



www.Estero-fl.gov

COVID-19 NOTICE:

The May 11, 2021 Village Planning Zoning and Design Board Meeting will be conducted physically in Council Chambers at Village Hall, 9401 Corkscrew Palms Circle, with an opportunity to participate virtually. The meeting will be broadcast live via the Village of Estero website link: <https://estero-fl.gov/council/watch-meetings-online/>. Access in Council Chambers will be limited in order to comply with the safety instructions relating to COVID-19. Please see page 3 of this agenda for further information and instructions for public participation.

AGENDA

PLANNING ZONING AND DESIGN BOARD

9401 Corkscrew Palms Circle, Estero, Florida

May 11, 2021

4:30 P.M.

Planning Zoning and Design Board: Co-Chairman - Scotty Wood; Co-Chairman Howard Levitan: Anthony Gargano; Kristin Jeannin; Barry Jones; Marlene Naratil; Michael Sheeley; James Tatooles; Jim Wallace

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. APPROVAL OF AGENDA**
- 5. BUSINESS**

Items on the agenda are generally treated in sequential order, and due to the length of the agenda any or all of the items listed for discussion may be rescheduled to a later date for consideration. **The public will have an opportunity to speak during each agenda item; each individual has one opportunity to speak for five minutes per agenda item.**

(a) Approval of Planning, Zoning and Design Board Rules of Procedure

6. WORKSHOP

- (1) Clean Machine Car Wash (DOS2021-E002) (District 3)**

Located on the east side of US 41 at the intersection of US 41 and Vintage Parkway
The vacant parcel is approximately 200 feet north of Aldi Grocery Store and
opposite Breckenridge Drive.

Applicant seeks to construct a 3,610 square foot drive through car wash and
associated infrastructure on a 1-acre vacant parcel.

- Public Information Meetings were held August 12, 2020 and January 13, 2021
- *Applicant will present overview of changes made since the last meeting.*

7. PUBLIC INFORMATION MEETING

- (1) Eugenia Chojnowski Mobile Home Variance (VAR2021-E001) (District 5)
Located in Corkscrew Woodlands at 10825 Little Heron Circle.

Applicant seeks a variance from the 10-foot setback between mobile homes.

Due to the placement of the mobile home on the parcel and the configuration of the
parcel, there is a portion of the home that encroaches in the 10-foot setback.

8. PUBLIC HEARING

- (1) Review Ordinance No. 2021-04 amending the Village Land Development Code to
establish authority to appoint Co-Chairs.

This minor revision is necessary due to the Council action approving two Co-Chairs
to the Planning Zoning and Design Board.

9. PUBLIC INPUT (Each individual will be given five minutes to speak)

10. BOARD COMMUNICATIONS

- (a) **Planning Zoning and Design Board 2021 Meeting Calendar**

- (b) **Next meeting – June 8, 2021**

10. ADJOURN

COVID-19 INFORMATION AND INSTRUCTIONS

**To view and/or participate in the Planning Zoning and Design Board Meeting, the following
options are available:**

- 1) View the meeting online, but not participate: You may watch the meeting via the Village of
Estero website link: <https://estero-fl.gov/council/watch-meetings-online/>.

- 2) View the meeting online as indicated above and provide public comment prior the meeting by utilizing the eComment Card on the Village website: <https://estero-fl.gov/ecomment-cards/>. Please fill out all required information. Comments must be received by noon on Monday, May 10th and they will be distributed to the Board but will not be read at the meeting.
- 3) Council Chambers will be open to the public during the meeting, in accordance with social distancing orders. Public who attend in person may speak during scheduled public comment periods. Participants are recommended to wear their own-supplied mask.

For additional information or for special assistance prior to the meeting, please contact Carol Sacco, Village Clerk at, sacco@estero-fl.gov or 239-221-5035.

If you desire to address the Council, please complete a Public Comment Card located on the table in the lobby and return it to the Clerk. Citizens desiring to speak must step up to the podium, state their full name and address and/or whom he or she represents.

ADA Assistance – Anyone needing special assistance at the Board meeting due to a disability or physical impairment should contact Executive Assistant, Carol Sacco, 239-221-5035, at least 48 hours prior to the meeting.

Pursuant to Section 286.0105, Florida Statutes:

“If a person decides to appeal any decision made by the board, agency, or commission with respect to any matter considered at such meeting or hearing, he or she will need a recording of the proceeding, and that, for such purpose, he or she may need to ensure that a verbatim recording of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.”

VILLAGE OF ESTERO
PLANNING, ZONING AND DESIGN BOARD

RULES OF PROCEDURE

May 4, 2021

The following Rules of Procedure shall control the proceedings of the Village of Estero Planning, Zoning and Design Board.

TABLE OF CONTENTS

SECTION ONE:	PURPOSE AND AUTHORITY.....	2
SECTION TWO:	MEMBERSHIP AND OFFICERS	2
SECTION THREE:	MEETINGS	4
SECTION FOUR:	REGULAR MEETING AGENDA ORDER	10
SECTION FIVE:	CONDUCT OF PUBLIC HEARINGS.....	11
SECTION SIX:	PUBLIC INFORMATION MEETINGS.....	17
SECTION SEVEN:	AMENDMENTS	18
SECTION EIGHT:	EFFECTIVE DATE.....	19

SECTION ONE. PURPOSE AND AUTHORITY

- 1.1 Purpose. The purpose of these Rules is to provide for the orderly conduct of the business of the Village of Estero Planning, Zoning and Design Board (the Board). These Rules are intended to ensure a reasonable and consistent process for the Board to consider, hear and act upon certain matters under its authority, to promote the orderly and efficient conduct of public proceedings convened to decide matters before the Board, and to ensure the fair and impartial treatment of each person who appears before the Board.
- 1.2 Authority. These Rules are adopted pursuant to the authority of the Village of Estero Land Development Code, as may be amended from time to time (the “LDC”), Section 2-302.A.10.

SECTION TWO. MEMBERSHIP AND OFFICERS

- 2.1 The number, qualifications and appointment of members, their terms of office and the filling of vacancies shall be in accordance with the LDC. These Rules provide additional details regarding membership and officers.
- 2.2 All members shall hold membership until their successors are appointed, and all officers shall hold office until their successors are elected.
- 2.3 Officers shall be Chairman and Vice-Chairman. At the option of the Village Council, Co-Chairs may be appointed instead of a Chairman and Vice-Chairman. Co-Chairs, if appointed, shall each share equally the powers and duties of the Chairman set forth herein. The Co-Chairs at the first meeting following appointment shall establish a yearly schedule for the designated chairman for each meeting, and shall coordinate during the year with the Village Manager in the event

that deviations from the schedule for a particular meeting may be needed.

2.3.1. The Chairman, or the designated Co-Chair, shall preside at all meetings of the Board, shall decide all points of order or procedure at such meeting, and may appoint members to any committee of the Board. The Chairman, or the designated Co-Chair present at the meeting, shall sign all resolutions of the Board with respect to such meeting. The Chairman, and each Co-Chair, shall have the right to debate and vote on any issue before the Board, except as prohibited by law. The Chairman, or each Co-Chair, shall be the primary contact(s) with the Village Manager and Board staff on matters of administration and Village support to the Board. The Chairman, or each Co-Chair, shall be the chief spokesperson(s) for the Board, unless another member shall be delegated by the Board to speak for the Board or on any specific Board matters.

2.3.2 Unless the Village Council appoints Co-Chairs, a Vice-Chairman shall be elected by a majority vote of the Board whose office will run concurrent with the Chairman's office. The Vice-Chairman shall perform the duties of the Chairman in the absence or incapacity of the Chairman. In the absence of both the Chairman and the Vice-Chairman, or both Co-Chairs, and when a quorum is present, an interim Chairman shall be appointed from the members present in the alphabetical order of the members' last names.

2.4. A Clerk shall be appointed by the Village Manager to take minutes of all meetings, and shall attest to all resolutions of the Board. The Clerk shall provide the minutes to the Board with the agenda at the next regularly scheduled meeting, or as soon

after as reasonably possible. The Clerk shall administer oaths as necessary. The Clerk shall provide to attendees and collect Request to Speak cards during any meeting at which public comment may be heard, and provide them to the Chairman or delegated Co-Chair. The Clerk is not a member of the Board, does not count for a quorum of the Board, and may not vote.

- 2.5 Members shall conduct themselves according to the standards of ethical conduct required by the Florida Code of Ethics for Public Officers and Employees, Sections 112.311-112.326, Florida Statutes, as may be amended from time to time.

SECTION THREE. MEETINGS

- 3.1 Regular meetings shall be held by the Board on the second Tuesday of each month, at the Village Hall Council Chambers. A second meeting during a month may be scheduled by the Village Manager or his or her designee, on the fourth Tuesday of a given month at the foregoing time and place, when the Village Manager deems it necessary to conduct the business of the Board. The Board by vote may cancel or reschedule any such meetings as required by exigency of the Board. Notice of any change shall be promptly posted at the regular meeting place, at the Village administrative offices, and on the Village website.
- 3.2 Special meetings are meetings in addition to regular meetings, which are called for a particular purpose or purposes, or to consider applications or matters that may need more time than is normally available at the regular meeting. Only business relating to such purpose(s) may be discussed or transacted. A special meeting of the Board may be called by the Chairman or by consent of a majority of the members of the Board. A designated Co-Chair shall be considered the Chairman

for purposes of all remaining sections of these Rules.

- 3.3 All meetings of the Board shall be noticed at least seven (7) days' prior to the meeting. Notice shall be posted on the Village website, at the regular meeting place, and at the Village administrative offices. The agenda for each meeting along with website links to materials referenced in the agenda shall be posted with the notice. The notice shall include the day, time, place of the meeting and shall include the following language:

"If a person decides to appeal any decision made by the Board with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and for such purpose he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based."

- 3.4 All meetings shall have an imposed curfew of 9:00 p.m. to be printed in the agenda. If public hearings are before the Board, the public input portion of the public hearing then in progress before the Board must be completed if possible. If not, then it must be completed at the time the hearing is resumed at a later date. When public input is completed, or if no public hearing is occurring, the Board may then take either of two actions:

1. PROCEED AT THE MEETING

Upon a majority vote of the Board, the meeting may proceed as prescribed in the approved motion.

2. CONTINUE THE MEETING

The Board will continue the meeting to a certain future time and date not to

exceed thirty (30) calendar days.

- 3.5 Meetings of Board Committees shall be called by the Committee Chairman as may be required to conduct the business assigned to a specific committee. All such meetings shall be scheduled so as not to interfere with regular or special meetings, and shall be held at a time and place which will not discourage attendance by the public. At least seven (7) days' notice and the nature or purpose of the committee meeting shall be provided to members, the Board, the Village Manager, and the public.
- 3.6 The presence of a majority of the full membership of the Board shall constitute a quorum. The Chairman may wait up to thirty (30) minutes after the scheduled meeting time for a quorum to be present. A majority vote of the members of the Board present and constituting a quorum shall be necessary to decide any item of business requiring action by the Board. If a quorum of the Board is physically present at the Meeting, the remaining members of the Board may attend the meeting by electronic means, may fully participate in the meeting, and shall vote on all matters to come before the Board, except as otherwise provided by law.
- 3.7 All business shall be conducted in the same order as it appears on the agenda, except that by majority consent the Chairman may alter the order of items to be considered.
- 3.8 Consent Agenda. The Board may consider items on a Consent Agenda that do not require public hearings as may initially be determined by the Village Manager or the Manager's designee. A Board member at the meeting at the time the agenda is approved may request that any item on the Consent Agenda be removed and placed on the regular agenda. The Board shall vote on the removal of any consent item

agenda.

- 3.9 All persons who wish to address the Board on matters scheduled for a public hearing shall complete a “Request to Speak” form, on which each person shall list his or her name, home address, and the item on which that person wishes to speak. The Chairman may waive this requirement for members of the Village government or other Village Boards in an effort to save time. Any person who addresses the Board on a public hearing item shall verbally provide his or her name and any organization that the person represents, for the record. The Chairman may take measures to limit the presentation of information that is unrelated to the item or repetitive in nature, while giving due consideration of the importance of public input. Public comments shall be limited to five (5) minutes per speaker, unless the Chairman, or the Board by majority consent, allows a different time limit. The Board shall apply consistent time limits to all recognized to speak.

At each meeting, there shall be a period of time reserved for general public comment near the end of the meeting, which is in addition to the opportunity for the public to speak regarding an item for a public hearing. Each speaker shall complete a speaker form, identify himself or herself, and shall be limited to a time period as provided above in regard to public hearings.

- 3.10 Parliamentary procedure in a meeting of the Board is informal. However, if required to keep order, the Chairman may apply Robert's Revised Rules of Order to resolve any parliamentary issue not covered by these Rules.

3.10.1. MOTIONS

Actions by or decisions of the Board shall be determined by motions duly

moved and seconded and carried by a majority of the members present; provided, however, in the event a supermajority voting requirement is set forth in the Village Code of Ordinances or otherwise by law, said supermajority voting requirement shall control.

3.10.2. DEBATE AND DECORUM

The member whose motion brought a subject before the Board is entitled to open and close the debate, but not until every Board member wishing to speak has spoken. The Chairman cannot, however, avail himself or herself of this privilege after debate has been closed. Merely asking a question or making a suggestion is not considered as speaking. In debate a member must confine himself or herself to the question before the Board and avoid personalities.

If two-thirds (2/3) of the Board wish to close the debate they can do so by motion ordering either "the previous question" or "the closing of debate at a certain time." These motions require a two-thirds (2/3) vote, as they suspend fundamental right of every member to have every question fully discussed before it is finally disposed of.

3.10.3. VOTING

All members shall vote on all questions, unless that member has a conflict of interest as defined in Section 112.3143, Florida Statutes, as may be amended from time to time. No one can vote or participate in debate or discussion on an item at public hearing or a question or a proposal in which that member, or that member's family or business associate, has a direct or

indirect pecuniary interest. A member that has represented a party on an item before the Board shall not vote on that item. In either case, the member shall file a "Conflict of Interest" form available from the Clerk. The customary method of taking a vote for decisions on applications for development approval or recommendations to the Village Council shall be by roll call (yeas and nays). Other votes may be taken by show of hands or voice or by general consent.

A member has the right to change his or her vote up to the time the vote is formally announced. After that, he or she can make the change only by permission of the Board, which may be given by general consent; that is, by no members objecting when the Chairman inquires if anyone objects. If objection is made, a motion may be made to grant the permission, which motion is undebatable.

3.10.4. YEAS AND NAYS OR ROLL CALL

When a vote is to be taken by yeas and nays the Chairman puts the question in a form similar to this: "As many as are in favor of the question will, as their names are called, answer yes (or yea); those opposed will answer no (or nay)." The Chairman shall then direct the Clerk to call the roll. The Clerk shall call the roll, and each member as his or her name is called, shall answer yes or no.

A motion to approve, when defeated by a voice or a roll call vote, shall be considered as a motion to deny which was approved by a voice or roll call vote. A motion to deny, when defeated by a voice or a roll call vote,

shall not be considered as a motion to approve. In this instance there must be placed before the Board a motion to approve. On a tie vote the motion fails.

3.10.5 RECESS

The Chairman may call a recess for a reasonable time. If there is an objection, the Chairman is obliged to call for a motion which must be seconded to determine the result by a majority vote. This is not debatable, but is amendable as to time. The length of time of the recess and the time the meetings will be reconvened must be announced before recessing.

SECTION FOUR. REGULAR MEETING AGENDA ORDER

4.1 The standard form agenda which delineates the order of business to come before the Board during regular meetings shall be as follows:

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of Agenda
5. Business
 - a. Consent Agenda
 - b. Public Information Meeting(s)
 - c. Public Hearing(s)
 - d. Workshop(s)
6. Public Input
7. Board Communications
 - a. Committee Reports
 - b. Chairman's Report
 - c. Member Reports and Comments
 - d. New Business
8. Adjournment

SECTION FIVE. CONDUCT OF PUBLIC HEARINGS

Public hearings on applications for the Board's recommendation or approval as authorized by the LDC will be conducted as quasi-judicial hearings, except for recommendations for legislative amendments to either the Comprehensive Plan or the LDC. The order of conduct shall be as follows:

- 5.1 The Chairman or his designee shall announce the public hearing by reading the application number, stating the significant purpose of the hearing and identifying the applicant.
- 5.2 In the case of a quasi-judicial hearing, the Clerk or the Village Land Use Attorney shall administer the oath to the Village staff members and to those persons who intend to participate in the hearing.
- 5.3 In the case of a quasi-judicial hearing, the Board members shall disclose any ex-parte communications. Any member who has a conflict of interest shall declare the conflict.
- 5.4 In the case of a quasi-judicial hearing, the Chairman shall declare the rules under which the hearing will be conducted, which generally shall be as follows:
 - 5.4.1 The Chairman shall then introduce the staff representative from the Village who will present an overview and introduction to the case under consideration.
 - 5.4.2 The Applicant (if any) may present such relevant material, evidence and statements as the Applicant deems would be of assistance to the Board. With respect to hearings on applications for Development Orders, the electronic copy of the plan under consideration shall be available for public

view, unless the Chairman determines that the plan approval is for a minimal change that does not require electronic view, in which case paper materials sufficient to represent the matter under review shall be available for public view.

All required plans, pattern books, materials, reports, presentations, and the like, including, without limitation, expert testimony in the form of written reports and affidavits, to be submitted into evidence by the Applicant as a part of its presentation shall be provided to the Village Staff at least ten (10) days prior to the date scheduled for the public hearing. Such documents shall be distributed by the Staff to members of the Board along with the meeting agenda no later than seven (7) days prior to such public hearing date. No such documents shall be allowed into evidence without a vote of the Board, unless distributed within such time limits. If expert testimony on behalf of the Applicant is submitted in written form by report or affidavit as a part of its presentation, the author of such written materials shall be present at the public hearing for questions of the Board or cross-examination. For rezoning applications, the Applicant shall also provide to the Village Staff, at least eight (8) days prior to the date scheduled for the public hearing, a letter generally summarizing the issues on which it agrees with the Staff Report and stating all of the issues that in its opinion remain unresolved between the Applicant and the Village Staff concerning the Application (the "8-Day Letter").

5.4.3 During the Applicant's presentation in a quasi-judicial proceeding, only

members of the Board shall ask questions and, unless allowed by the Chairman, Board questions shall be held until the Applicant has completed its presentation. The Applicant's presentation shall be limited in time to one (1) hour in total, not to include any questions by the Board or other parties or cross-examination by the Village Staff or Land Use Counsel. The Chairman may extend such time period where fairness dictates.

- 5.4.4 After the Applicant's presentation, the Chairman shall then introduce the staff representative from the Village who will present relevant material, evidence and statements as the staff representative deems would be of assistance to the Board.

The staff shall have prepared a comprehensive report (the "Staff Report"), based upon material facts available to him or her, at least ten (10) days prior to the date scheduled for the hearing, which Staff Report shall be distributed to the Applicant and the Board along with the notice, the agenda for the meeting and the Applicant's 8-Day Letter, at least seven (7) days prior to such public hearing date.

All public input (by mail or electronic means) received by the Staff as of 12:00 p.m. noon on the Monday prior to the hearing shall be distributed to the Board by 5:00 pm on the Monday prior to the public hearing. All such public input once distributed shall be deemed to be part of the record in such public hearing. No public input by mail or electronic means shall be presented by the Staff to the Board if received after such time and date.

As part of the Staff presentation, the staff shall present a

recommendation to the Board, and summarize differences, if any, between the Applicant's proposal and the staff recommendations. The staff may dispute the Applicant's description of the issues in the Applicant's 8-Day Letter.

