARDS.
2. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO ESTABLISHED HORTICULTURAL METHODS AND STANDARDS.
3. ALTERNATE PLANT SPECIES MAY BE SUBSTITUTED FOR THOSE SHOWN IN THE PLANS AND PLANT LEGEND AS LONG AS THE REQUIRED NATIVE PERCENTAGE IS SATISFIED.
4. THIS PLANTING PLAN IS FOR THE PURPOSES OF REVIEW BY THE VILLAGE OF ESTERO, AND IS SCHEMATIC IN NATURE INTENDED TO SET MINIMUM REQUIREMENTS FOR THE PROJECT. COMPLETE LANDSCAPE AND IRRIGATION CONSTRUCTION DOCUMENTS MAY BE PREPARED BY OTHERS BUT MUST INCORPORATE THESE STANDARDS AT A MINIMUM.
5. EXOTIC VEGETATION AS DEFINED BY THE VILLAGE OF ESTERO LAND DEVELOPMENT CODE SHALL BE REMOVED FROM THE SITE AND SUBSEQUENT ANNUAL EXOTIC REMOVAL (IN PERPETUITY) SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
6. VEGETATION TO REMAIN SHALL BE PROTECTED WITH APPROVED BARRICADING (SEE CIVIL PLANS) AND BARRICADING WILL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.
7. ALL PLANTS TO BE ARRANGED IN STAGGERED ROWS UNLESS OTHERWISE NOTED ON THE PLANS.
8. PLANT SPECIFICATIONS (HEIGHT, SPREAD ETC.) SHALL MEET MINIMUM VILLAGE REQUIREMENTS UNLESS OTHERWISE SPECIFIED. ALL EXPOSED EARTH SHALL BE COVERED WITH SOD, HYDROSEED AND/OR MULCH.
9. ALL LANDSCAPING SHALL MEET OR EXCEED VILLAGE OF ESTERO CODE SPECIFICATION REQUIREMENTS.
10. CALL SUNSHINE ONE CALL SERVICE AT 811 BEFORE YOU DIG.
11. ALL GROUND COVER SHALL BE INSTALLED AT 50% COVERAGE.
12. ALL LANDSCAPE ISLANDS SHALL BE CLEAN FROM DEBRIS AND LIME ROCK AND SHALL DRAIN FREELY.
13. ALL TREES AND PALMS SHALL BE BRACED OR GUYED AND ALL NYLON STRAPS OR WOOD BRACING SHALL BE REMOVED WITHIN ONE YEAR OF FINAL INSPECTION.
14. ALL FIRE HYDRANTS AND FIRE CHECK VALVES SHALL HAVE A MINIMUM 7'5" CLEARANCE FROM THE FRONT AND SIDES WITH 4' CLEARANCE FROM THE REAR TO ALL LANDSCAPE MATERIAL.
15. ALL PROPOSED AND/OR EXISTING EASEMENTS MUST HAVE WRITTEN APPROVAL LETTERS FROM THE EASEMENT HOLDERS WHERE PROPOSED LANDSCAPING OVERLAPS INTO THE EASEMENT.



**Plant Legend**

Trees/Palms					
QUANTITY	NATIVE	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
2	Y	BB	Bucida buceras 'Shady Lady'	Shady Lady Black Olive	45 gallon / 12' - 14' ht / 3" cal / 6' spr minimum
8	Y	CE	Conocarpus erectus	Green Buttonwood	45 gallon / 12' - 14' ht / 3" cal / 6' spr minimum
3	Y	PE	Pinus elliottii Densa	Densa Slash Pine	45 gallon / 12' - 14' ht / 3" cal / 6' spr minimum
11	N	PRX	Phoenix roebellenii	Pygmy Date Palm	6' OA / single trunk
3	Y	SP	Sabal palmetto	Sabal Palm	Varied heights in same grouping 10', 12', 16' CT
6	N	VMX	Veitchia montgomeryana	Montgomery Palm	14' GW
2	N	WBX	Wodyetia bifurcata	Foxtail Palm	8' GW

Shrubs/Groundcovers					
QUANTITY	NATIVE	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
100	N	ANN	Annuals	Annuals	Seasonal / 1 gallon (above code)
171	Y	CHR	Chrysobalanus icaco	Cocoplum	3 gallon / 30" OC
2	N	CRI	Crinum augustum 'Queen Emma'	Purple Crinum Lily	7 gallon (above code)
65	Y	HED	Helianthus debilis	Beach Sunflower	1 gallon / 24" OC
3	N	HIB	Hibiscus rosa-sinensis	Hibiscus	6' ht / standard single trunk / pink (above code)
182	Y	IVN	Ilex vomitoria Nana	Dwarf Yaupon Holly	3 gallon / 30" OC
122	Y	MIS	Mimosa strigillosa	Sensitive Plant	1 gallon / 24" OC
480	Y	SPB	Spartina bakeri	Sand Cordgrass	1 gallon / 36" OC
485	Y	TRF	Tripsacum floridanum	Gama Grass	1 gallon / 24" OC
47	Y	ZAF	Zamia floridana	Coontie	3 gallon / 30" OC

Miscellaneous					
QUANTITY	NATIVE	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
9,330 SF est.			Mulch	Coco Brown	