- 5.4.5 After the staff's presentation, the Chairman shall open up the public hearing for presentation by the public to the Board. During such presentations in a quasi-judicial hearing, only members of the Board shall ask questions.
- 5.4.6 Any individual who presents written or oral testimony on behalf of a civic association, homeowners association, civic entity, or other organization must state for the record at the outset of his or her presentation whether the organization has authorized the substance of the testimony. The Chairman may allow persons who represent such organizations additional time for presentation.
- 5.4.7 After the Applicant, staff, and all persons have made their presentations in a quasi-judicial hearing, the Board shall determine, based on the laws of the State of Florida, which persons, if any, in addition to the Applicant and the Village staff, have standing and shall be considered parties in the matter. All such parties or their counsel shall be permitted to cross-examine participants in the hearing, including the staff and the Applicant, in the order of their appearance at the hearing. Anyone who testifies at a quasi-judicial hearing shall remain until the conclusion of the hearing in order to be available for cross examination.
- 5.4.8 Each speaker will give his or her name, address and shall disclose any

relationship he or she may have with the subject matter under consideration.

Each speaker shall be limited to five (5) minutes unless the Board shall waive or vary such requirement.

5.4.9 Order and decorum shall prevail and be enforced by the Chairman. The hearing shall not be allowed to be conducted as a debate or a political forum.

5.4.10 Any person may be represented by an attorney or other spokesman. No person serving as a member of the Board may represent a person as an Applicant before the Board, and such member of the Board shall be required to step down from the dais during any such hearing, and may not participate in discussion as a Board member on the item for which the Board member represented a party, nor may the Board member vote upon such item. In such case, the Board member also must file a conflict of interest form with the Board Clerk.

5.4.11 Should provisions of the Charter, Ordinances of the Village or other law delineate matters which shall be considered in reaching a decision, the presentation to the Board and the deliberations of the Board shall be reasonably restricted to such considerations.

5.4.12 The Applicant (if any) may, after public testimony and before the close of the quasi-judicial hearing, present a brief rebuttal with a time limit to be determined by the Board.

5.4.13 At any time after convening a hearing, the Board may recess the hearing and continue it to another date, place and time. Any Board member may move to continue a hearing. A motion to recess the hearing and continue it

at another time must be approved by a vote of a majority of the members of the Board present and voting. If the date, time and place of a continued hearing are not announced during the hearing that is continued, the date, time and place of the rescheduled hearing must be noticed as for the original hearing.

- 5.5 The Chairman shall close the public hearing and then open the floor for Board member discussion, motions, debate and vote for its decision or its report and recommendation to the Village Council, as applicable. Any motion to approve an Application with conditions must specify the conditions to which the approval is subject.
- 5.6 At the discretion of the Chairman, with the consent of a majority of the other Board Members who are present, the Applicant or members of the public or staff, or any or all of them, may be requested or permitted to comment further upon the matter being considered.
- 5.7 In making its recommendation or decision, the Board shall consider the evidence in the record, the public's input and any recommendations of the Village staff. The Chairman, with the advice of the Board attorney, may rule on any objections to admission of any irrelevant or immaterial evidence, but the public hearing need not conform strictly to the rules of evidence or procedure that govern judicial proceedings. On all decisions made in a quasi-judicial proceeding, the Board's decision shall be based on competent substantial evidence in the record of the proceeding, and the applicable law. Should any application be denied, the Board shall state findings in regard to the criterion or criteria that are not met.

- 5.8 The Board's decision on matters for which it is the final decision maker shall be embodied in a Resolution. A Resolution is considered rendered when signed by the Chairman and attested by the Clerk.
- 5.9 Action of the Board may be reconsidered at the same meeting or the very next meeting only upon motion by a Board member who voted on the prevailing side of the question and with a concurrence of a majority of those present. Adoption of a motion to reconsider shall rescind the action reconsidered. A motion to reconsider, whenever made, shall not be considered unless at least the same number of Board members is present as participated in the vote under consideration, or upon affirmative vote of the majority of the membership of the Board.

SECTION SIX. PUBLIC INFORMATION MEETINGS

- 6.1 Public information meetings held pursuant to LDC Section 2-401 shall be held whenever possible during a regular meeting. No quorum shall be necessary for the conduct of a public information meeting.
- 6.2 The party whose proposed project is the subject of a public information meeting shall be responsible for the submission of relevant documents and other information to the Village Clerk so that the documents and information may be included in the agenda for the meeting. Documents and information shall include digital copies that may be electronically displayed at the public information meeting.
- 6.3 Representatives are encouraged to present proposed projects at a conceptual stage to provide the public with sufficient information to anticipate issues related to the proposal. The scheduling of a public information meeting shall be at the discretion of the Village Director of Community Development. Any questions by Board

members regarding the proposed project shall not bind the Board or any member of the Board to approve or disapprove the project when it is considered by the Board in a quasi-judicial hearing; it being understood that any questions are preliminary and that the nature of the discussion is that of information gathering and not a decision making discussion.

6.4 The order of presentation at a public information meeting shall be as follows:

6.4.1 The Village Director of Community Development shall present a brief overview of the proposal;

6.4.2 The representative for the proposed project shall present information to the public and the Board regarding the proposal;

6.4.3 The Board members may ask questions of the representative;

6.4.4 Members of the public may speak, including asking questions, for a period of three (3) minutes each, or for a time as allowed in the discretion of the Chairman; and

6.4.5 The Board may further discuss the proposal and ask questions as appropriate.

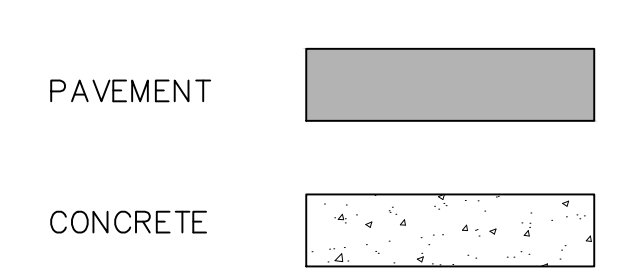
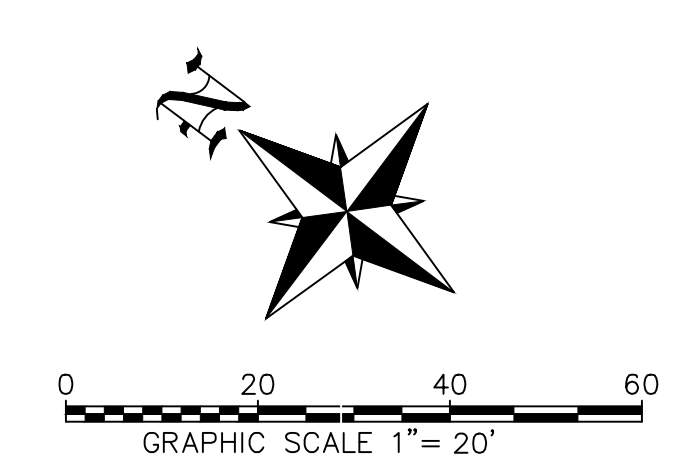
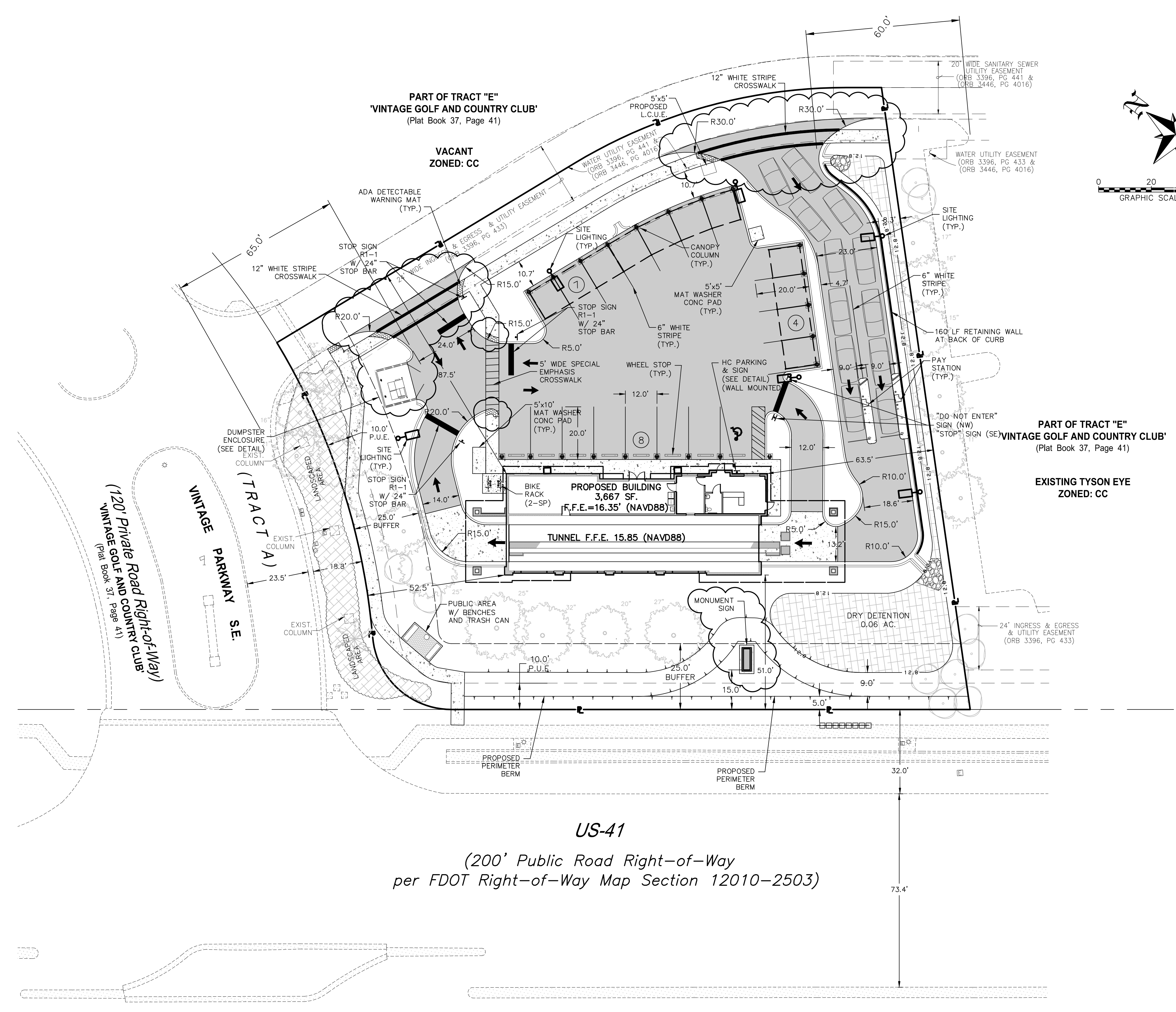
SECTION 7. AMENDMENTS

These Rules of Procedure may be amended at any regular meeting of the Board by and affirmative vote of a majority plus one (1) of the total number of members serving at that time. An amendment, having been adopted, goes into effect immediately upon its adoption, unless the motion to adopt specifies a time for its going into effect.

SECTION 8. EFFECTIVE DATE

These Rules of Procedure shall become effective on _____, 2021.

CLEAN MACHINE CARWASH ESTERO			
LAND DEVELOPMENT AREAS:			
TOTAL PROJECT AREA:	46,351 SF.	1.06 AC.	(100%)
IMPERVIOUS:	27,194 SF.	0.62 AC.	(58.49%)
BUILDING	3,590 SF.	0.08 AC.	(7.55%)
PAVEMENT	16,097 SF.	0.37 AC.	(34.91%)
EX. PAVEMENT (ROAD)	2,976 SF.	0.07 AC.	(6.60%)
CONC/SW	4,531 SF.	0.10 AC.	(9.43%)
PERVIOUS:	19,157 SF.	0.44 AC.	(41.51%)
GREEN SPACE	19,157 SF.	0.44 AC.	(41.51%)



SITE DEVELOPMENT REGULATIONS (PER CC ZONING)

	REQUIRED	PROVIDED
MIN. LOT SIZE (SF)	20,000	46,331
MIN. LOT WIDTH (FT)	100	211.59
MIN. LOT DEPTH (FT)	100	305.01
SETBACKS		
STREET (US-41) (FT)	50	51.0
STREET (INTERNAL) (FT)	20	52.5
SIDE (FT)	15	63.5
REAR (FT)	25	87.5
WATER BODY (FT)	NA	NA
MAX LOT COVERAGE (%)	40	7.55
MAX HEIGHT (FT)	35	34'-4"

PARKING CALCULATIONS

REQUIRED = 1.5 SPACES PER STALL
 PROVIDED = 19 SPACES (INCLUDING 1 HC SPACE)

BICYCLE PARKING

REQUIRED = 5 SPACES OF PARKING OR 2 MIN.
 PROVIDED = 2 SPACES

STACKING

REQUIRED = 5 SPACES
 PROVIDED = 12 SPACES

DUMPSTER CALCULATIONS

REQUIRED = BUILDING AREA 0-5,000 SF. = 60 SF.
 PROVIDED = 84 SF. 24 SF. RECYCLABLE

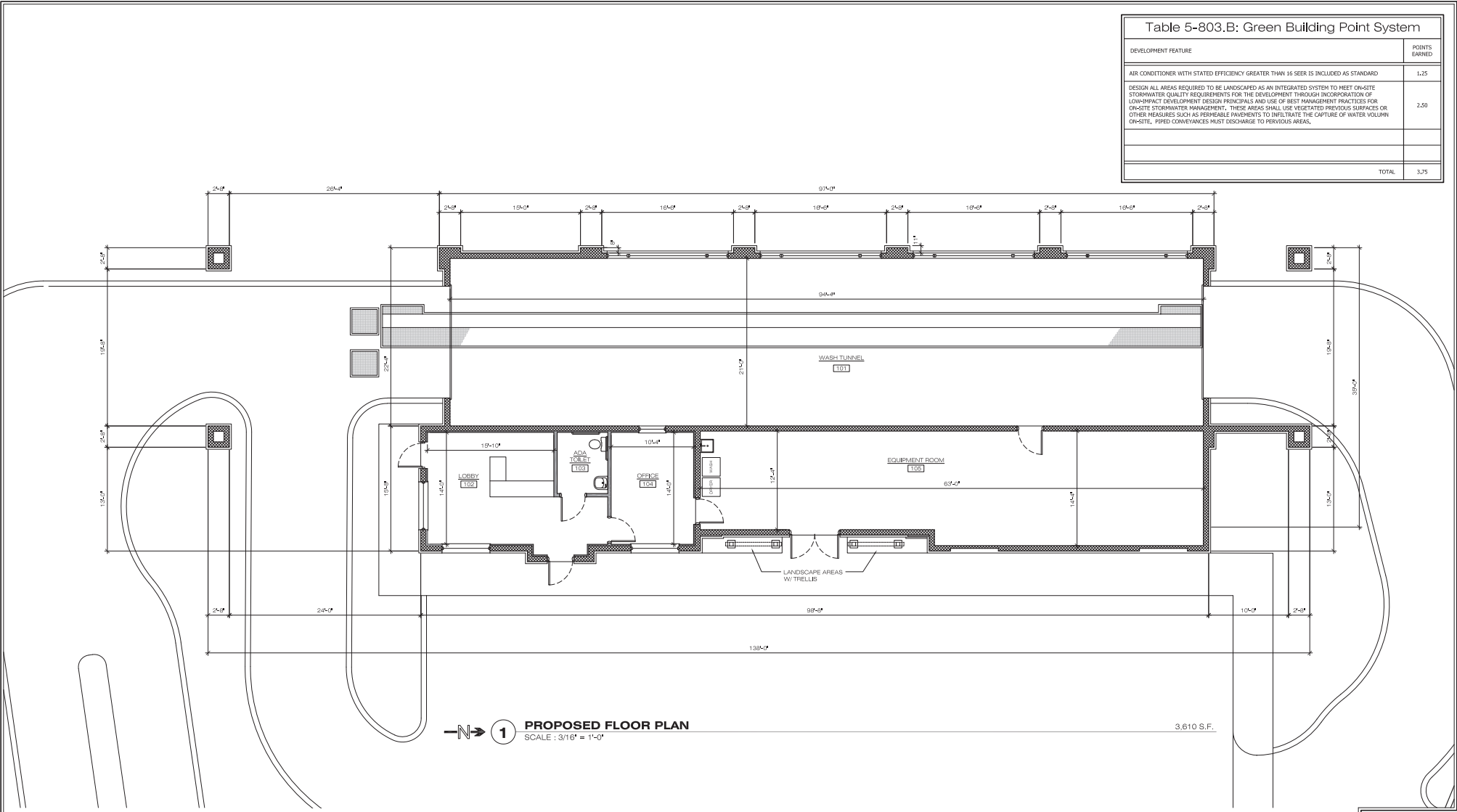
US-41
 (200' Public Road Right-of-Way
 per FDOT Right-of-Way Map Section 12010-2503)

PREPARED FOR:
CLEAN STREAK VENTURES
 222 S. WESTMONTE DR. SUITE 251
 ALTAMONTE SPRINGS, FL. 32714

BANKS ENGINEERING
 Professional Engineers, Planners, & Land Surveyors
 Serving The State Of Florida
 10511 SIX MILE CYPRESS PARKWAY
 FORT MYERS, FLORIDA 33966
 PHONE: (239) 939-5490 FAX: (239) 939-2523
 ENGINEERING LICENSE # EB 6469
 SURVEY LICENSE # LB 6690
 WWW.BANKSENG.COM

SITE PLAN						
CLEAN MACHINE ESTERO						
VILLAGE OF ESTERO, FLORIDA						
DATE	PROJECT	DRAWING	DESIGN	DRAWN	CHECKED	SCALE
1/18/2021	8502	SITE PLAN	DBA	BEI	DBA	1"=20'
						SHEET 04

Table 5-803.B: Green Building Point System	
DEVELOPMENT FEATURE	POINTS EARNED
AIR CONDITIONER WITH STATED EFFICIENCY GREATER THAN 16 SEER IS INCLUDED AS STANDARD	1.25
DESIGN ALL AREAS REQUIRED TO BE LANDSCAPED AS AN INTEGRATED SYSTEM TO MEET ON-SITE STORMWATER QUALITY REQUIREMENTS FOR THE DEVELOPMENT THROUGH INCORPORATION OF LOW-IMPACT DEVELOPMENT DESIGN PRINCIPALS AND USE OF BEST MANAGEMENT PRACTICES FOR ON-SITE STORMWATER MANAGEMENT. THESE AREAS SHALL USE VEGETATED PERVIOUS SURFACES OR OTHER MEASURES SUCH AS PERMEABLE PAVEMENTS TO INFILTRATE THE CAPTURE OF WATER VOLUMEN ON-SITE. PAVED CONVEYANCES MUST DISCHARGE TO PERVIOUS AREAS.	2.50
TOTAL	3.75



1 PROPOSED FLOOR PLAN
SCALE : 3/16" = 1'-0"

Stephen Seaton
Digitally signed by Stephen Seaton
DN: c=US, st=Florida, In=Naples, ou=Stephen Seaton, cn=Stephen Seaton
Date: 2021.03.31 09:55:09 -0400

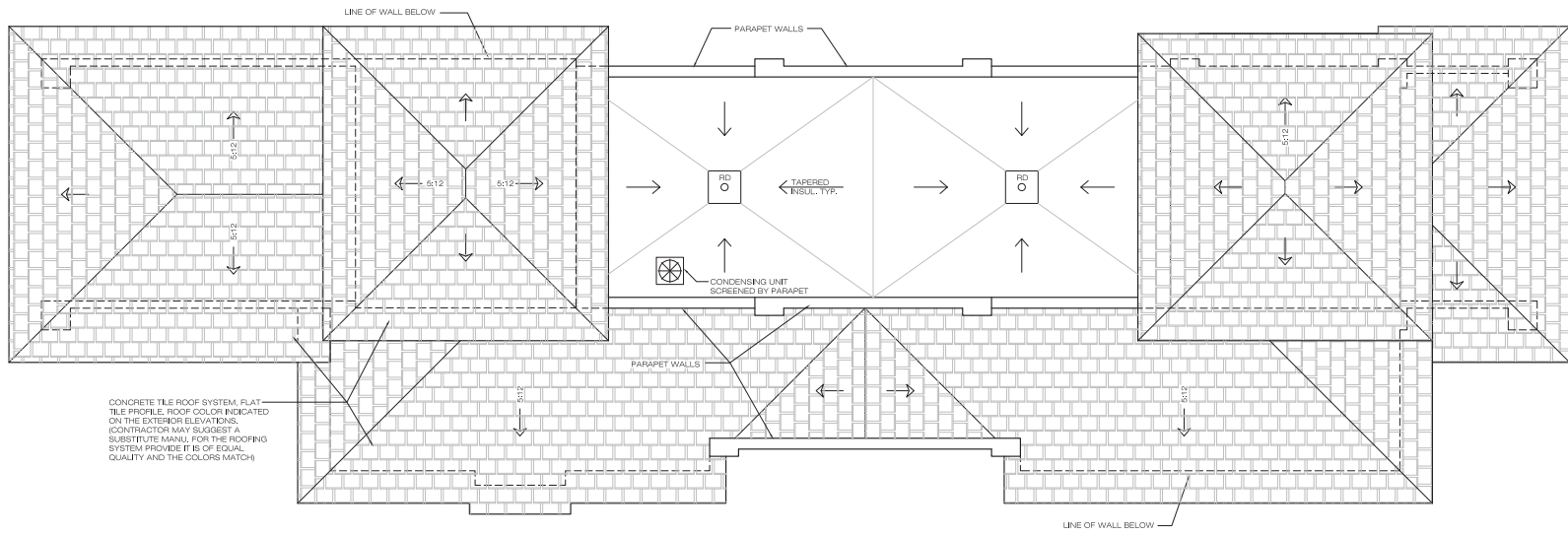
LINEA
DESIGN NETWORK
ARCHITECTURAL & INTERIOR DESIGN
2066 Morning Sun Lane
Naples, Florida 34119
License No. AR17502
ph: (239) 404-5475 email: stephen@lineadn.com

DESCRIPTION	DATE	DESCRIPTION	DATE
DD SUBMISSION	JANUARY 30, 2021		
DD REVISIONS	MARCH 31, 2021		

Clean-Machine Car Wash Facility
US 41 & Vintage Parkway
Estero, Florida 33928

NOTES
© Copyright 2021
Linea Design Network
These drawings and the contents herein are the sole property of Linea Design Network and no portion of any may be printed or copied without the express permission of Linea Design Network.