Note: Montgomery Palms, Foxtail Palms and Pygmy Date Palms are above code requirements and do not count toward required native percentage.  
 Note: Add allowance for relocating 11 trees in north buffer on site for temporary holding and watering until grading is complete within the buffer, then transplant to same buffer area per landscape Architect direction with two bubblers per tree  
 Note: Add allowance for relocating 3 trees within medical office building site to adjacent buffers per LA direction prior to construction; adjust irrigation for two bubblers per tree

**PROJECT SITE CODE REQUIREMENTS**

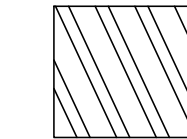
**OPEN SPACE REQUIREMENTS (Sec. 10-415.a)**

- 30% open space required per Master Concept Plan
- Reference Site Civil Zoning Data Sheet calculations

**GENERAL TREE REQUIREMENTS (Sec. 10-416.a.5)**

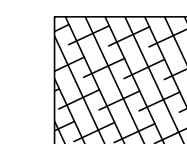
- Provided through existing site trees
- Reference approved Shoppes at University of Highlands DOS2018-EO04

**BUILDING PERIMETER PLANTINGS (Sec. 10-416.b)**



- Medical Office Building = 10,472 SF (footprint) x 10% = 1,047 SF required
- Due to over 2 acres of impervious site area for overall Tract 10B, the enlarged perimeter landscape requires 5% of VUA area
- 10,472 SF x 5% = 524 SF additional planting
- 1,047 + 524 = 1,571 SF building perimeter planting required, 2,081 SF provided
- Plus 4 trees per 100 LF building frontage
- 130 LF frontage = 5 trees required, 5 provided

**VEHICULAR USE AREA LANDSCAPING (Sec. 10-416.c)**



- Landscaped areas on the parking area perimeter or internal islands must equal or exceed a minimum of 10% of the total paved surface area
- 17,301 SF total paved area x 10% = 1,730 SF VUA landscape area required
- 1,747 SF provided (shrubs, groundcovers or sod)
- No more than 10% turf
- One canopy tree required per 250 SF of required internal planting area
- 1,730 SF / 250 = 7 trees required, 7 provided

**NATIVE REQUIREMENTS**

- 12 trees x 100% = 12 native trees required
- 12 native trees provided (100% of required trees)
- 100% of shrubs required to be native
- See plant legend for native status

**PROJECT:**

**LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS**

**SHEET TITLE:**

**CODE MINIMUM NOTES AND DETAILS**

**PREPARED FOR:**

**SOUTH REAL ESTATE GROUP**

**REVISIONS:**

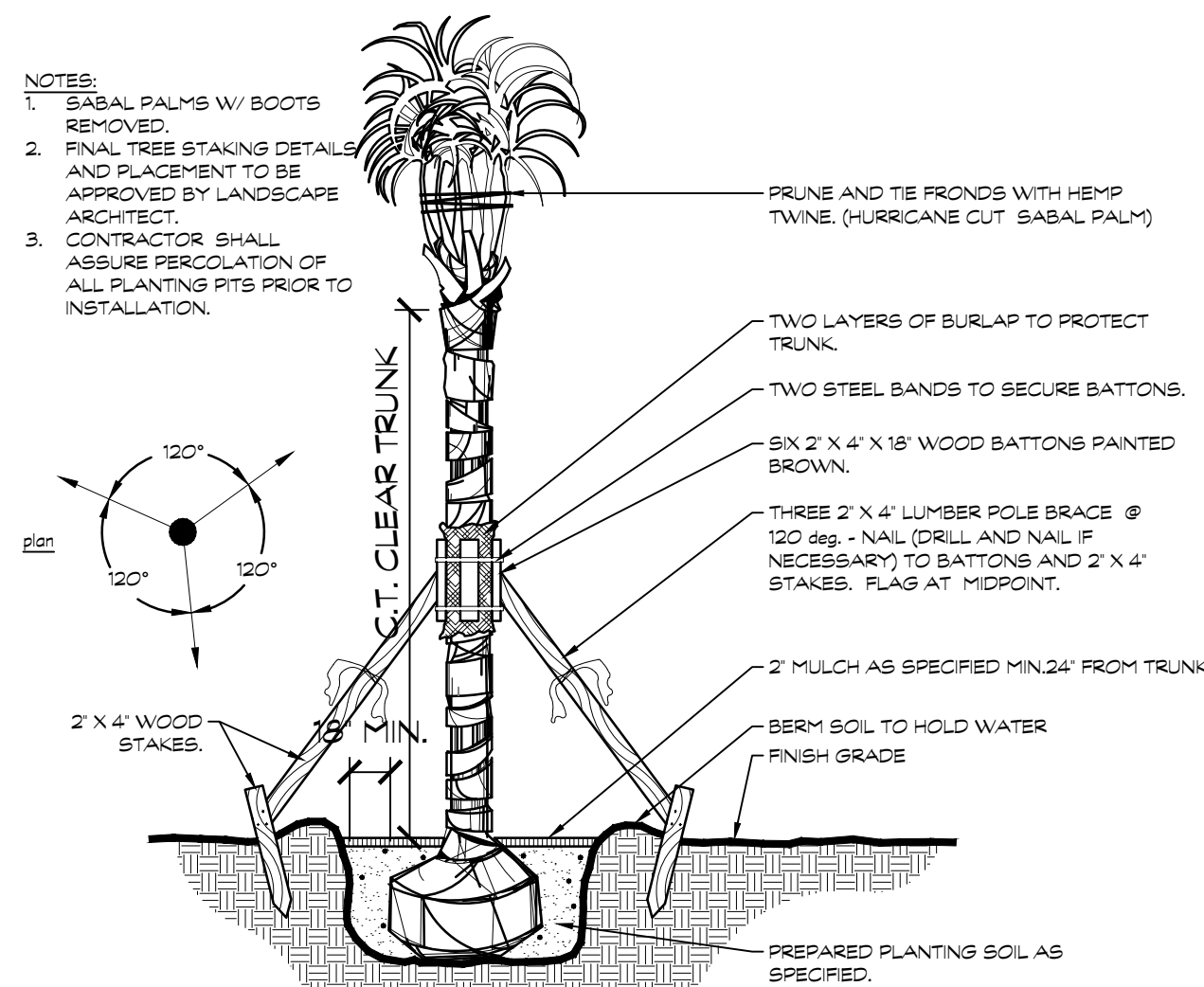
No.	Revision:	Date:
1	REVISION PER VILLAGE COMMENTS DATED 4/8/21	4/9/2021

**GRAPHIC SCALE:**

VERIFY ALL DIMENSIONS SHOWN ON THESE DRAWINGS TO CONFIRM PROPER SCALE PRIOR TO CONSTRUCTION. REPORT ANY ERRORS OR OMISSIONS TO PENINSULA ENGINEERING.

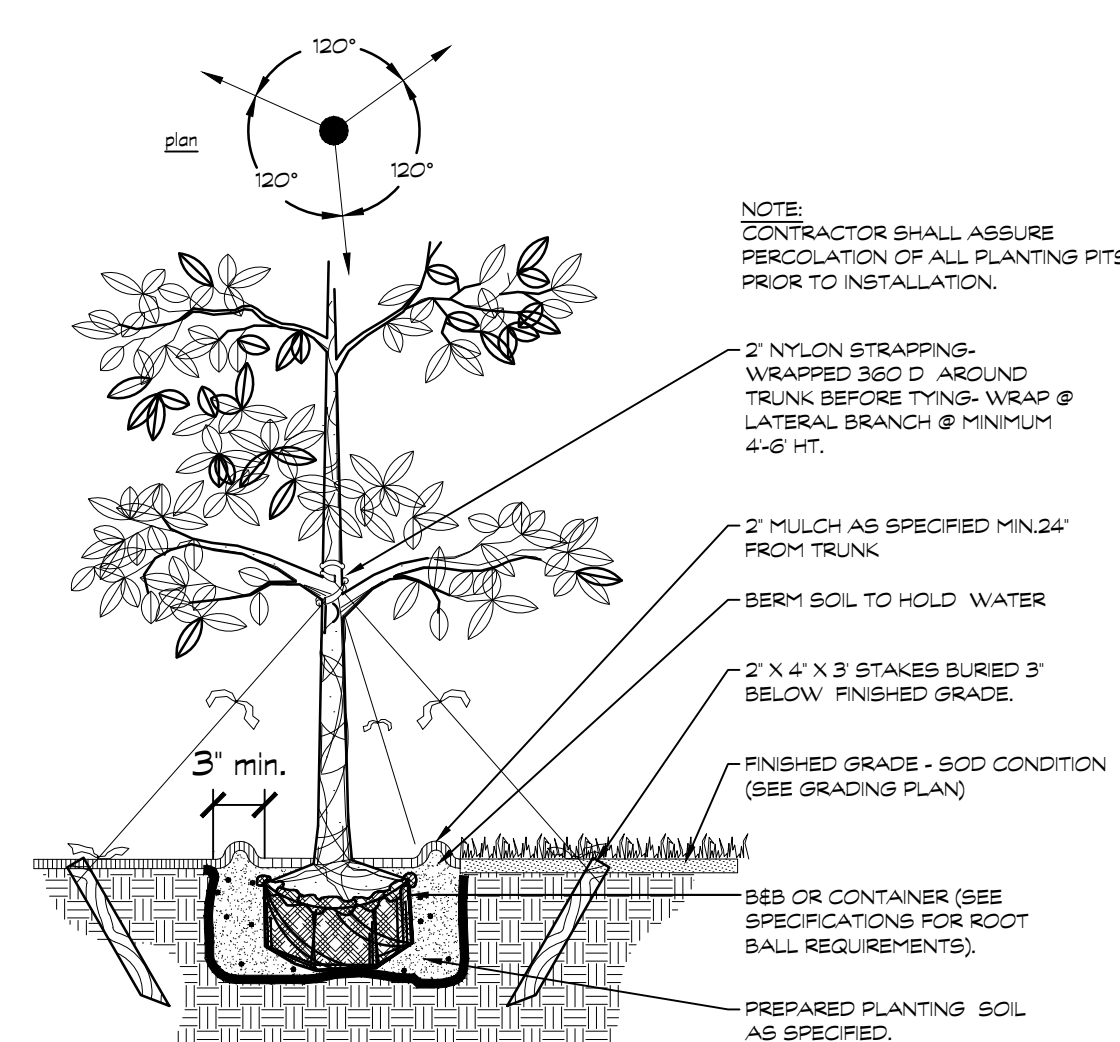
**PROFESSIONAL SEALS:**  
 PROFESSIONAL ENGINEER: STEVE SAMMONS  
 FLORIDA LICENSE NUMBER: LA0001394