DRAWN BY: SMS
SHEET DESCRIPTION: PROPOSED FLOOR PLAN
SHEET NO. **A-1**
PHASE: DEVELOPMENT ORDER



1 PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"

LINEA
DESIGN NETWORK
ARCHITECTURAL & INTERIOR DESIGN
2056 Morning Sun Lane
Naples, Florida 34119
License No. AR17502
ph: (239) 404-5475 email: stephen@lineadn.com

DESCRIPTION	DATE
DD SUBMISSION	JANUARY 30, 2021
DD REVISIONS	MARCH 31, 2021

DESCRIPTION	DATE

**Clean-Machine
Car Wash Facility**
US 41 & Vintage Parkway
Estero, Florida 33928

NOTES -

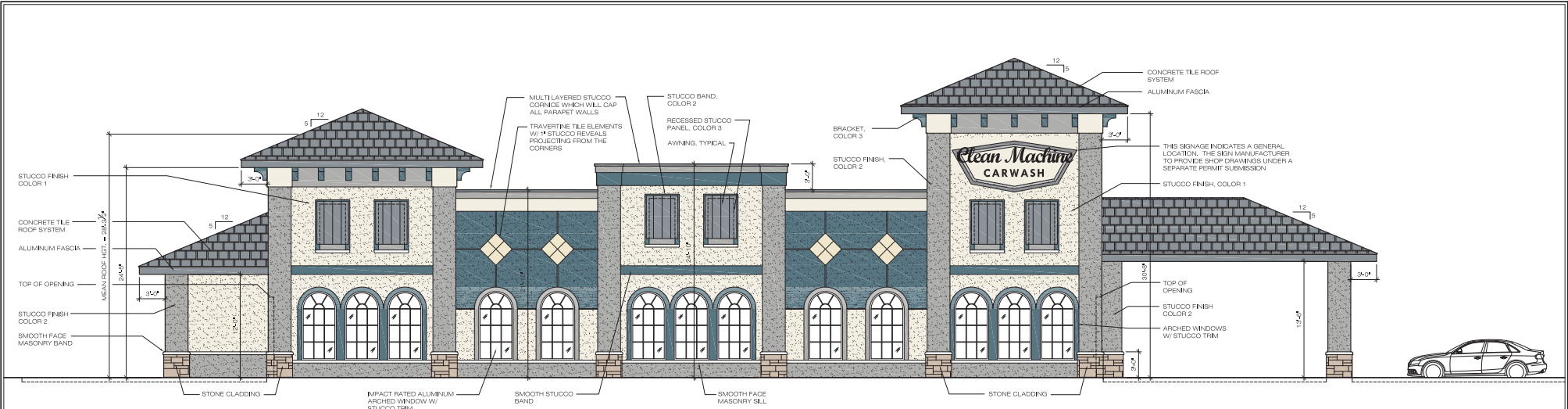
© Copyright 2021
Linea Design Network
These drawings and the contents herein are the sole property of Linea Design Network and no portion of any may be printed or copied without the express permission of this design office.

DRAWN BY: SMS

SHEET DESCRIPTION:
**PROPOSED
ROOF PLAN**

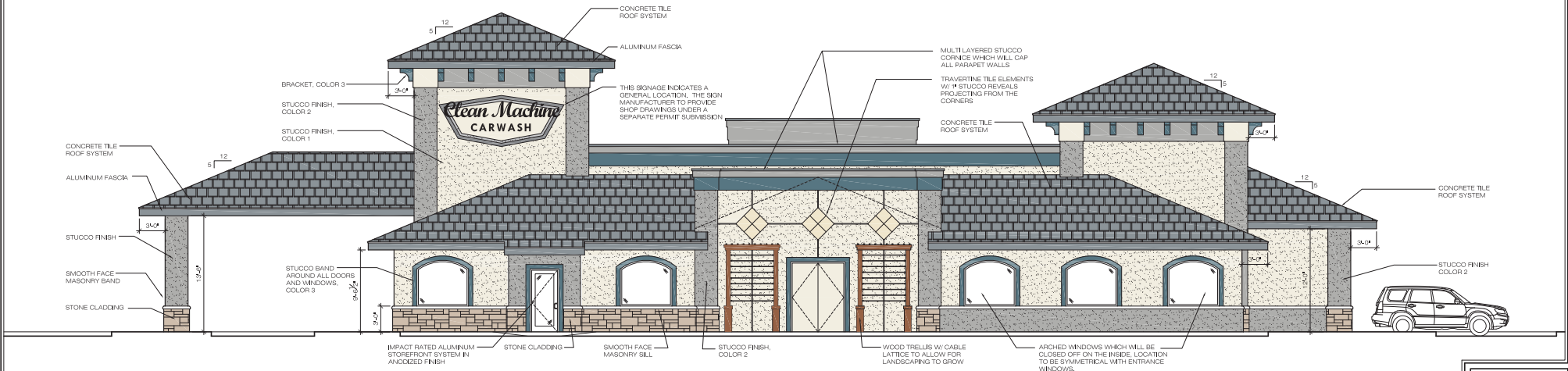
SHEET NO.
A-2

PHASE:
DEVELOPMENT
ORDER



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"

(COLOR OPTION 1)



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"

(COLOR OPTION 1)

LINEA
DESIGN NETWORK
ARCHITECTURAL & INTERIOR DESIGN
2056 Morning Sun Lane
Naples, Florida 34119
License No, AR17502
ph: (239) 404-5475 email: stephen@ltheadn.com

DESCRIPTION	DATE
DD SUBMISSION	JANUARY 30, 2021
DD REVISIONS	MARCH 31, 2021

DESCRIPTION	DATE

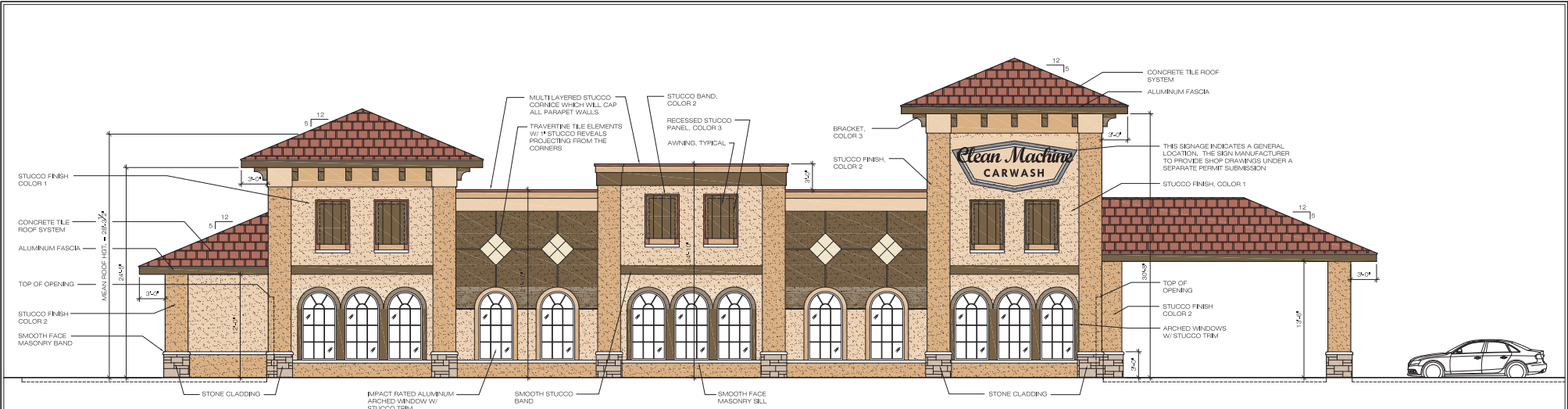
Clean-Machine
Car Wash Facility
US 41 & Vintage Parkway
Estero, Florida 33928

NOTES REFER TO SHEET A-4 FOR COLOR & MATERIAL DESCRIPTIONS

© Copyright 2021
Linea Design Network
These drawings and the contents herein are the sole property of Linea Design Network and no portion of any may be printed or copied without the express permission of this design office.

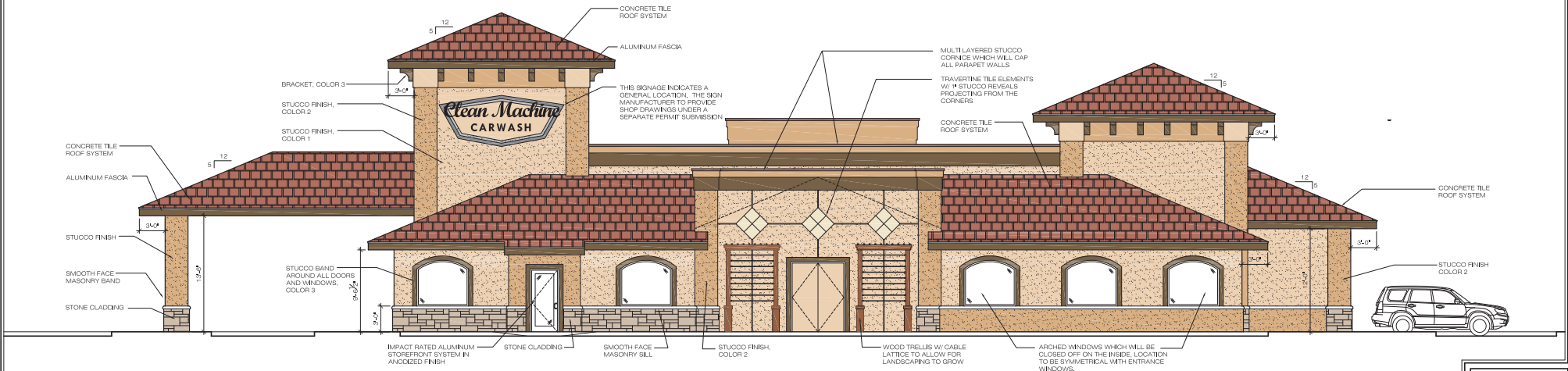
DRAWN BY: SMS
SHEET DESCRIPTION:
PROPOSED EXTERIOR ELEVATIONS
COLOR OPTION 1
SHEET NO.
A-3a
PHASE:
DEVELOPMENT ORDER

S:\Projects\Clean Machine-000\Clean Machine-40-3 Proposed Elevations.dwg, 3/11/2021 9:25:54 AM, Adobe PDF



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"

(COLOR OPTION 2)



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"

(COLOR OPTION 2)

LINEA
DESIGN NETWORK
ARCHITECTURAL & INTERIOR DESIGN
2056 Morning Sun Lane
Naples, Florida 34119
License No. AR17502
ph: (239) 404-5475 email: stephen@lineadn.com

DESCRIPTION	DATE
DD SUBMISSION	JANUARY 30, 2021
DD REVISIONS	MARCH 31, 2021

DESCRIPTION	DATE

Clean-Machine
Car Wash Facility
US 41 & Vintage Parkway
Estero, Florida 33928

NOTES REFER TO SHEET A-4 FOR COLOR & MATERIAL DESCRIPTIONS

© Copyright 2021
Unless Design Network
These drawings and the contents herein are the sole property of Linea Design Network and no portion of any may be printed or copied without the express permission of this design office.

DRAWN BY: SMS
SHEET DESCRIPTION:
PROPOSED EXTERIOR ELEVATIONS
COLOR OPTION 2
SHEET NO.
A-3b
PHASE:
DEVELOPMENT ORDER

DATE	DESCRIPTION

DATE	DESCRIPTION
JANUARY 26, 2021	ISSUED FOR PERMIT
MARCH 31, 2021	

NOTES

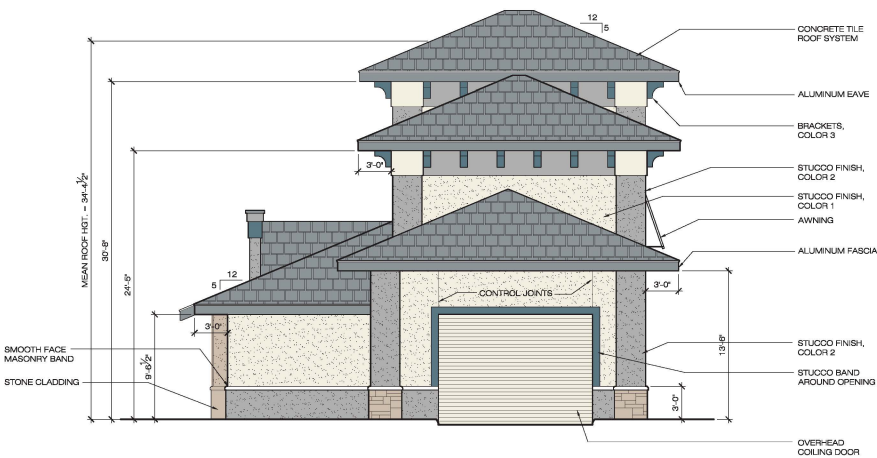
© Copyright 2021
 Linea Design Network
 These drawings and the contents herein
 are the sole property of Linea Design
 Network and no portion of any may be
 printed or copied without the express
 permission of this design office.

DRAWN BY: SMS
 SHEET DESCRIPTION:
**PROPOSED EXTERIOR
 ELEVATIONS AND
 COLORS - OPTION 1**

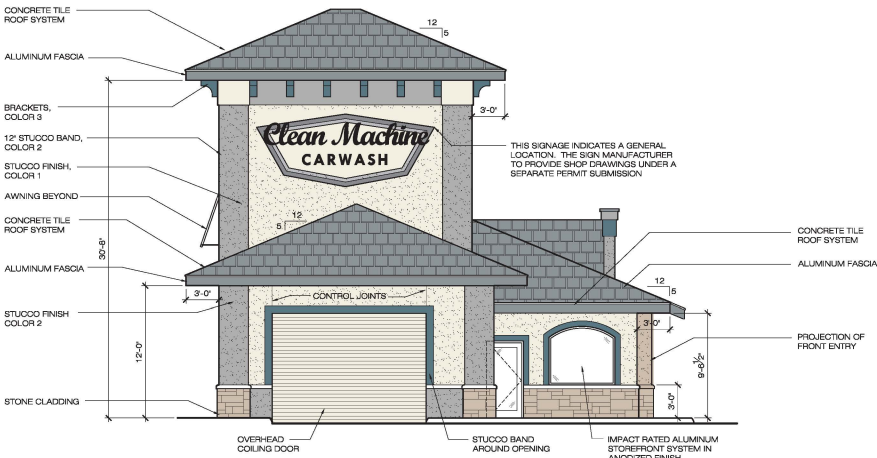
SHEET NO.

A-4a

PHASE:
**DEVELOPMENT
 ORDER**



1 NORTH ELEVATION
 SCALE : 3/16" = 1'-0" (COLOR OPTION 1)



2 SOUTH ELEVATION
 SCALE : 3/16" = 1'-0" (COLOR OPTION 1)

COLOR LEGEND:

COLOR 1	BEHR 12u "SWISS COFFEE"	ROOF AWNING	CONCRETE TILE & METAL STANDING SEAM ROOFING, LIGHT / WARM GRAY COLOR
COLOR 2	BEHR N520-31t "FLANNEL GRAY"	STONE	VARIOUS STONE COLORS, REFER TO SAMPLE IMAGE
COLOR 3	BEHR MQ5-26d "HAMPTON SURF"	TILE	NATURAL STONE, REFER TO SAMPLE IMAGE

TILE VENEER



TRAVERTINE TILE
 THIS SAMPLES MAY NOT REPRESENT
 THE FINAL COLOR DEPENDING ON
 THE MANUFACTURER OF THE STONE



METAL ROOF FOR AWNING
 STANDING SEAM METAL PANEL
 FOR THE THE AWNINGS -
 COLOR "DOVE GRAY"

STONE VENEER



ELDORADO STONE,
 SERIES "EUROPEAN LEDGE"
 PROFILES "ZINC"
 THIS SAMPLE MAY NOT REPRESENT
 THE FINAL COLOR DEPENDING ON THE
 MANUFACTURER OF THE STONE

MAIN ROOF



THE ROOF WILL BE A FLAT CONCRETE
 TILE WITH A WARM GRAY COLOR

3 COLORS & MATERIALS

DATE	DESCRIPTION

DATE	DESCRIPTION
JANUARY 26, 2021	ISSUED FOR PERMIT
MARCH 31, 2021	

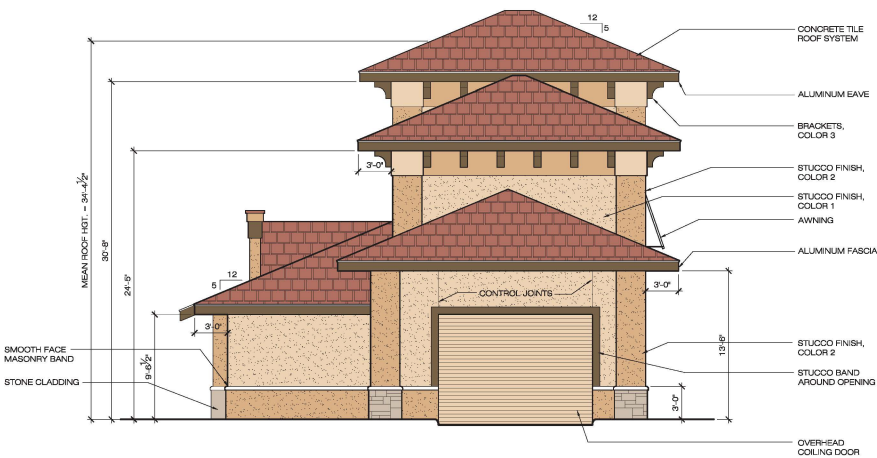
DATE	DESCRIPTION

© Copyright 2021
 Linea Design Network
 These drawings and the contents herein
 are the sole property of Linea Design
 Network and no portion of any may be
 printed or copied without the express
 permission of this design office.

DRAWN BY: **SMS**
 SHEET DESCRIPTION:
**PROPOSED EXTERIOR
 ELEVATIONS AND
 COLORS - OPTION 2**

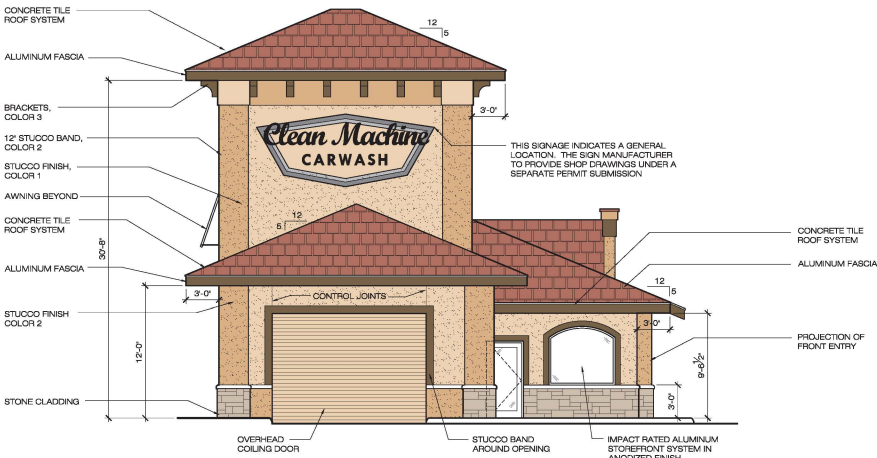
SHEET NO.
A-4b

PHASE:
**DEVELOPMENT
 ORDER**



1 NORTH ELEVATION
 SCALE : 3/16" = 1'-0"

(COLOR OPTION 2)



2 SOUTH ELEVATION
 SCALE : 3/16" = 1'-0"

(COLOR OPTION 2)

COLOR LEGEND:

	COLOR 1 SHERWIN WILLIAMS SW7722 'TRAVERTINE'		ROOF AWNING CONCRETE TILE & METAL STANDING SEAM ROOFING, TERRA COTTA COLOR
	COLOR 2 SHERWIN WILLIAMS SW7679 'GOLDEN GATE'		STONE VARIOUS STONE COLORS, REFER TO SAMPLE IMAGE
	COLOR 3 BENJAMIN MOORE 2098-30 'DARK NUT BROWN'		TILE NATURAL STONE, REFER TO SAMPLE IMAGE

TILE VENEER



TRAVERTINE TILE
 THIS SAMPLES MAY NOT REPRESENT THE FINAL COLOR DEPENDING ON THE MANUFACTURER OF THE STONE



METAL ROOF FOR AWNING
 STANDING SEAM METAL PANEL FOR THE THE AWNINGS - COLOR 'TERRA COTTA'

STONE VENEER



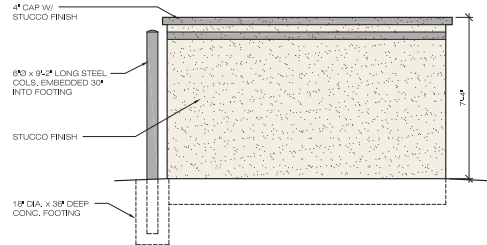
ELDORADO STONE, SERIES 'RUSTIC LEDGE' PROFILES 'SAWTOOTH'
 THIS SAMPLE MAY NOT REPRESENT THE FINAL COLOR DEPENDING ON THE MANUFACTURER OF THE STONE

MAIN ROOF

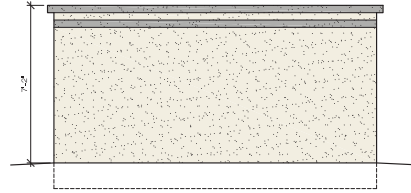


THE ROOF WILL BE A FLAT CONCRETE TILE WITH A TERRA COTTA COLOR

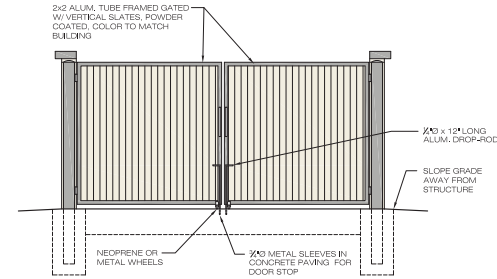
3 COLORS & MATERIALS



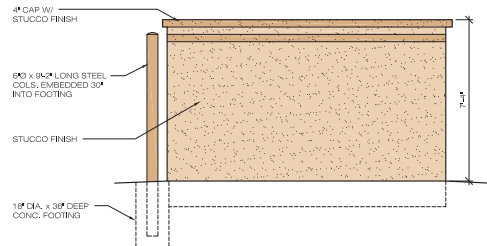
DUMPSTER SIDE ELEVATION
COLOR SCHEME - OPTION 1



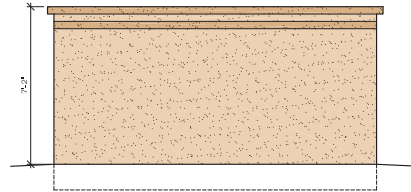
DUMPSTER REAR ELEVATION
COLOR SCHEME - OPTION 1



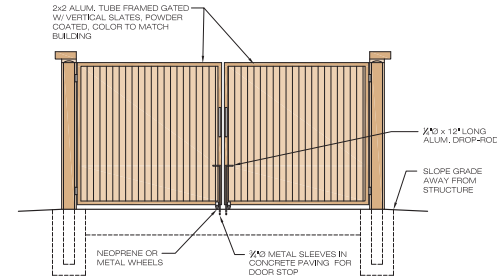
DUMPSTER FRONT ELEVATION
COLOR SCHEME - OPTION 1



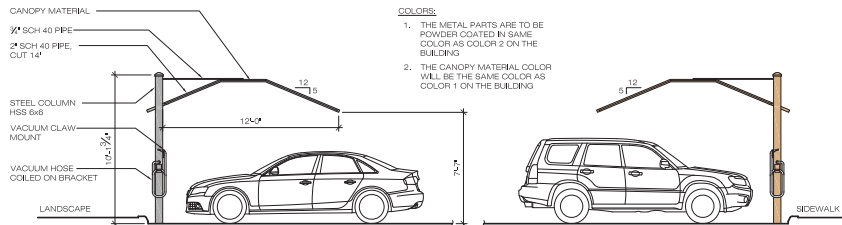
DUMPSTER SIDE ELEVATION
COLOR SCHEME - OPTION 2



DUMPSTER REAR ELEVATION
COLOR SCHEME - OPTION 2



DUMPSTER FRONT ELEVATION
COLOR SCHEME - OPTION 2



CANOPY ELEVATION - OPTION 1

CANOPY ELEVATION - OPTION 2

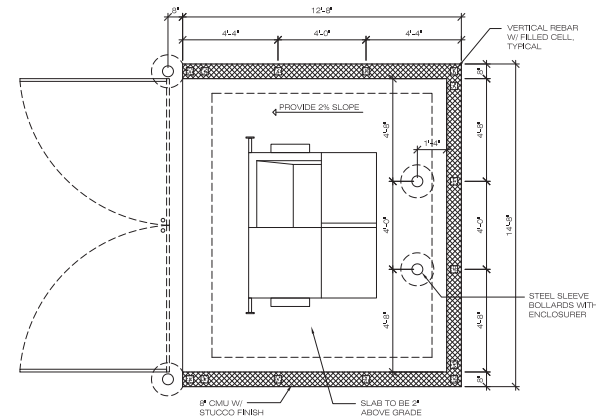
- COLORS**
1. THE METAL PARTS ARE TO BE POWDER COATED IN SAME COLOR AS COLOR 2 ON THE BUILDING
 2. THE CANOPY MATERIAL COLOR WILL BE THE SAME COLOR AS COLOR 1 ON THE BUILDING

COLOR LEGEND - OPTION 1:

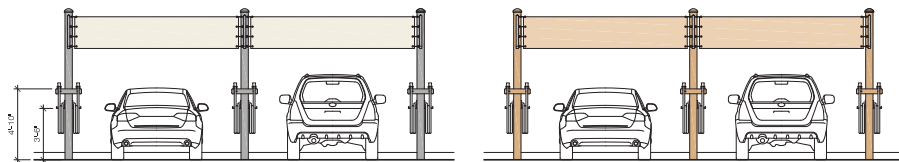
- COLOR 1** BEHR 12U "SWISS COFFEE"
- COLOR 2** BEHR N520-3m "FLANNEL GRAY"

COLOR LEGEND - OPTION 2:

- COLOR 1** SHERWIN WILLIAMS SW7722 "TRAVERTINE"
- COLOR 2** SHERWIN WILLIAMS SW7679 "GOLDEN GATE"



2 DUMPSTER PLAN
SCALE: 3/8" = 1'-0"



CANOPY ELEVATION - OPTION 1

CANOPY ELEVATION - OPTION 2

1 CANOPY ELEVATIONS
SCALE: 1/4" = 1'-0"

LINEA
DESIGN NETWORK
ARCHITECTURAL & INTERIOR DESIGN
2066 Morning Sun Lane
Naples, Florida 34109
Tel: (239) 434-1702
Fax: (239) 404-5475 email: stephen@linead.com

Clean-Machine
Car Wash Facility
US 41 & Vintage Parkway
Estero, Florida 33928

DATE	DESCRIPTION
MARCH 14, 2021	DO NOT SCALE

NOTES

© Copyright 2021
Linea Design Network
These drawings and the contents herein are the sole property of Linea Design Network and no portion of any may be printed or copied without the express permission of this design office.

DRAWN BY: SMS
SHEET DESCRIPTION: CANOPY ELEVATIONS AND COLOR OPTIONS
SHEET NO. **A-5**
PHASE: DEVELOPMENT ORDER



DMJA

DAVID M. JONES, JR.
AND ASSOCIATES, INC.

LANDSCAPE ARCHITECTS
AND PLANNERS

2221 McGregor Blvd.
Fort Myers, Florida 33901
PHONE: (239) 337-5525
FAX (239) 337-4494

4161 Tamiami Trail, Bldg. 5, Unit 501
Punta Gorda, Florida 33950
PHONE: (941) 639-2450
FAX (941) 639-2438
L.A. LICENSE: LC CO00063

PROJECT INFORMATION:

**CLEAN
MACHINE CAR
WASH**

Village of Estero,
Florida

PREPARED FOR:
Banks Engineering
10511 Six Mile Cypress
Parkway
Fort Myers, FL 33966
Tel: 239-939-5490
Fax: 239-939-2523

CONSULTANT:

DESIGN PROFESSIONAL:

GREGORY J. DISERIO, RLA
RLA NO. 840 DATE:
STATE OF FLORIDA

PROJECT NO.	220032
PROJECT MGR.	Greg Diserio
FILE NAME	CLEAN MACHINE LS
DESIGNER	GJD
CAD TECH	GJD
CHECKED BY	GJD
ISSUED FOR	DEVELOPMENT ORDER SUBMITTAL

ISSUED DATE: JAN. 25, 2021
REVISIONS:
APRIL 1, 2021 RAI 1 RESPONSE

SHEET TITLE:
**SITE LANDSCAPE
CALCULATIONS**

SHEET NUMBER:
L-1

SITE DEVELOPMENT DATA

TOTAL SITE = 1.06 Ac. (46,349 S.F.)

OPEN SPACE REQUIREMENTS

30% OPEN SPACE REQUIRED
46,349 X 30% = 13,904 SF REQUIRED.
OPEN SPACE (PER HATCHING) = 14,217 SF PROVIDED PER HATCHING.

INDIGENOUS OPEN SPACE REQUIREMENTS

NOT APPLICABLE

HERITAGE TREES

HERITAGE TREES EXIST ON THE SITE AS SHOWN
1 HERITAGE TREES SCHEDULED FOR REMOVAL SHALL BE REPLACED WITH 20' TALL TREES OF SIMILAR SPECIES.

GENERAL TREE CREDITS

2 OAKS @ 5:1 = 10 GENERAL CREDITS
2 OAKS @ 1:1 = 2 BUFFER CREDITS
6 PALMS @ 1:2 = 3 BUFFER CREDITS
1 PALMS @ 1:1 = 1 GENERAL TREE CREDITS

GENERAL TREE REQUIREMENTS

1 TREE PER 3,500 SF OF SITE AREA
46,349 / 3,500 = 13 TREES REQUIRED AND 13 PROVIDED.
NOTE: 16' TREES MAY BE USED AT A 2:1 CREDIT FOR GENERAL TREES. GENERAL TREE REQUIREMENTS MAY NOT BE REDUCED MORE THAN 50%. A MAXIMUM OF 7 - 16' TREES MAY BE USED AT 2:1 CREDIT TOWARDS GENERAL TREES (CREDIT TRINGS, IF ANY, DEPICTED IN PLANT LIST)

INTERNAL PARKING LANDSCAPE REQUIREMENTS

INTERNAL LANDSCAPE AREAS OF 10% OF THE PARKING AREA IS REQUIRED = 15,440 SF X 10% = 1,544 SF MINIMUM REQUIRED AND 1,880 SF PROVIDED PER HATCHING.
MIN. 1 TREE PER 250 SF.
1,544 / 250 = 6 TREES REQUIRED AND 6 PROVIDED
NO MORE THAN 10% OF PLANTING AREA TO BE IN TURF.
APPROXIMATELY 195 SHRUBS OR GROUNDCOVERS ARE PROVIDED.

WATER MANAGEMENT PLANTING REQUIREMENTS

PER SECTION 33-111(d) OF SUBDIVISION 1 OF ESTERO PLANNING COMMUNITY REGULATIONS:
DETENTION BASINS MUST BE PLANTED WITH WETLAND SPECIES AT 36" OC THROUGHOUT THE BASIN.

BUILDING PERIMETER PLANTING REQUIREMENTS

3,675 SF. BLDG X 10% = 367 SF OF BUILDING PERIMETER PLANTING REQUIRED AND 700 PROVIDED PER HATCHING.

BUFFER REQUIREMENTS:

BUFFER SHRUBS TO BE IN DOUBLE ROW, SO AS TO FORM 36" HIGH CONTINUAL VISUAL SCREEN WITHIN ONE YEAR AFTER TIME OF PLANTING.

PROJECT EAST BUFFER

COM TO R.O.W.
20' MINIMUM WIDTH, TYPE 'D' BUFFER REQUIRED, W/ 5 TREES AND 66 SHRUBS PER 100 LINEAL FOOT.
185 LF. (EXCLUDING EASEMENTS & ACCESS) / 100 X 5 = 9 TREES REQUIRED AND 9 PROVIDED.
185 LF / 3 X 2 = 124 SHRUBS REQUIRED AND 124 PROVIDED.
REQUIRED TREES AND SHRUBS LABELED AS (E.B.).

PROJECT SOUTH BUFFER

COM TO COM
5' TYPE 'A' BUFFER REQUIRED, W/ 4 TREES PER 100 LINEAL FOOT.
190 L.F. (EXCLUDING EASEMENTS) / 100 X 4 = 8 TREES REQUIRED AND 8 PROVIDED.
REQUIRED TREES AND SHRUBS LABELED AS (S.B.).

PROJECT WEST BUFFER

COM TO R.O.W.
25' MINIMUM WIDTH, TYPE 'D' BUFFER REQUIRED, W/ 5 TREES AND 66 SHRUBS PER 100 LINEAL FOOT.
210 LF. (EXCLUDING EASEMENTS) / 100 X 5 = 10 TREES REQUIRED AND 10 PROVIDED.
210- LF / 3 X 2 = 140 SHRUBS REQUIRED AND 140 PROVIDED.
REQUIRED TREES AND SHRUBS LABELED AS (W.B.).

PROJECT NORTH BUFFER

COM TO R.O.W.
20' MINIMUM WIDTH, TYPE 'D' BUFFER REQUIRED, W/ 5 TREES AND 66 SHRUBS PER 100 LINEAL FOOT.
124 LF. (EXCLUDING EASEMENTS) / 100 X 5 = 6 TREES REQUIRED AND 6 PROVIDED THRU EXISTING AND PROPOSED.
124 LF / 3 X 2 = 83 SHRUBS REQUIRED AND 83 PROVIDED.
REQUIRED TREES AND SHRUBS LABELED AS (N.B.).