Designed by: STEVE SAMMONS  
 Drawn by: STEVE SAMMONS  
 Date: FEBRUARY 2021  
 Horizontal Scale:  
 Project Number: P-SOUT-003-001  
 File Number: P-SOUT-003-001-L3  
 Sheet Number: 04 of 04



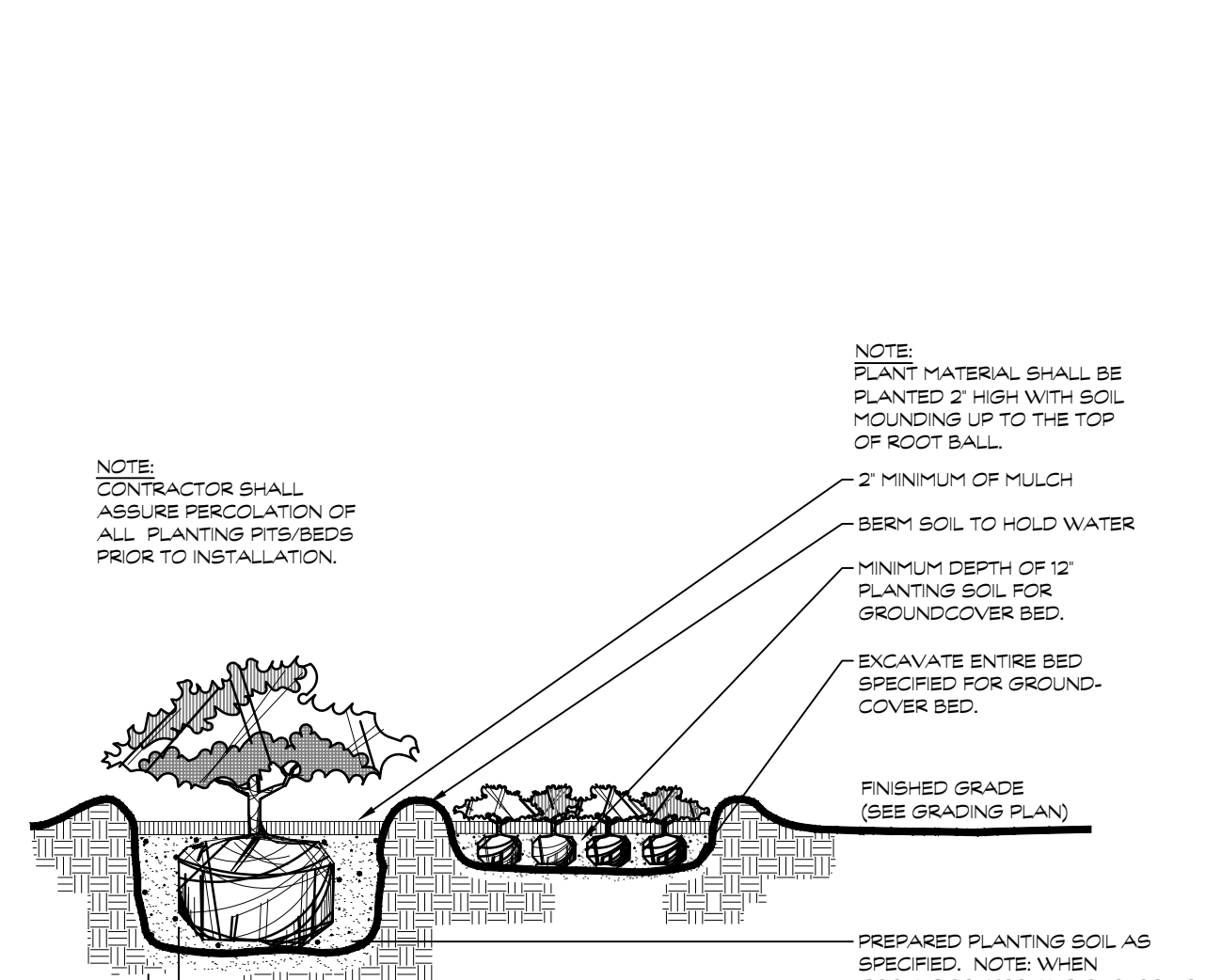
**PALM DETAIL**

A1 SCALE = N.T.S.



**LARGE TREE**

A2 SCALE = N.T.S.



**SHRUB AND GROUND COVER**

A3 SCALE = N.T.S.