DETENTION AREA PLANTING

DETENTION AREA PLANTED WITH 1 GALLON SPARTINA AT 3' OC. NO MULCH TO BE IN DETENTION BOTTOM

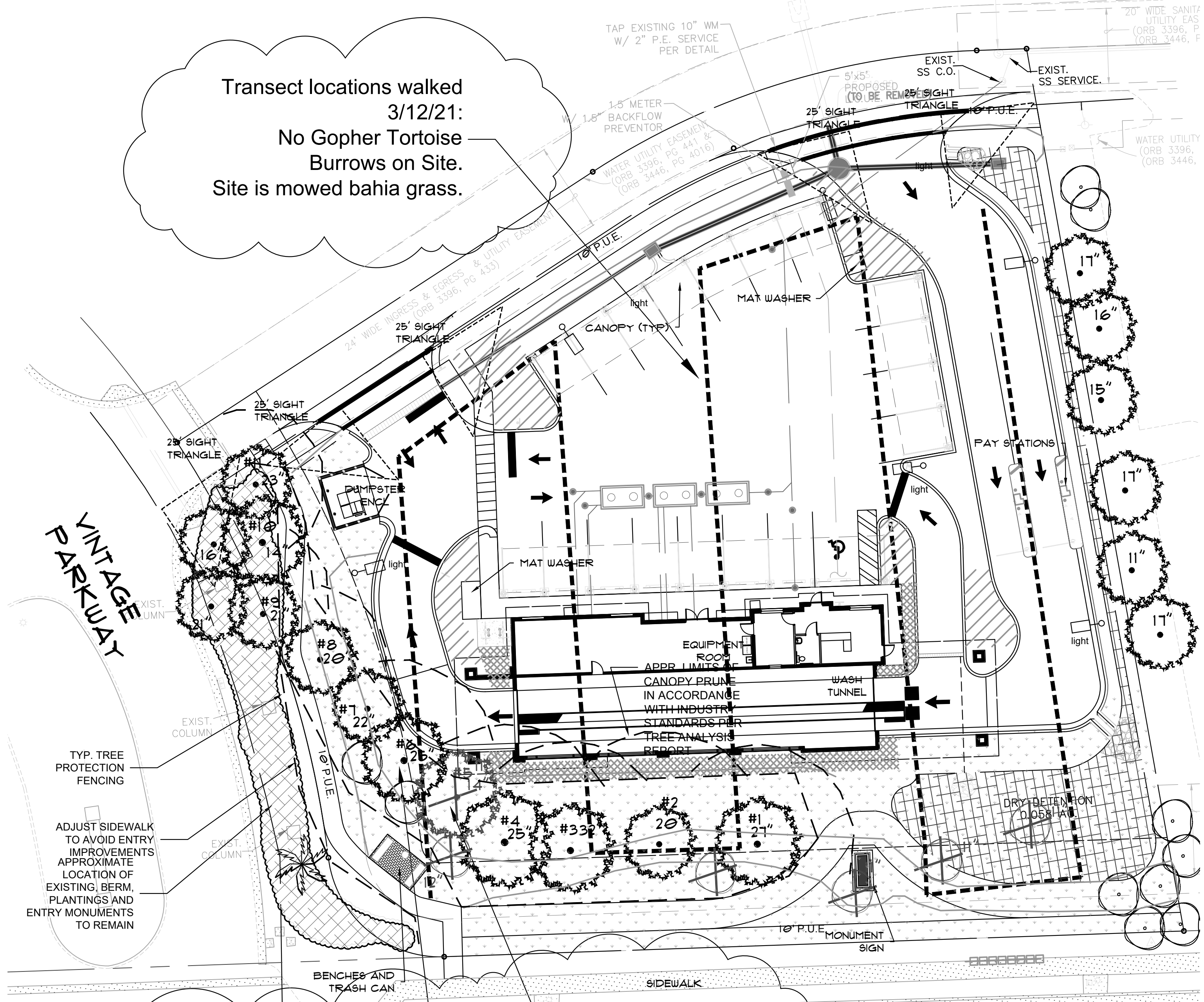
GENERAL LANDSCAPE NOTES

1. THE QUALITY OF ALL PLANT MATERIAL WILL MEET THE STANDARDS FOR FLORIDA GRADE NO.1 (or better), AS GOVERNED IN "GRADES AND STANDARDS FOR NURSERY PLANTS".
2. ALL PLANTED TREES AND PALMS WILL HAVE A 3" DEEP SAUCER CONSTRUCTED FROM THE TRUNK OF THE TREE OR PALM. MINIMUM OF 4' DIAMETER.
3. ALL PLANTING BEDS SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF MULCH AND SHALL BE WEED FREE. MULCH SHALL BE GRADE B OR BETTER. CONTRACTOR SHALL REMOVE ANY VEGETATIVE GROWTH AND APPLY A PRE-EMERGENT WEED KILLER PER SPECIFICATIONS PRIOR TO MULCHING.
4. CODE PLANTINGS SHALL BE REPLACED AT THE OPTION AND COST OF DEVELOPER SHOULD FUTURE UTILITY WORK REQUIRE REMOVAL.
5. ANY AND ALL EXOTIC VEGETATION INCLUDING: EARLEAF ACACIA, WOMAN'S TONGUE, BISHOPWOOD, AUSTRALIAN PINE, CARROTWOOD, ROSEWOOD, AIR POTATO, MURRAY RED GUM, WEEPING FIG, CUBAN LAUREL FIG, JAPANESE CLIMBING FERN, OLD WORD CLIMBING FERN, MELALEUCA, DOWNY ROSE MYRTLE, CHINESE TALLOW, BRAZILLIAN PEPPER, FLORIDA HOLLY, TROPICAL SODA APPLE, JAVA PLUM, ROSE APPLE, CORK TREE AND WEDELIA, ON THE PROPERTY SHALL BE COMPLETELY REMOVED AND DISPOSED OF OFF SITE BY THE CONTRACTOR. THE SITE SHALL BE MAINTAINED FREE OF INVASIVE EXOTIC VEGETATION IN PERPETUITY.
6. TREES SHALL BE A MINIMUM OF 12'-14" IN HEIGHT WITH A 2-1/2" CALIPER, 45 GALLON, MEASURED AT 1' ABOVE GROUND LEVEL WITH A SIX FOOT CANOPY UNLESS SPECIFIED AS 20' TALL TREES PER PLAN AND PLANT LIST.
7. A MINIMUM OF 100% OF THE CODE BUFFER TREES AND SHRUBS SHALL BE OF A NATIVE SPECIES.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE LOCATIONS OF ALL UTILITIES AND ALL SITE CONDITIONS PRIOR TO THE START OF LANDSCAPE INSTALLATION.
9. FERTILIZER SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND VILLAGES OF ESTERO OR LOCAL ORDINANCES
10. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINE GRADE ALL PLANTING AND SODDING AREAS PRIOR TO PLANT OR SOD INSTALLATION. CONTRACTOR SHALL OBTAIN OWNER APPROVAL OF FINAL GRADES.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE TAKEOFFS. PLANT LIST IS PROVIDED FOR REFERENCE ONLY.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE UNTIL FINAL ACCEPTANCE AND IN COMPLIANCE WITH SPECIFICATIONS.
13. CONTRACTOR SHALL REMOVE ALL TAGS, TAPE AND SUPPORTS (EXCEPT STAKING GUYS) FROM ALL PLANTINGS PRIOR TO FINAL ACCEPTANCE.
14. ALL AREAS OF THE SITE NOT PLANTED SHALL BE SODDED IN ACCORDANCE WITH PLANS. REFER TO ENGINEERING PLANS FOR ADDITIONAL SPECIFICATIONS.
15. THE REQUIRED PLANTINGS SHALL BE IRRIGATED IN ACCORDANCE WITH LDC REQUIREMENTS. REFER TO CONSTRUCTION DOCUMENTS FOR COMPLETE IRRIGATION PLANS.
16. THE PARKING LOTS SHALL BE SLEEVED FOR IRRIGATION BY THE LANDSCAPE CONTRACTOR. COORDINATE WITH CIVIL ENGINEERING PLANS.
17. ALL BASE ROCK SHALL BE REMOVED FROM LANDSCAPE PARKING ISLANDS.
18. PRIOR TO CERTIFICATE OF COMPLIANCE NO TREES SHALL BE PLANTED WHERE THEY INTERFERE WITH BUILDINGS, UTILITIES, SITE DRAINAGE, VIEWS, SIGNS, OR WHERE THEY WILL REQUIRE FREQUENT PRUNING TO AVOID POWER LINES AT MATURE HEIGHTS IN PERPETUITY UNLESS A WRITTEN STATEMENT IS PROVIDED PER LDC SEC. 10-421.A.5.
19. THE CONTRACTOR SHALL PROVIDE (PRESSURE COMPENSATING SCREENS) AS NECESSARY TO REDUCE OR ELIMINATE OVERSPRAY INTO STREETS, WALKS OR OTHER AREAS AS DICTATED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
20. PLANS PREPARED FOR DEVELOPMENT ORDER APPROVAL. REFER TO ADDITIONAL LANDSCAPE CONSTRUCTION DOCUMENTS FOR PLANTING SPECIFICATIONS.
21. ALL TREES PLANTED IN BSU EASEMENT SHALL BE LOCATED A MINIMUM OF 7.5' FROM ALL BSU SERVICE INFRASTRUCTURE.

STIPULATION: PRIOR TO ISSUANCE OF A CERTIFICATE OF COMPLIANCE, TREES MAY NOT BE PLACED WHERE THEY INTERFERE WITH SITE LIGHTING, DRAINAGE, AND ABOVE AND BELOW GROUND UTILITIES.

STIPULATION: PRIOR TO COMMENCEMENT OF ANY SITE WORK OR ISSUANCE OF A BUILDING PERMIT, A VEGETATION REMOVAL PERMIT MUST BE OBTAINED FROM VILLAGE STAFF AT 239-221-5036. ALL SWPPP EROSION CONTROL MEASURES MUST BE IN PLACE. (LDC2-505D)

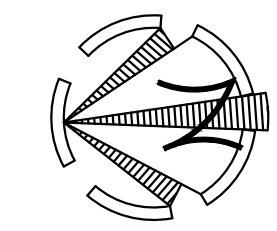
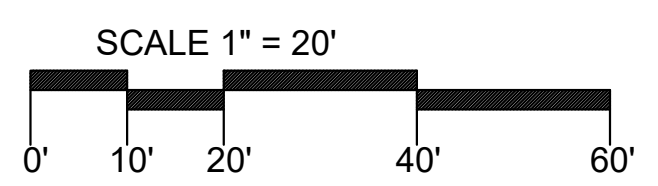
Transect locations walked
3/12/21:
No Gopher Tortoise
Burrows on Site.
Site is mowed bahia grass.



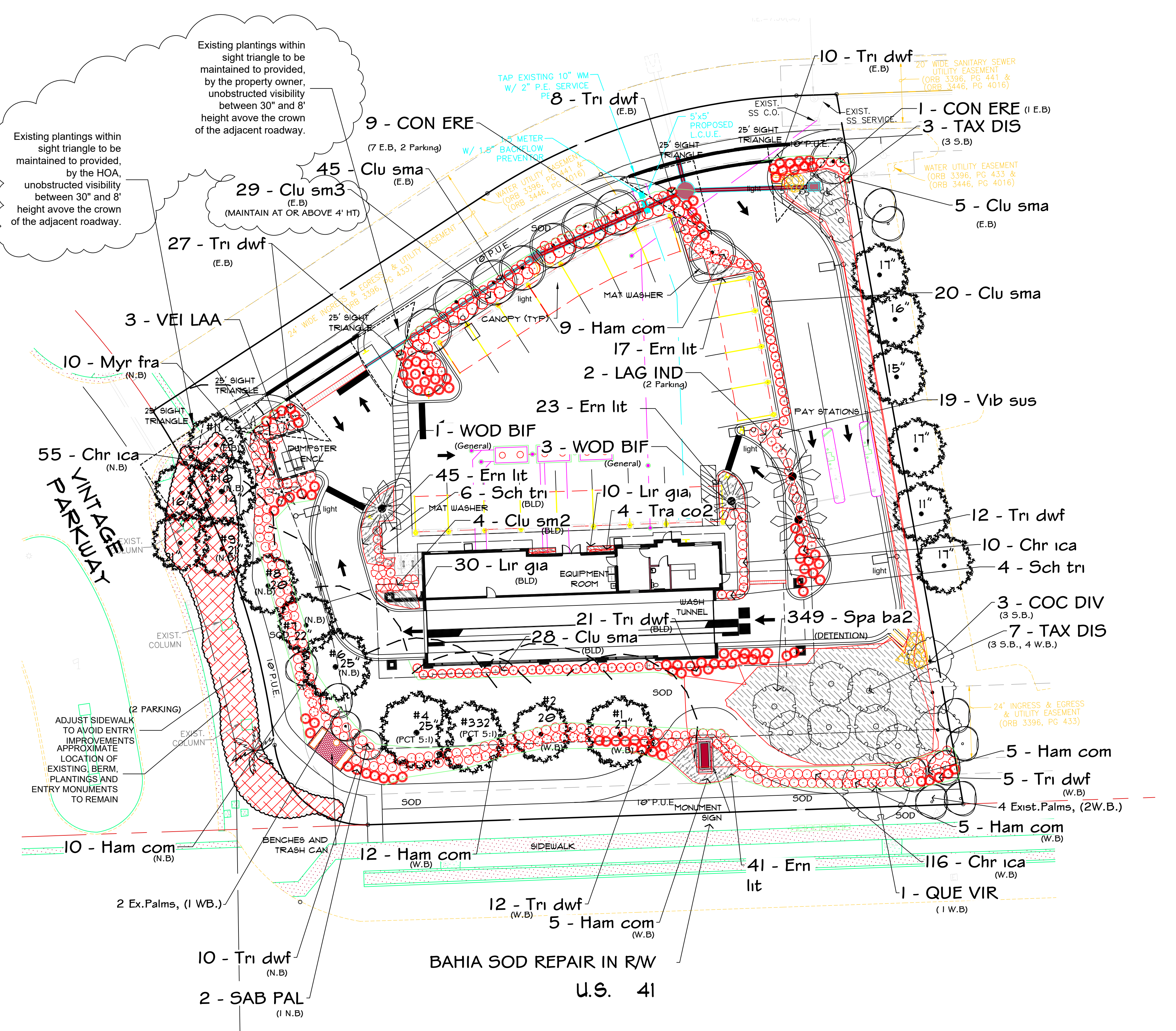
REFER TO SHEET L-4 & TREE ANALYSIS REPORT FOR TREE PROTECTION DETAILS & NOTES

CUT & REMOVE 1
OAK. STUMP
GRIND STUMP TO
24" BELOW
GRADE

SITE LANDSCAPE CALCULATIONS



- EXISTING TREE LEGEND**
- OAK TO REMAIN
 - SABAL PALM TO REMAIN
 - OAK TO BE REMOVED
 - SABAL PALM TO BE REMOVED



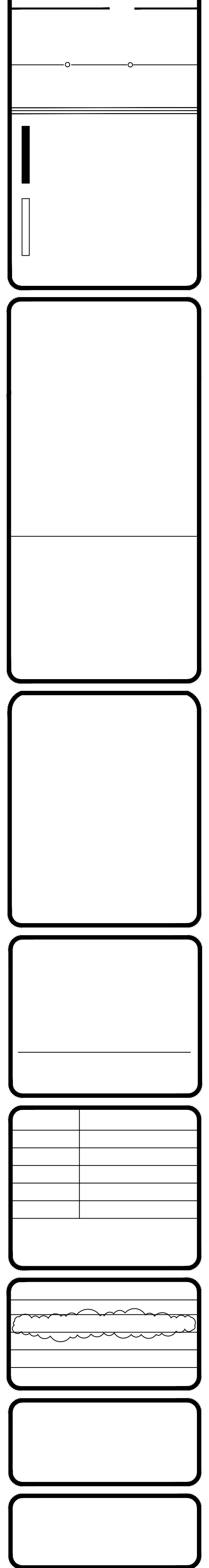
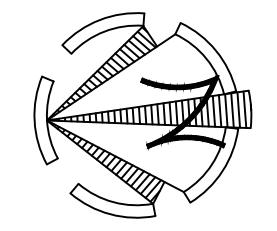
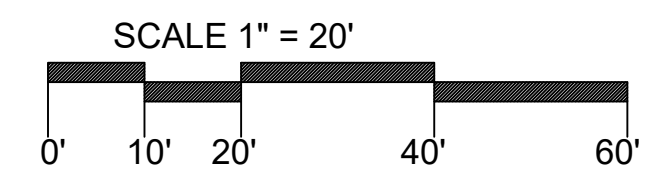
PLANT LIST