# Shoppes at University Highlands - Planning, Zoning & Design Board Lee Health

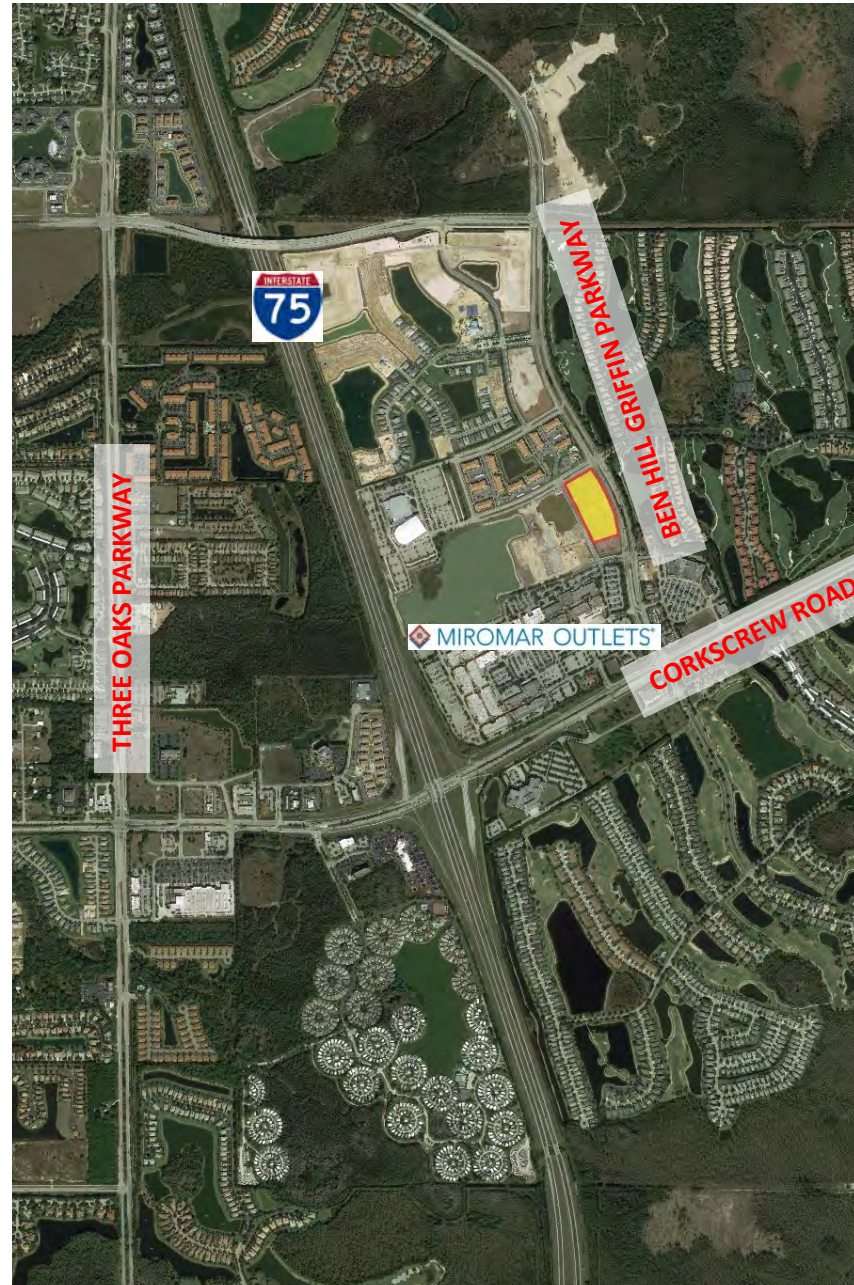


June 8, 2021



## Project Team

- **South Real Estate Group**
  - John Conroy
- **Burt Hill/Pollock Krieg Architects**
  - Jim Henley
- **Peninsula Engineering**
  - Dan Waters
  - Steve Sammons





## Project Site Information and Existing Conditions

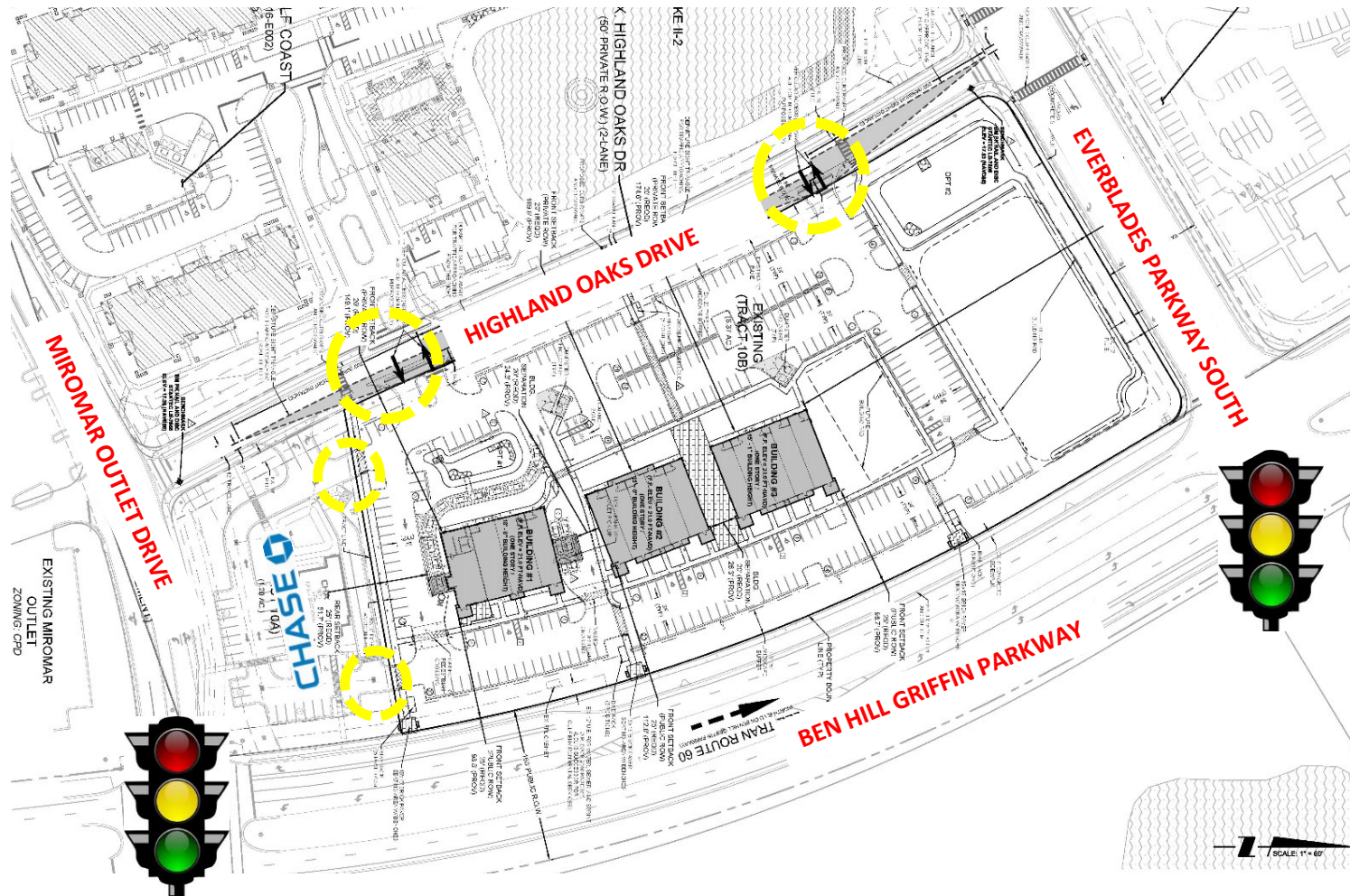
- Parcel Area - 6.37 acres
- Part of Timberland and Tiburon MPD and DRI (Resolution No. Z-10-031)
- Development Order issued October 8, 2018
- Building 1 Completed January 2020
- Buildings 2 & 3 Completed April 2020