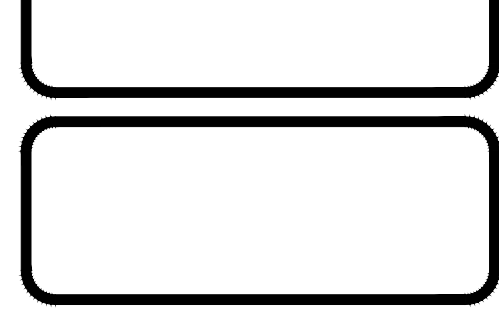
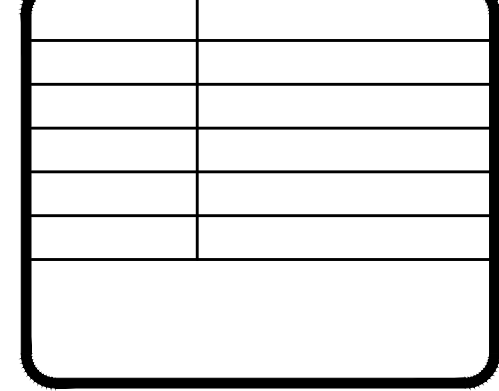
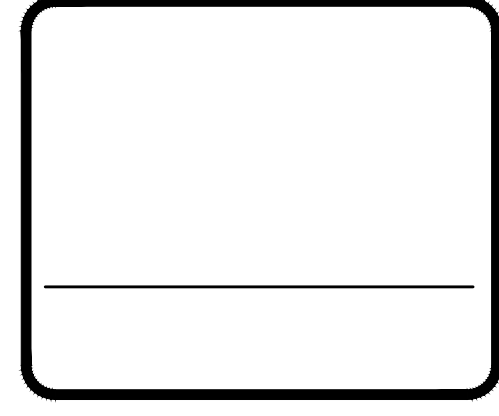
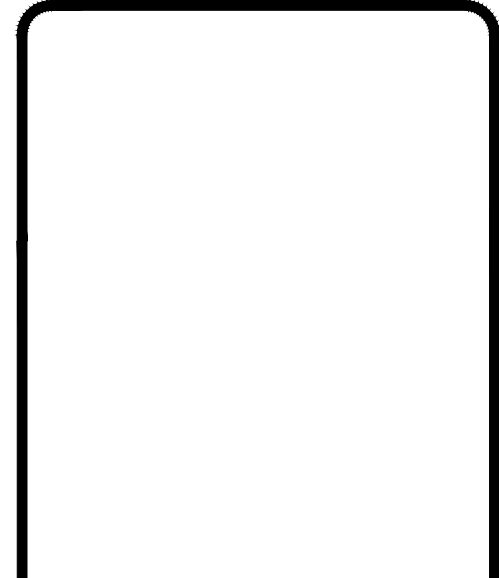
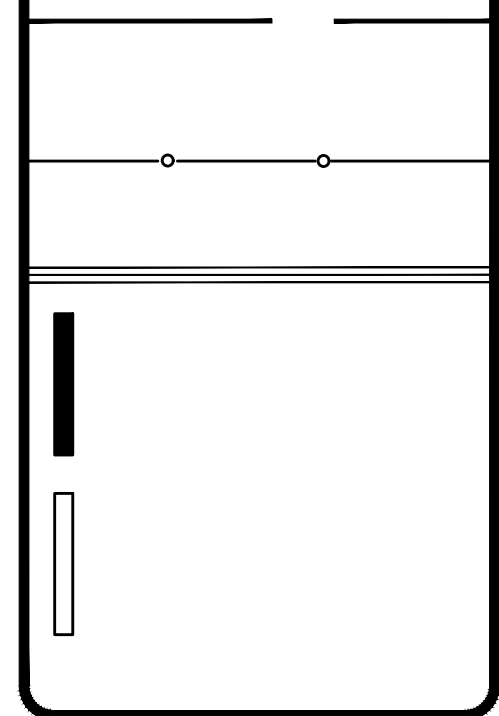
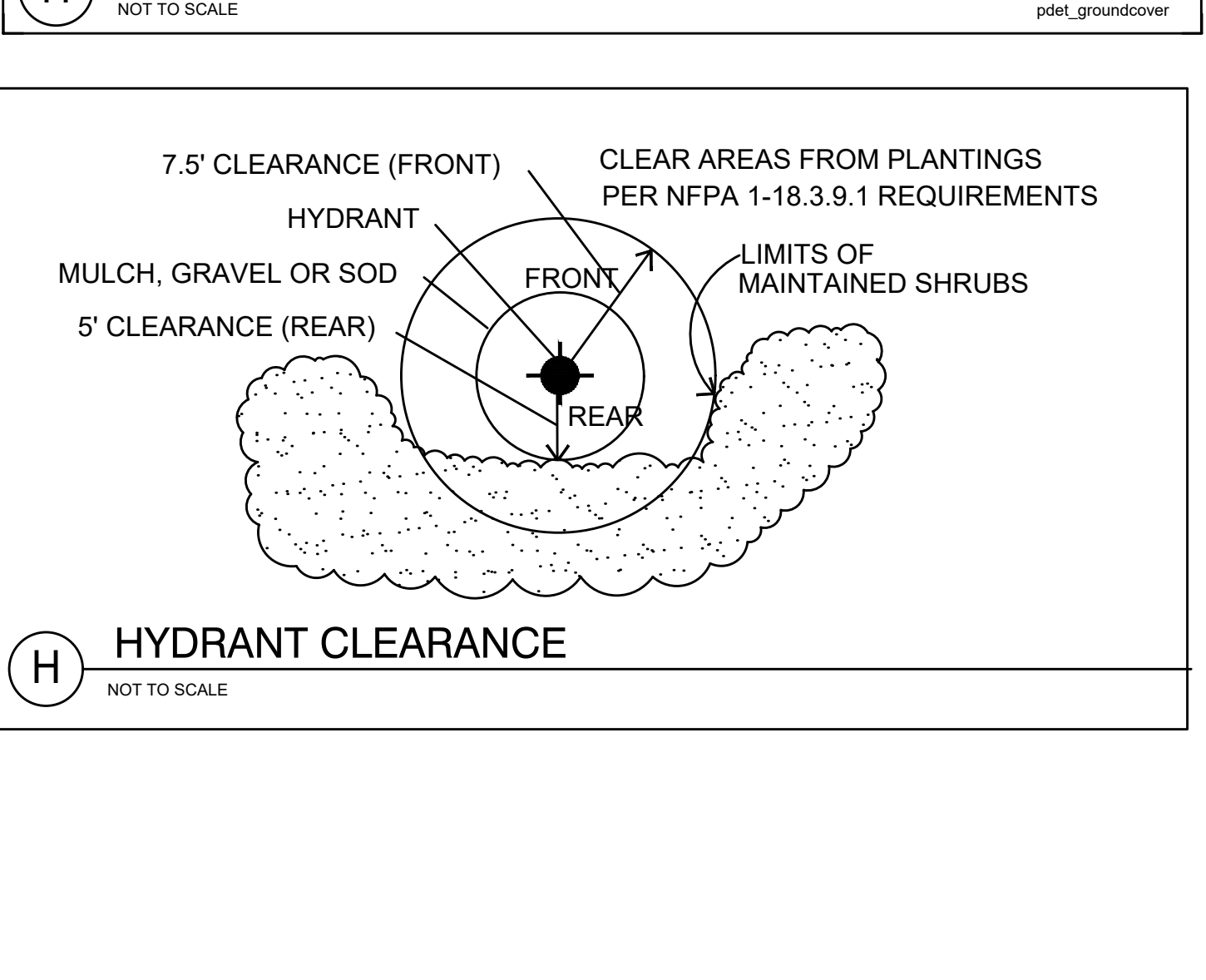
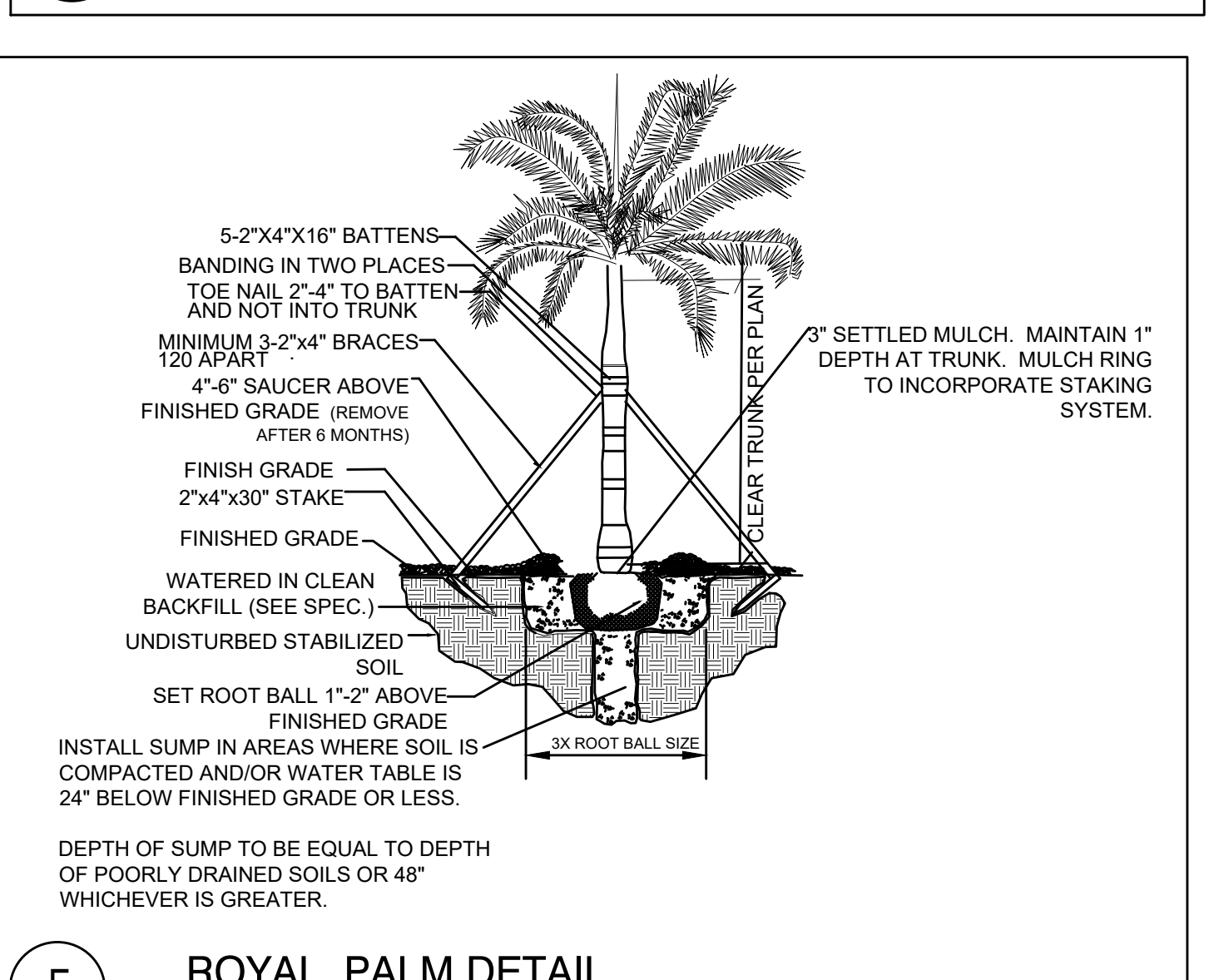
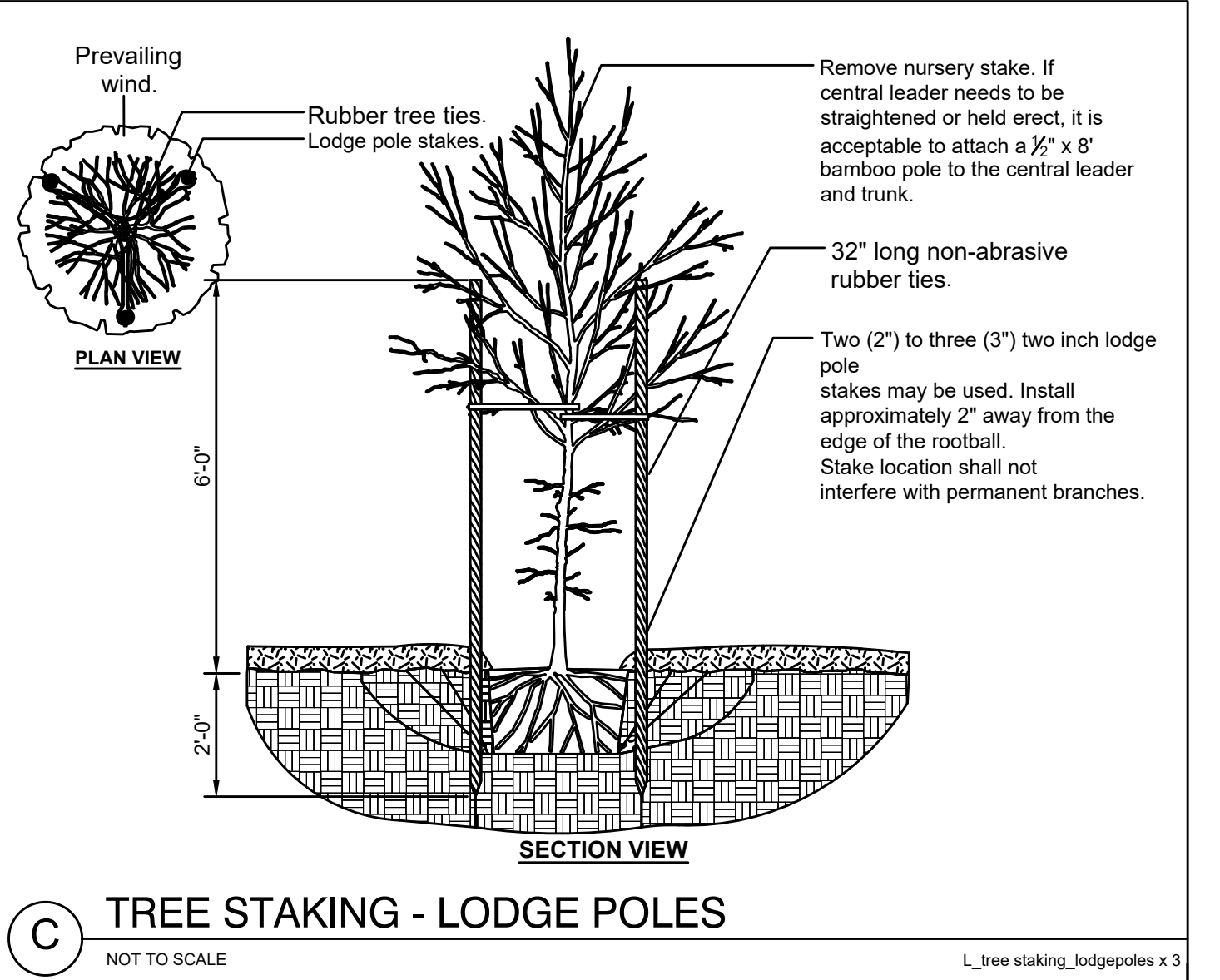
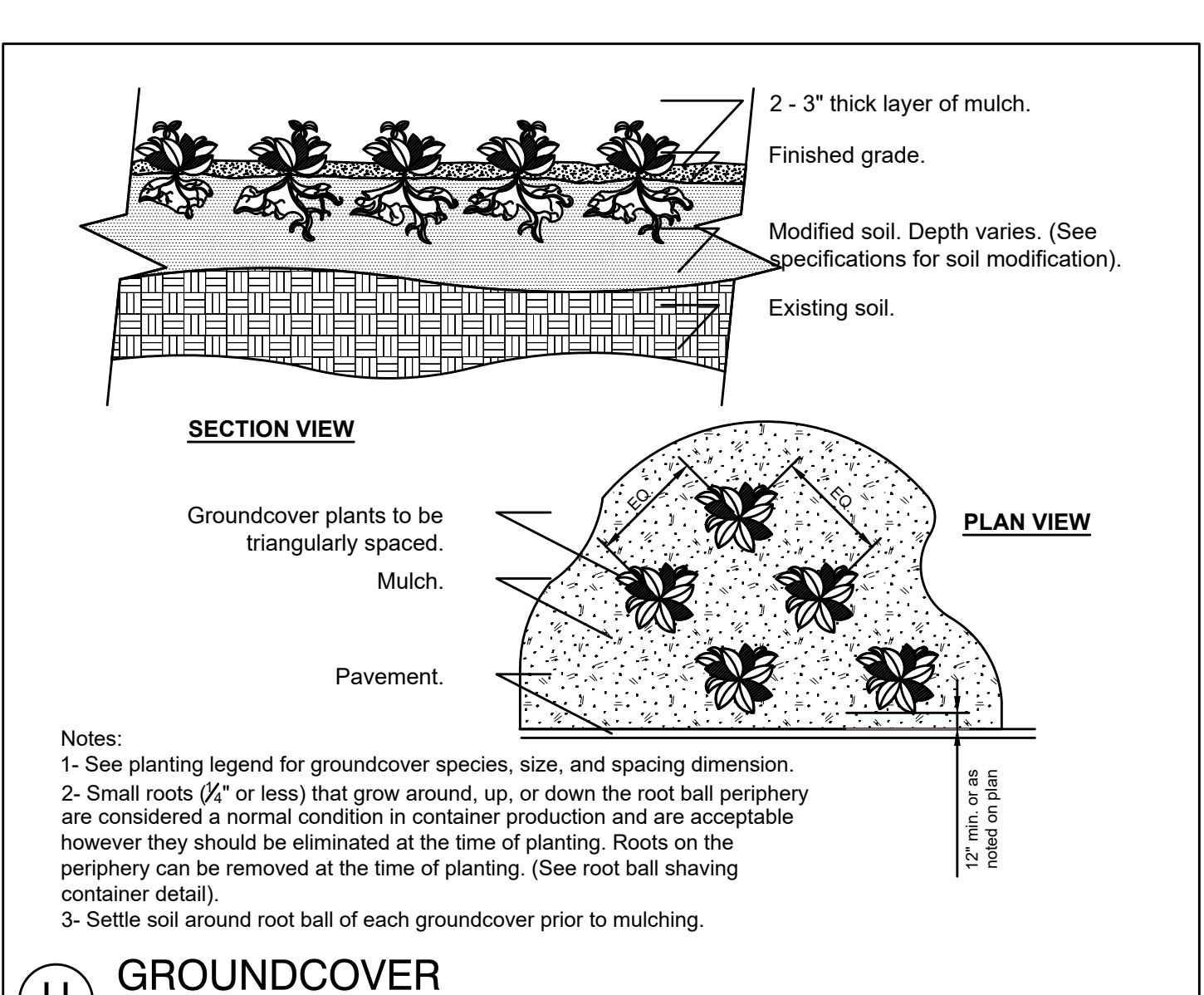
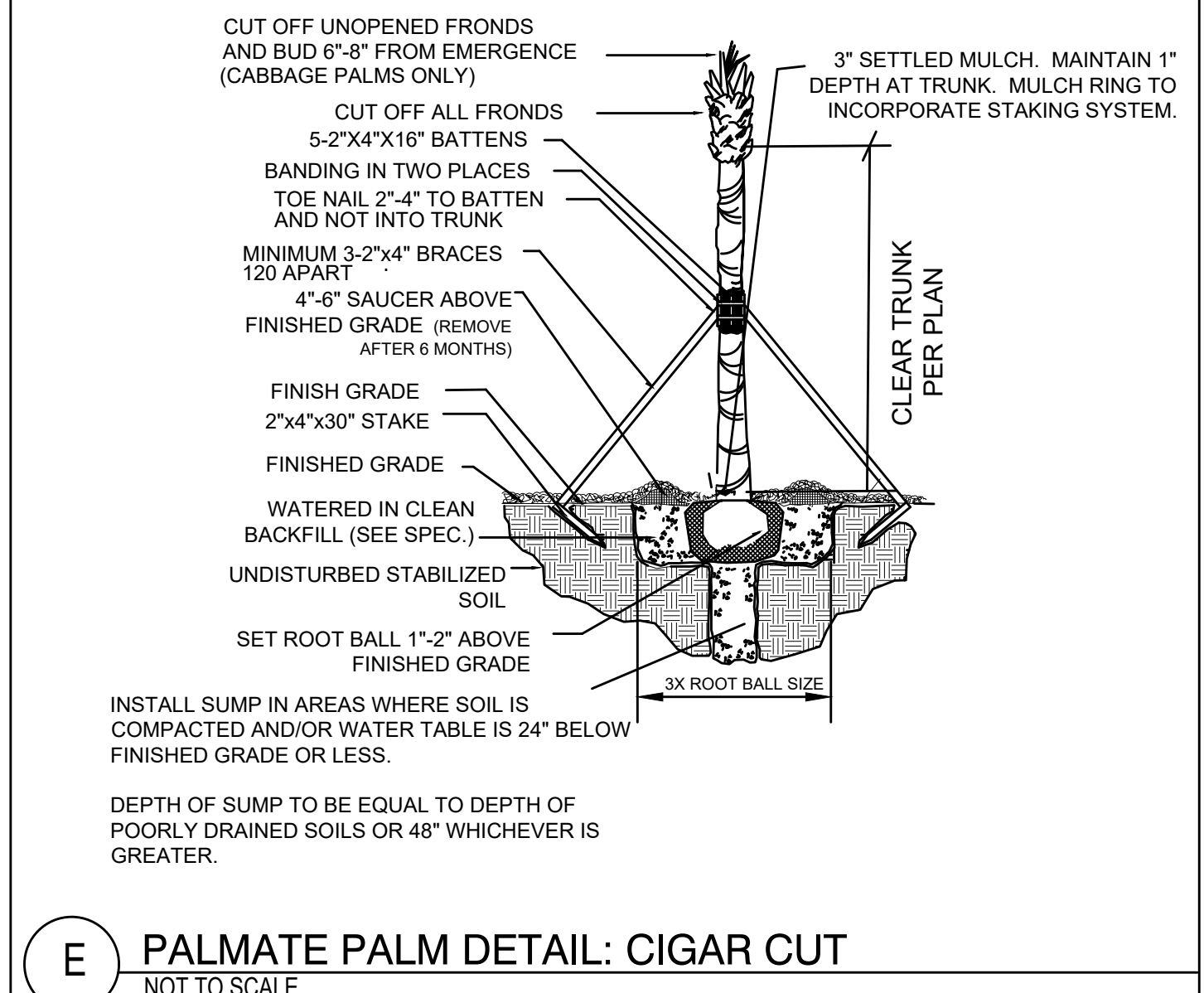
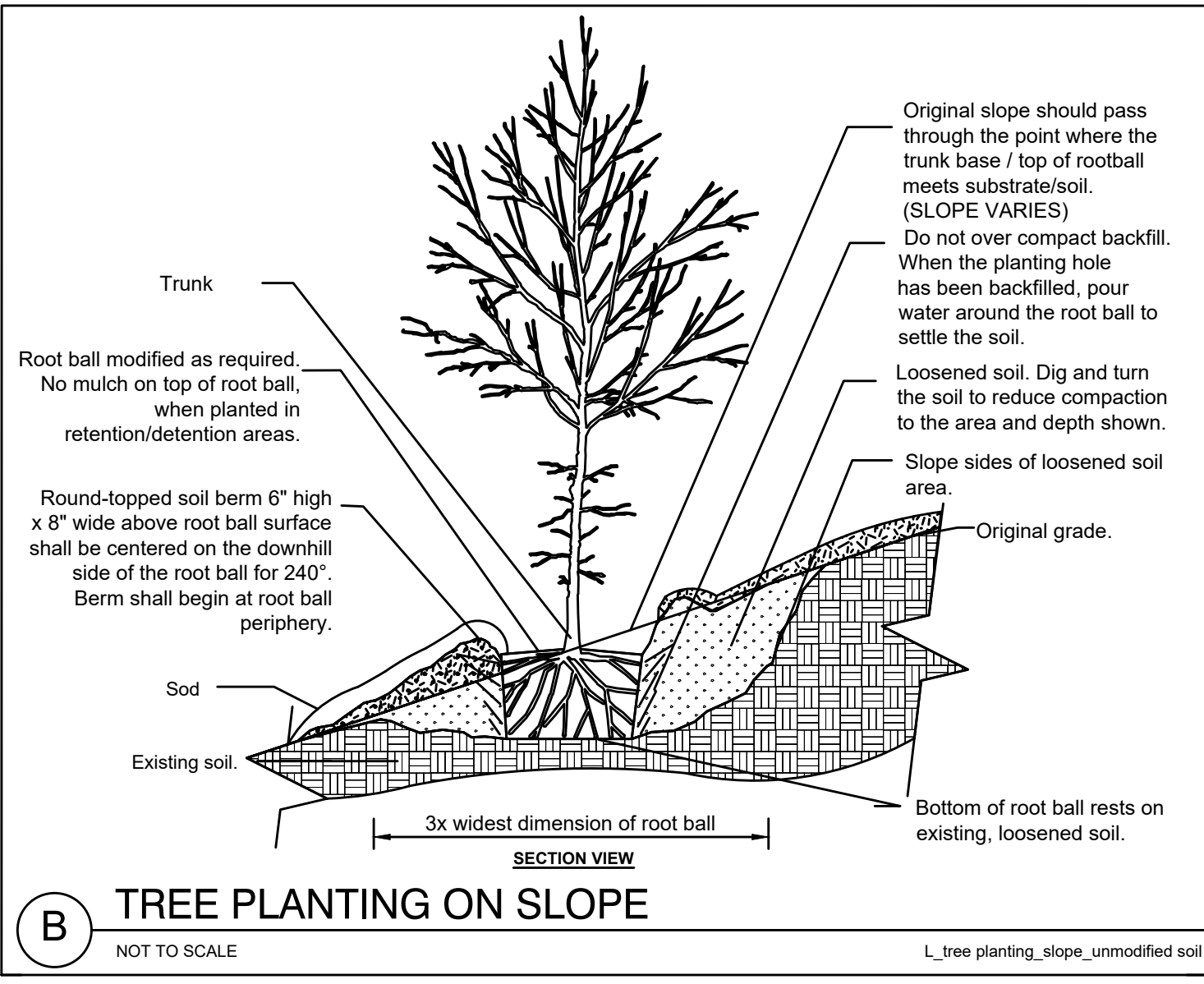
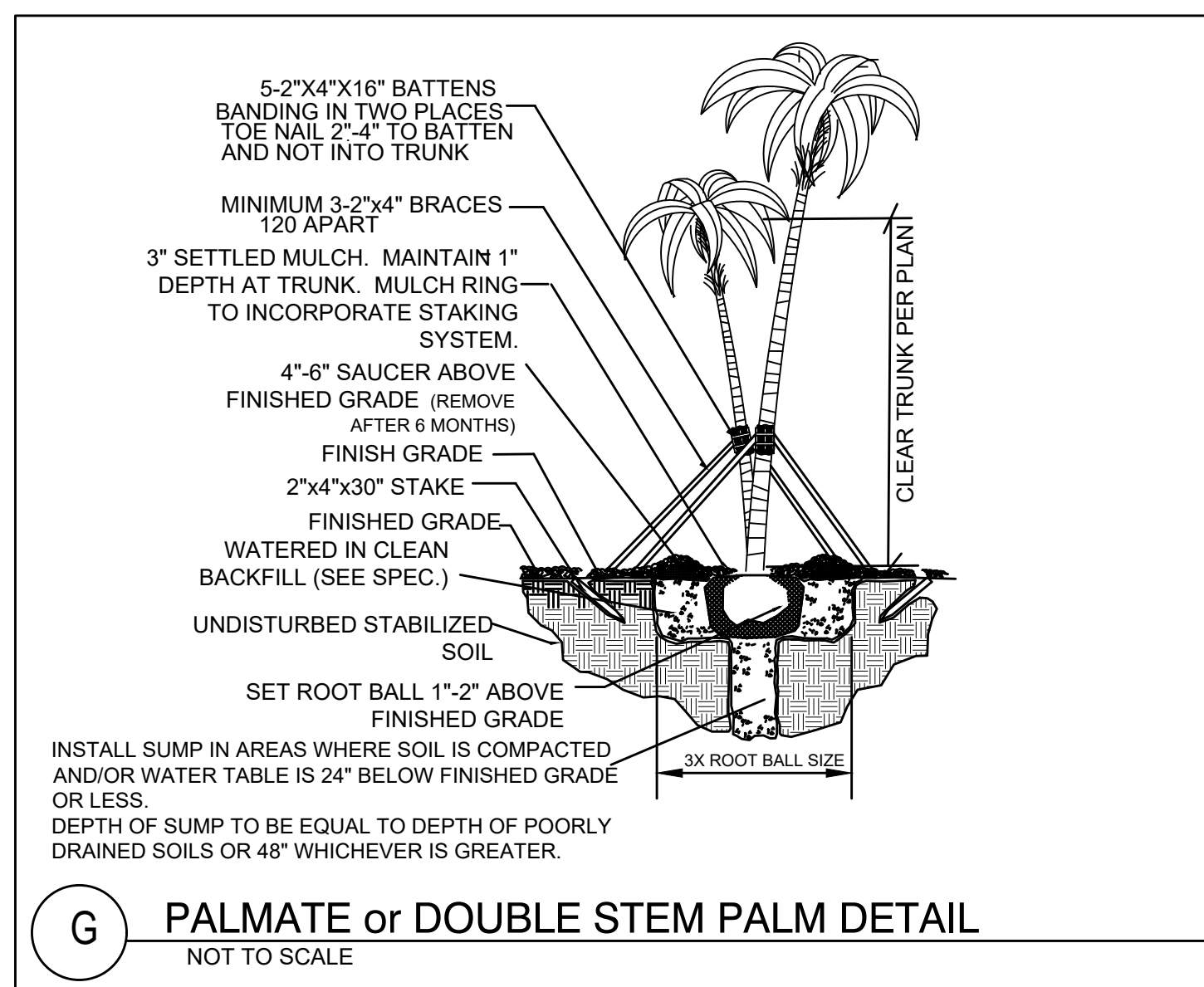
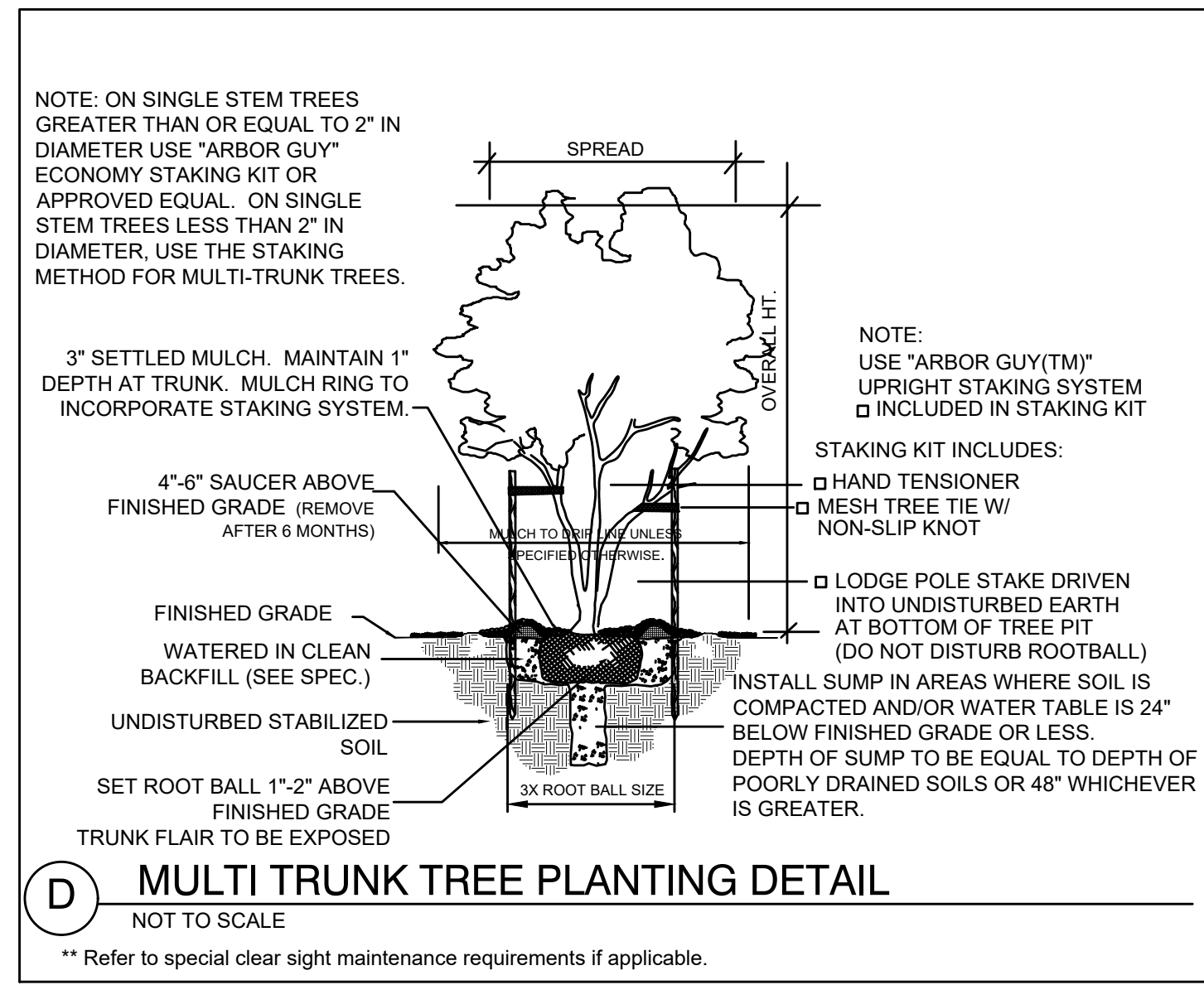
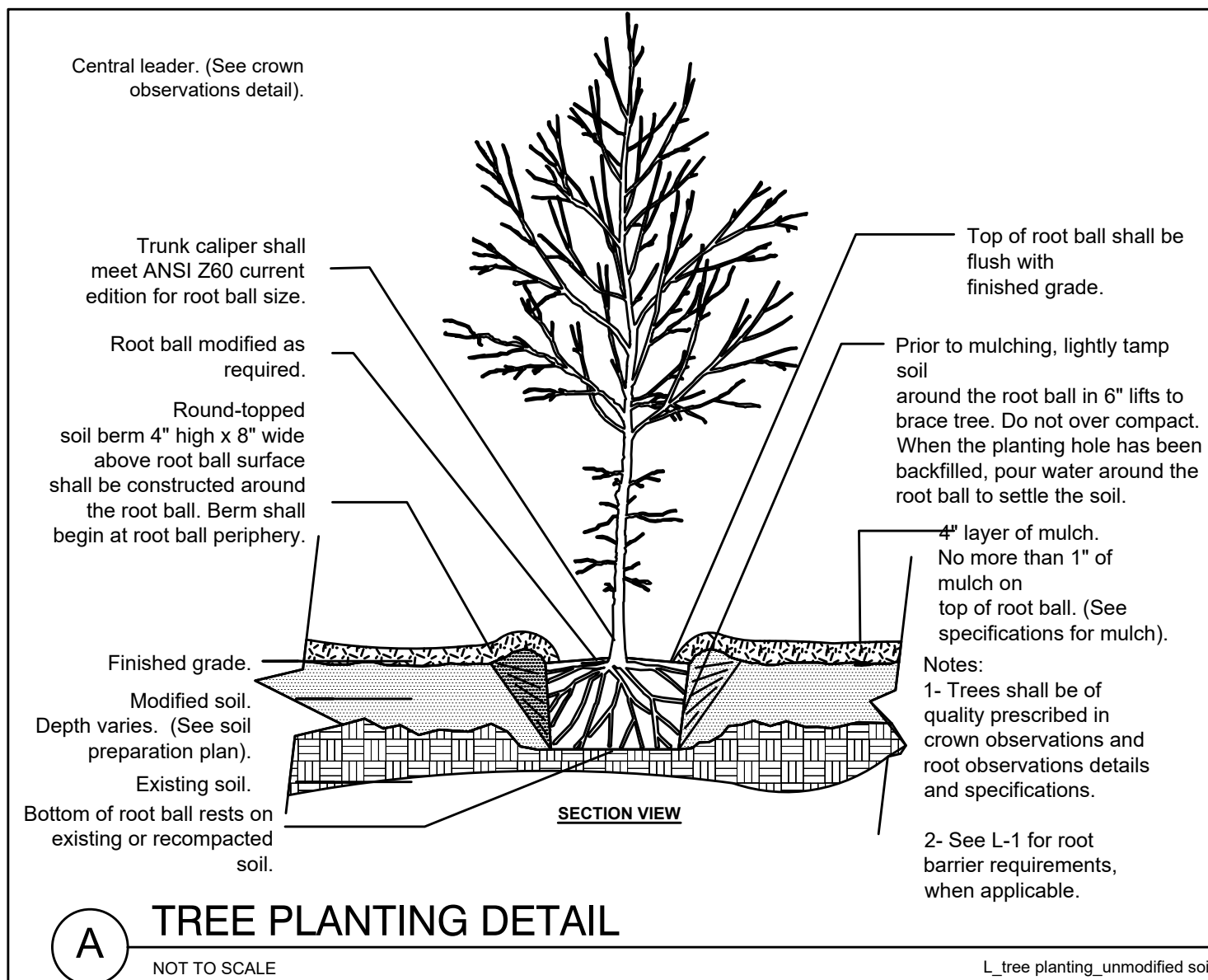
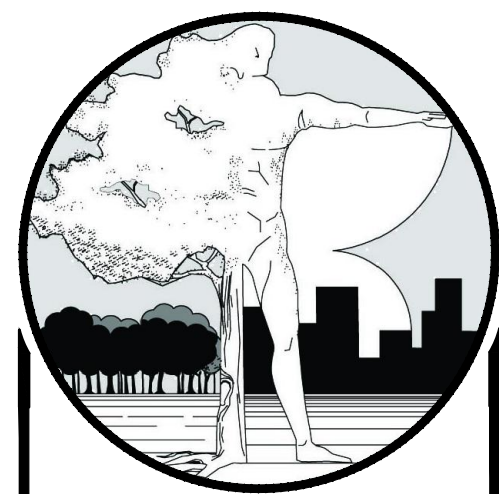
PLANT SCHEDULE				
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME
	COC DIV	3	Coccoloba diversifolia	Pigeon Plum
	CON ERE	10	Conocarpus erectus	Buttonwood
	LAG IND	2	Lagerstroemia indica	Crape Myrtle
	QUE VIR	1	Quercus virginiana	Southern Live Oak
	SAB PAL	2	Sabal palmetto	Cabbage Palmetto
	TAX DIS	10	Taxodium distichum	Bald Cypress
	VEI LAA	3	Veitchia montgomeryana	Montgomery Palm
	WOD BIF	4	Wodyetia bifurcata	Foxtail Palm
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME
	Chr ica	181	Chrysobalanus icaco	Coco Plum
	Clu sma	96	Clusia guttifera	Small Leaf Clusia
	Clu sm3	29	Clusia guttifera	Small Leaf Clusia
	Clu sm2	4	Clusia guttifera	Small Leaf Clusia
	Ham com	46	Hamelia patens 'Compacta'	Dwarf Firebush
	Myr fra	10	Myrcianthes fragrans	Simpson's Stopper
	Sch tri	10	Schefflera arboricola 'Trinette'	Trinette Variegated Schefflera
	Tra co2	4	Trachelospermum jasminoides 'Confederate'	Confederate Jasmine
	Tri dwf	105	Tripsacum floridanum	Florida Gamagrass
	Vib sus	19	Viburnum suspensum	Sandankwa Viburnum
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME
	Ern lit	126	Ernodes littoralis	Golden Creeper
	Lir gia	40	Liriope muscari 'Evergreen Giant'	Evergreen Giant Lilyturf
	Spa ba2	349	Spartina bakeri	Sand Cordgrass