## Vehicular Access and Connectivity

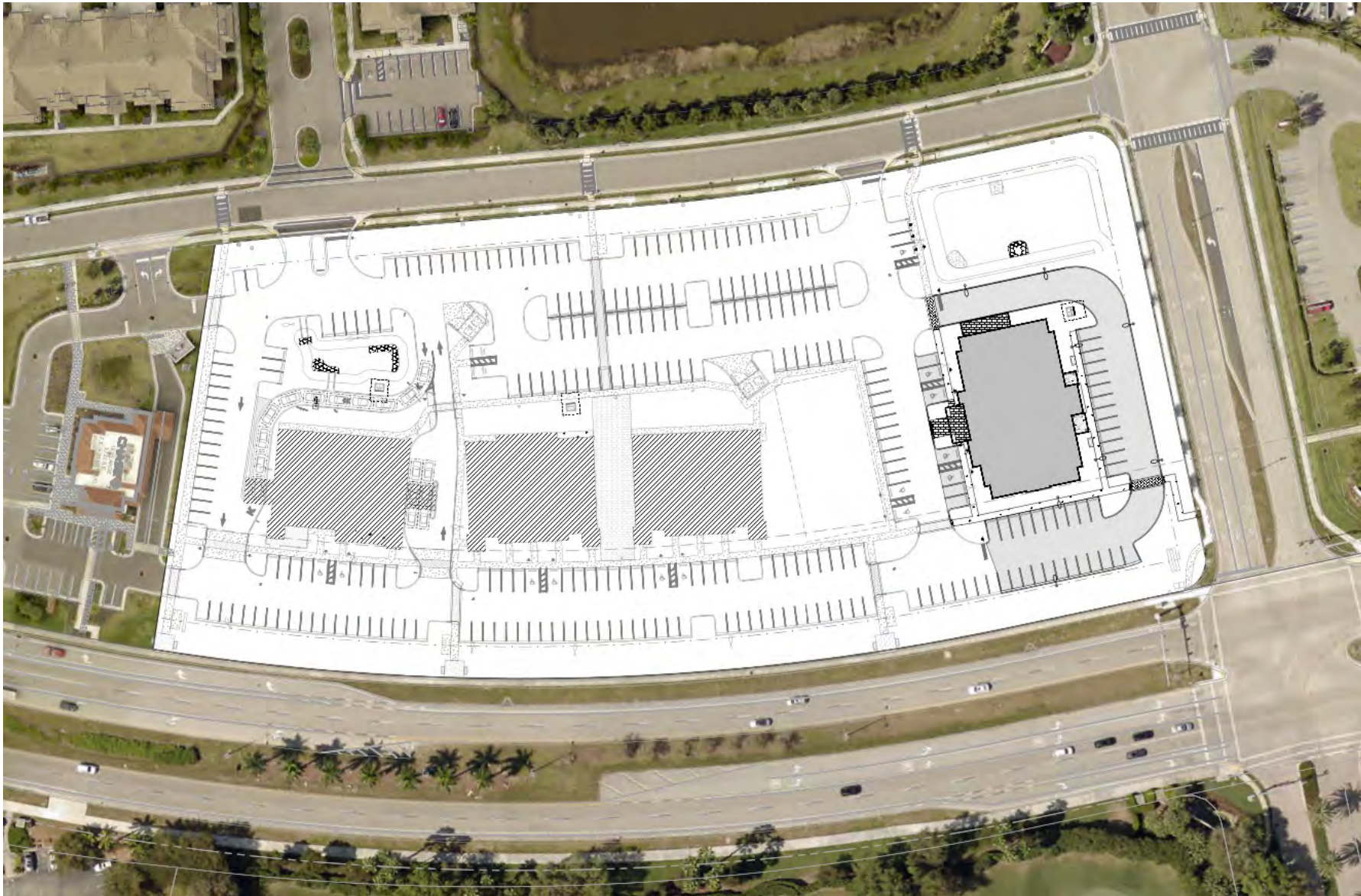
- Parking Areas Interconnected with Chase site
- Two Accesses to site from Highland Oaks Drive
- Traffic Signals at both Ben Hill Griffin Accesses









# Project Site Plan





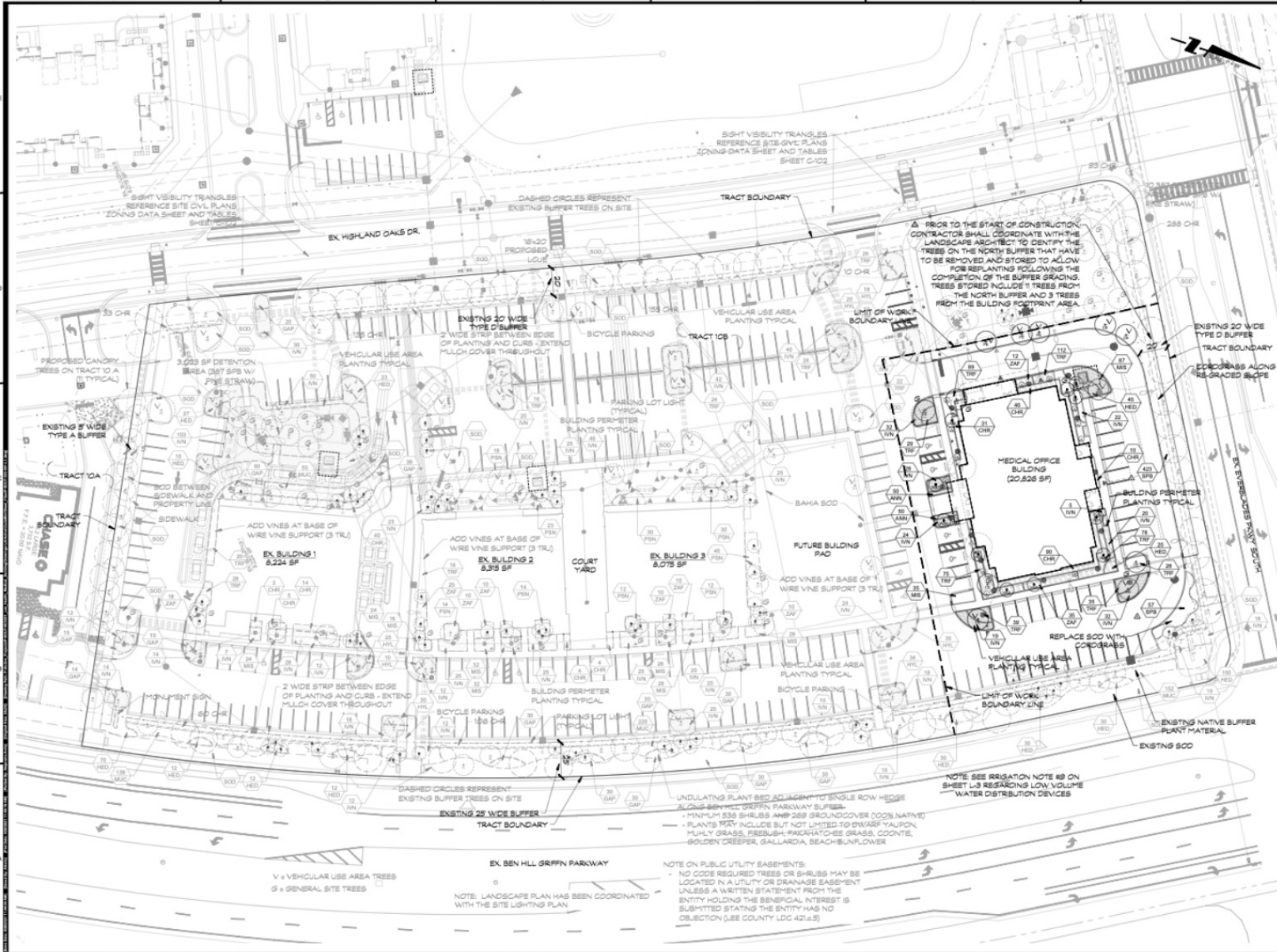
# Parking Table

<b>PARKING SUMMARY </b>			
<b>Existing Mixed Use Building #1</b>			
Building Use	Building SF	Required Parking Ratio (Per Village of Estero LDC)	Required No. of Spaces (Per Village of Estero LDC)
Restaurant w/ Drive Thru	2,239	13 spaces / 1000 sf	30 spaces
Medical Office	2,250	1 space / 300 sf	8 spaces
Retail	3,775	1 space / 350 sf	11 spaces
<b>Total Floor Area =</b>	<b>8,264</b>	<b>Total Required =</b>	<b>49 spaces</b>
<b>Existing Mixed Use Building #2</b>			
Building Use	Building SF	Required Parking Ratio (Per Village of Estero LDC)	Required No. of Spaces (Per Village of Estero LDC)
Retail	5,315	1 space / 350 sf	16 spaces
Medical Office	3,000	1 space / 300 sf	10 spaces
<b>Total Floor Area =</b>	<b>8,315</b>	<b>Total Required =</b>	<b>26 spaces</b>
<b>Existing Mixed Use Building #3</b>			
Building Use	Building SF	Required Parking Ratio (Per Village of Estero LDC)	Required No. of Spaces (Per Village of Estero LDC)
Retail	3,575	1 space / 350 sf	11 spaces
Medical Office	3,000	1 space / 300 sf	10 spaces
Restaurant	1,500	12.5 spaces / 1000 sf	19 spaces
<b>Total Floor Area =</b>	<b>8,075</b>	<b>Total Required =</b>	<b>40 spaces</b>
<b>Proposed Use Building #4</b>			
Building Use	Building SF	Required Parking Ratio (Per Village of Estero LDC)	Required No. of Spaces (Per Village of Estero LDC)
Medical Office	20,826	1 space / 300 sf	70 spaces
<b>Total Floor Area =</b>	<b>20,826</b>	<b>Total Required =</b>	<b>70 spaces</b>
<b>Total Required =</b>		<b>185 spaces</b>	
<b>Total Provided =</b>		<b> 286 spaces</b>	





# Project Landscape Plan



**PENINSULA ENGINEERING**  
PLANNING, ENVIRONMENTAL CONSULTING, LAND PLANNING, SITE PLANNING, CONSTRUCTION MANAGEMENT, OWNER REPRESENTATIVE

2800 Oyster Bay Parkway  
 Suite 200, Fort Myers, FL 33901  
 Phone: 239-933-9100 Fax: 239-261-1797  
 Email: info@penaeng.com  
 Website: www.penaeng.com  
 Florida Certificate of Authorization #28279

---

**PROJECT**  
**LEE HEALTH MEDICAL BUILDING AT UNIVERSITY HIGHLANDS**

---

**SHEET TITLE**  
**CODE MINIMUM LANDSCAPE PLAN**

---

**PREPARED FOR**  
**SOUTH REAL ESTATE GROUP**

---

**REVISIONS**

No.	Revised	Date

---

**GRAPHIC SCALE**

**NORTH**

---

**PROFESSIONAL SEALS**

Steve Sammons  