MISC.
 MULCH: ALL PLANTINGS SHALL BE MULCHED WITH 3" DARK BROWN MULCH. PROVIDE 4' MINIMUM MULCH RING AROUND ALL TREES.
 SOD: SITE SHALL BE SODDED WITH FLORITAM SOLID SOD OR OWNER REQUIRED SOD SPECIES. VERIFY PRIOR TO BIDDING.
 SOD REPAIR IN FDOT R.O.W. SHALL BE BAHIA.
 CONTRACTOR RESPONSIBLE FOR MULCH AND SOD QUANTITIES.

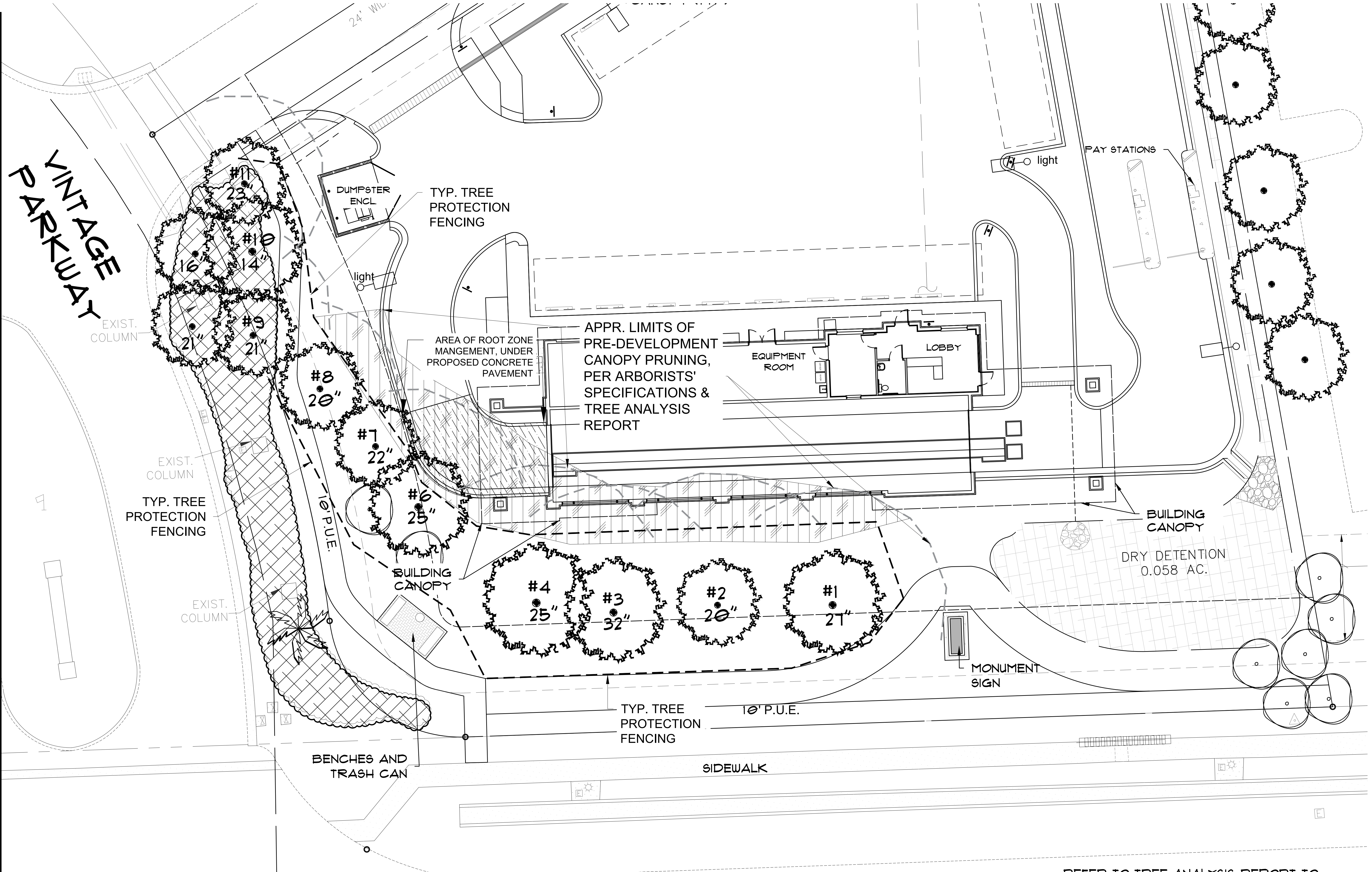
LANDSCAPE PLAN

TYPICAL EASEMENT AREA REFER TO ENGINEERING PLANS FOR SPECIFIC EASEMENT INFORMATION





VINTAGE
PARKWAY



TYP. TREE PROTECTION FENCING

DUMPSTER ENCL.

light

AREA OF ROOT ZONE MANGEMENT, UNDER PROPOSED CONCRETE PAVEMENT

APPR. LIMITS OF PRE-DEVELOPMENT CANOPY PRUNING, PER ARBORISTS' SPECIFICATIONS & TREE ANALYSIS REPORT

EQUIPMENT ROOM

LOBBY

PAY STATIONS

BUILDING CANOPY

DRY DETENTION
0.058 AC.

MONUMENT SIGN

TYP. TREE PROTECTION FENCING

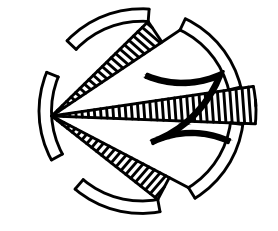
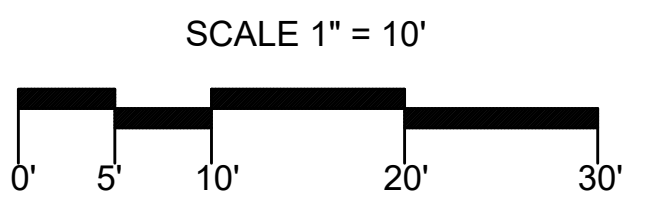
10' P.U.E.