 Steve Sammons  
 FEBRUARY 2021  
 License No. 17-36  
 Project No. P-SOUT-203-001  
 Site No. P-SOUT-203-001-L1

---

**L-2**  
 02 of 04

**NOTE ON PUBLIC UTILITY EASEMENTS:**  
 - NO CODE REQUIRED TREES OR SHRUBS MAY BE LOCATED IN A UTILITY OR DRAINAGE EASEMENT UNLESS A WRITTEN STATEMENT FROM THE ENTITY HOLDING THE BENEFICIAL INTEREST IS SUBMITTED STATING THE ENTITY HAS NO OBJECTION (LEE COUNTY LDC 421-4.5)

**NOTE:** LANDSCAPE PLAN HAS BEEN COORDINATED WITH THE SITE LIGHTING PLAN

UNDULATING PLANT BED ADJACENT TO SINGLE ROW HEDGE ALONG BENEFIT GRIFFIN PARKWAY BUFFER:  
 - INCLUDE 1356 SHRUBS AND 288 GRASSCOVER (COOL NATIVE)  
 - PLANTS MAY INCLUDE BUT NOT LIMITED TO DWARF YAUPOIN, MULLY GRASS, REDBUSH, FAKOYATCHEE GRASS, COONTE, GOLDEN CREEPER, GALLARDA, BEACH SUNFLOWER

**NOTE:** SEE IRRIGATION NOTE #8 ON SHEET L-3 REGARDING LOW VOLUME WATER DISTRIBUTION DEVICES

V = VEHICULAR USE AREA TREES  
 G = GENERAL SITE TREES



## Complementary Architectural Characteristics between Medical Building and Retail Buildings

- **Colors: building and trim**
- **Windows: style, framing and glazing**
- **Roof: tiles and slopes**
- **Awnings as Starbucks building**
- **Outdoor space and patios**
- **Overhead and wall trellises**
- **Decorative block and scored stucco**



## January DRB Meeting Notes:

- **“Punched windows”**
  - **Matched windows with other buildings in development**
- **“Architectural details on windows”**
  - **Added similar awnings and trellises to windows**
- **“Add variation to building walls to break up massing”**
  - **Added multiple break points, decorative block and scored stucco**
- **“Bring architectural elements to ‘human level’”**
  - **Added architectural elements to first floor**
- **“Provide additional outdoor areas”**
  - **Added an outdoor patio for employees and four benches surrounding the building**



# Lee Health South Elevation



**MIROMAR PRIMARY CARE**  
**SOUTH ELEVATION**





# Lee Health North Elevation



MIROMAR PRIMARY CARE  
NORTH ELEVATION



## Lee Health East Elevation



MIROMAR PRIMARY CARE  
EAST ELEVATION

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**Lee Health West Elevation**



**MIROMAR PRIMARY CARE**  
**WEST ELEVATION**

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# Questions / Comments