SIDEWALK

BENCHES AND TRASH CAN

**TREE PROTECTION AND
CONSTRUCTION MITIGATION PLAN**

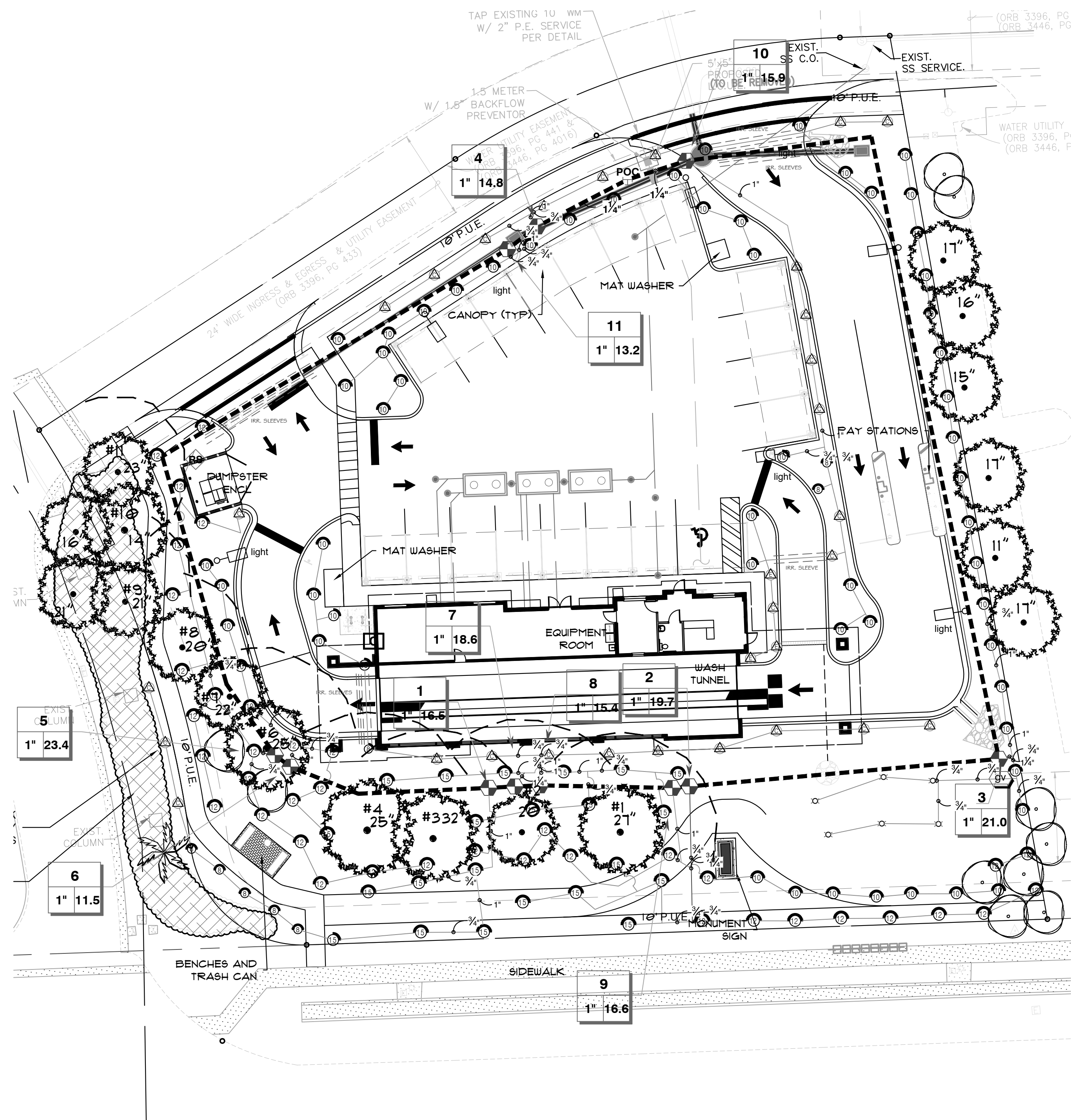
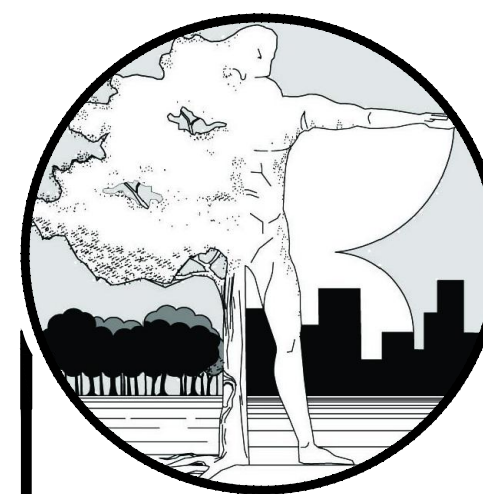
REFER TO TREE ANALYSIS REPORT TO AUGMENT THIS SHEET FOR TREE PROTECTION & PRUNING REQUIREMENTS



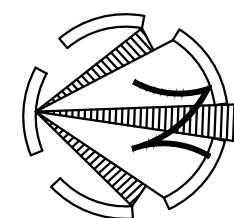
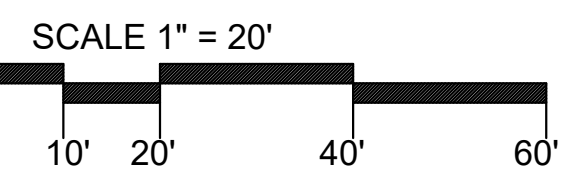
U.S. 41



A vertical column of rectangular boxes on the right side of the sheet, likely intended for a title block or project information. The boxes vary in size and some contain faint lines or patterns.



IRRIGATION MASTER PLAN



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
▲	Hunter PROS-06-PRS30 5' strip spray	28	CST	30	1.30	5x30'
▲	Hunter PROS-06-PRS30 5' strip spray	3	EST	30	0.65	5x15'
○	Hunter PROS-06-PRS30 8' radius	7	180	30	0.47	8'
○	Hunter PROS-06-PRS30 8' radius	1	90	30	0.24	8'
○	Hunter PROS-06-PRS30 10' radius	55	180	30	0.88	10'
○	Hunter PROS-06-PRS30 10' radius	5	90	30	0.42	10'
○	Hunter PROS-06-PRS30 12' radius	38	180	30	1.30	12'
○	Hunter PROS-06-PRS30 15' radius	21	180	30	1.86	15'
○	Hunter PROS-06-PRS30 15' radius	1	90	30	0.97	15'
○	Hunter PROS-PRS30-00-MSBN 10F	6	360	30	1.00	1'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL
◆	Hunter PGV-100G 1" 1" Plastic Electric Remote Control Valve, for Residential/Light Commercial Use. Female NPT Inlet/Outlet. Globe Configuration, No Flow Control.	
C	Hunter I2C-1600-PL 16 Station Outdoor Modular Controller. With one ICM-800 Module. Commercial Use. Plastic Cabinet.	
RS	Hunter RAIN-CLIK (2) Rain Sensor, with conduit installation, mount as noted. Normally closed switch.	
GV	gate valve	
POC	Point of Connection 1" IRRIGATION METER AND BACKFLOW PER ENGINEERING PLAN	

- Irrigation Lateral Line: PVC Class 200 SDR 21 3/4"
- Irrigation Lateral Line: PVC Class 200 SDR 21 1"
- Irrigation Lateral Line: PVC Class 200 SDR 21 1 1/4"
- Irrigation Mainline: PVC Class 200 SDR 21 1 1/4"
- Irrigation Mainline: PVC Class 200 SDR 21 1 1/4"
- Irrigation Mainline: PVC Class 200 SDR 21 1 1/4"
- Irrigation Mainline: PVC Class 200 SDR 21 1 1/4"
- Irrigation Mainline: PVC Class 200 SDR 21 1 1/4"
- Pipe Sleeve: PVC Schedule 40

PIPE SIZING CHART

GPM	SIZE	GPM	SIZE
0-10	3/4"	1-8	3/4"
11-16	1"	9-13	1"
17-26	1-1/4"	14-22	1-1/4"
27-36	1-1/2"	23-30	1-1/2"
37-55	2"	31-50	2"
56-80	2-1/2"	51-70	2-1/2"

Flows shall maintain velocities of less than 5 feet per second

Calculations Of Irrigation Requirements (1-in-10) CLEAN MACHINE CAR WASH 4

Rainfall Station:	Ft. Myers
Irrigation System:	Overhead
Irrigated Acreage:	0.35
Crop:	Turf Grass
Soil Type:	0.80
Multiplier:	1.25
Efficiency:	0.80

Calculations	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total
Average Rainfall (inches)	1.90	2.00	1.50	1.90	4.10	9.40	8.70	8.60	8.40	3.50	1.50	1.50	53.00
Evapotranspiration (inches)	1.86	2.14	3.70	5.11	6.83	7.60	8.05	7.72	6.48	4.92	3.07	2.15	59.63
Average Effective Rainfall (inches)	0.88	0.94	0.79	1.06	2.31	4.91	4.71	4.58	4.19	1.81	0.76	0.72	27.66
1-in-10 Effective Rainfall (inches)	0.62	0.81	0.13	0.40	1.71	3.91	3.82	4.03	4.02	1.30	0.62	0.63	22.00
Average Irrigation (inches)	0.98	1.20	2.91	4.05	4.52	2.69	3.34	3.14	2.29	3.11	2.31	1.43	31.97
1-in-10 Irrigation (inches)	1.24	1.33	3.57	4.71	5.12	3.69	4.23	3.69	2.46	3.62	2.45	1.52	37.63

1-in-10 Annual Supplemental Crop Requirement = 37.63 inches

Annual Supplemental Crop Water Use: 37.63 inches X 0.35 Acres X 1.25 X 0.02715 MG/AC-IN = 0.45 MG

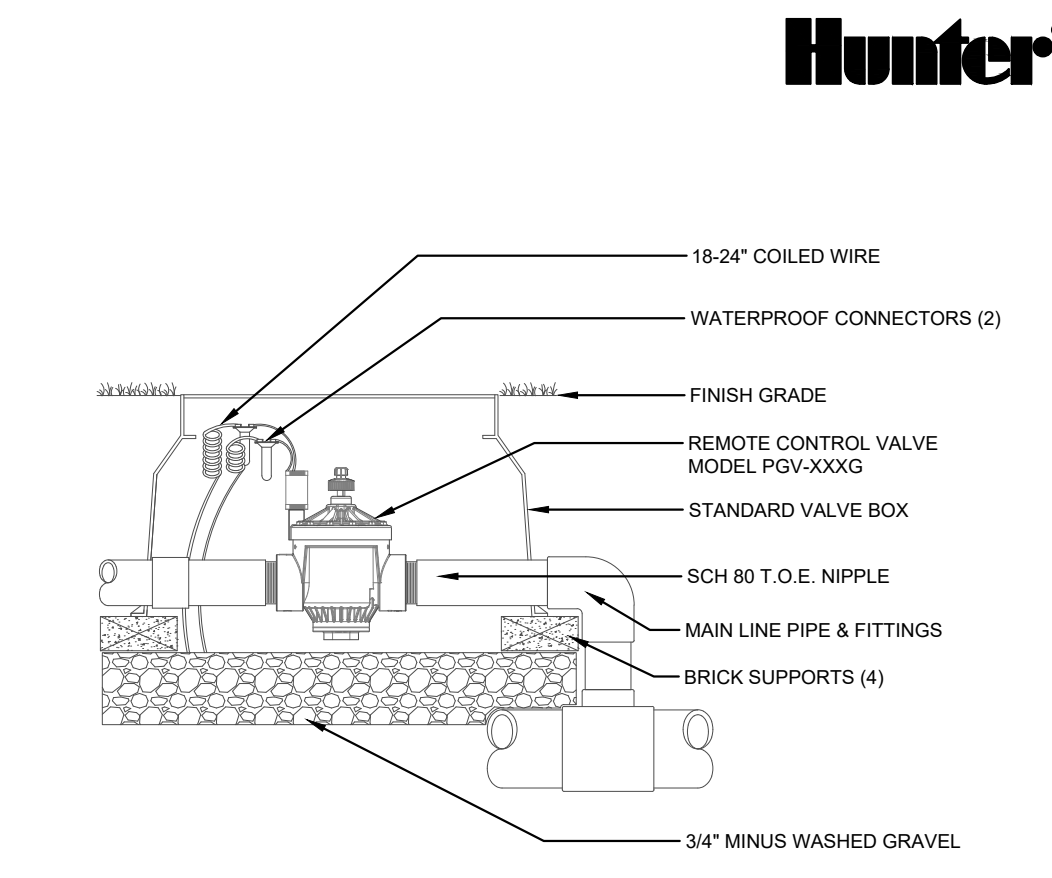
1-in-10 Maximum Monthly Supplemental Crop Requirement = 5.12 inches

Maximum Monthly Supplemental Crop Water Use: 5.12 inches X 0.35 Acres X 1.25 X 0.02715 MG/AC-IN = 0.06 MG

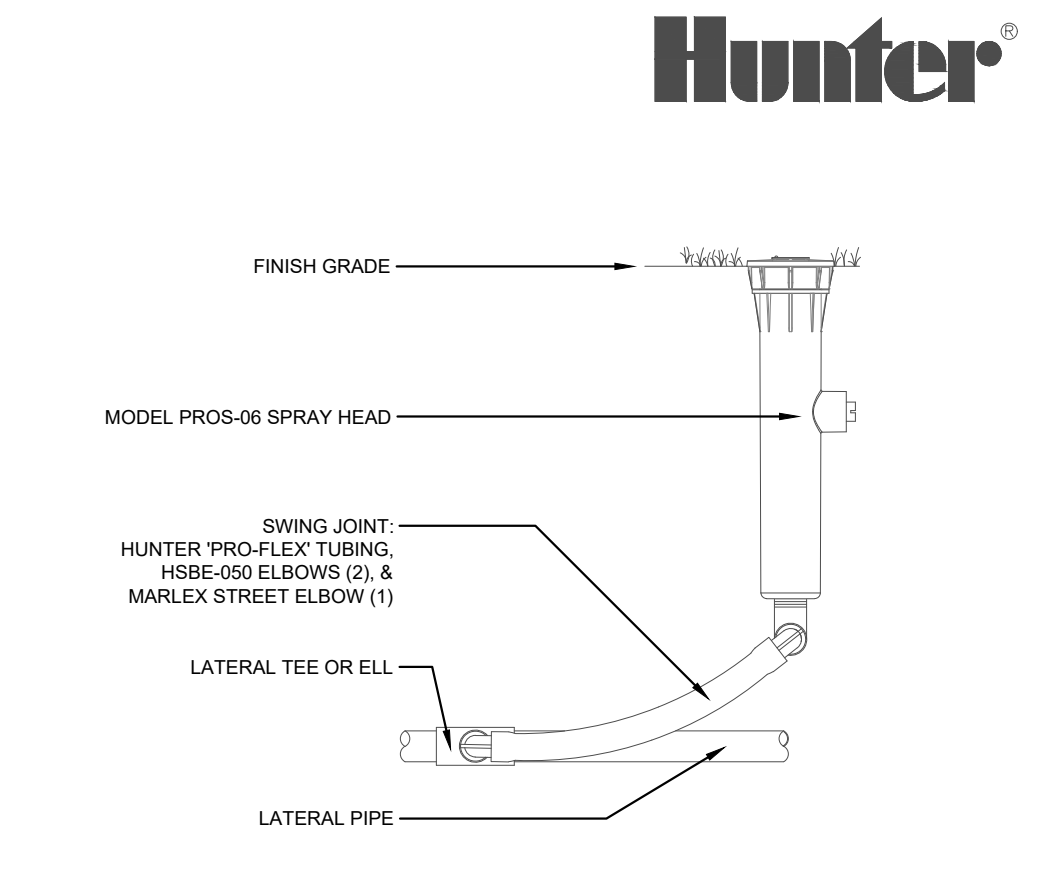
Notes:
 Evapotranspiration was calculated using a modified Blaney-Criddle method.
 Average effective rainfall is the amount that is useful to crops in an average year.
 2-in-10 drought rainfall is the rainfall minimum expected with a probability of 2 year in 10.
 2-in-10 effective rainfall is the amount that is useful to crops in a 2-in-10 drought rainfall.
 Average irrigation is the net amount that should be required for maximum yields during an average year.
 2-in-10 irrigation is the net amount that should be required for maximum yields during a 2-in-10 drought year.

NOTES:

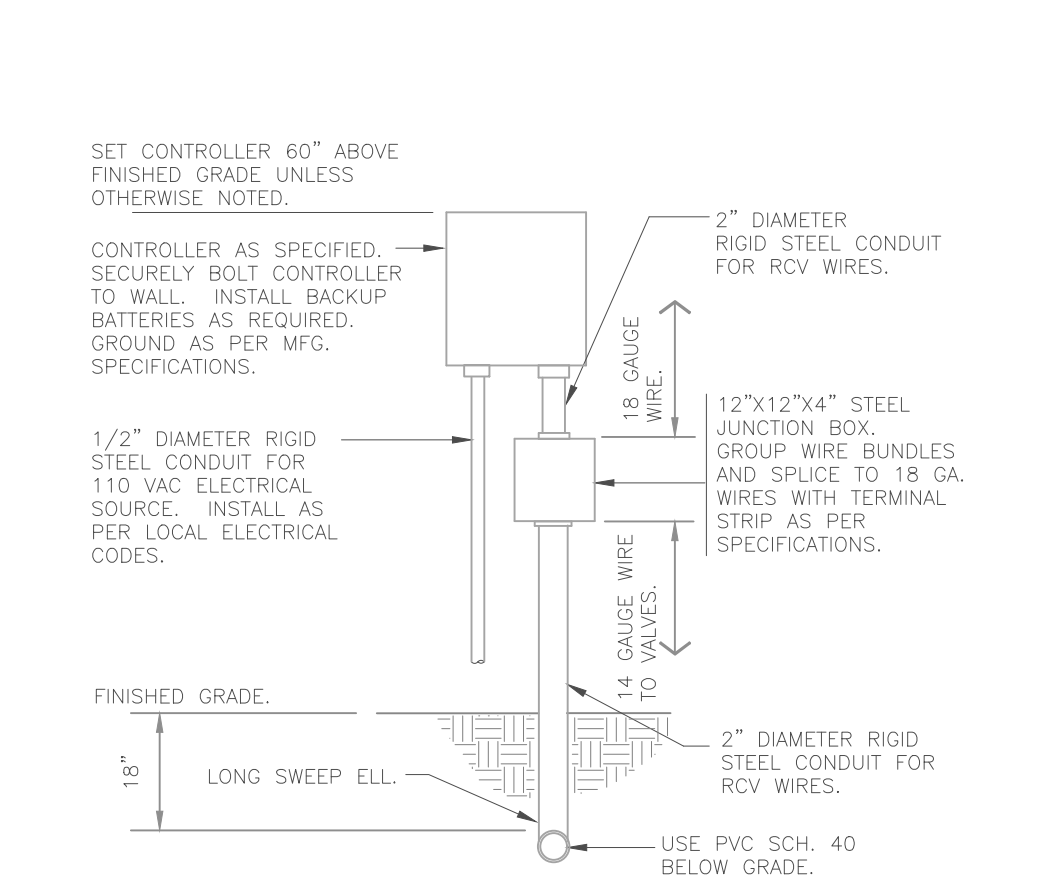
- IRRIGATION ZONES SHALL WATER TURF AND SHRUBS SEPARATELY. IRRIGATION DESIGN IS SCHEMATIC IN NATURE. CONTRACTOR TO VERIFY IRRIGATION OPERATIONAL PARAMETERS AND ADJUST IRRIGATION ZONES AS NEEDED. PROVIDE OWNER WITH AS BUILT AT TIME OF CERTIFICATION.
- VERIFY CONTROLLER LOCATION W/ OWNER.



1 PGV GLOBE VALVE 1" x 1/2"



2 PROS-06 SPRAY HEAD WITH PRO-FLEX TUBING 3" x 1/2"



3 WALL MOUNT CONTROLLER 1" x 1/2"

Color Option #1

MANUFACTURE & INSTALL ONE (1) DOUBLE FACED, ILLUMINATED GROUND SIGN.

MOUNTING AREA - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE TEXTURED. CABINETS TO BE ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE SMOOTH. FACES TO BE ROUTED ALUMINUM WITH FACE ILLUMINATED CHANNEL LETTERS " CLEAN MACHINE". "CAR WASH", "STAR" & "FREE VACUUMS" COPY TO BE .5" PUSH THRU ACRYLIC LETTERS.

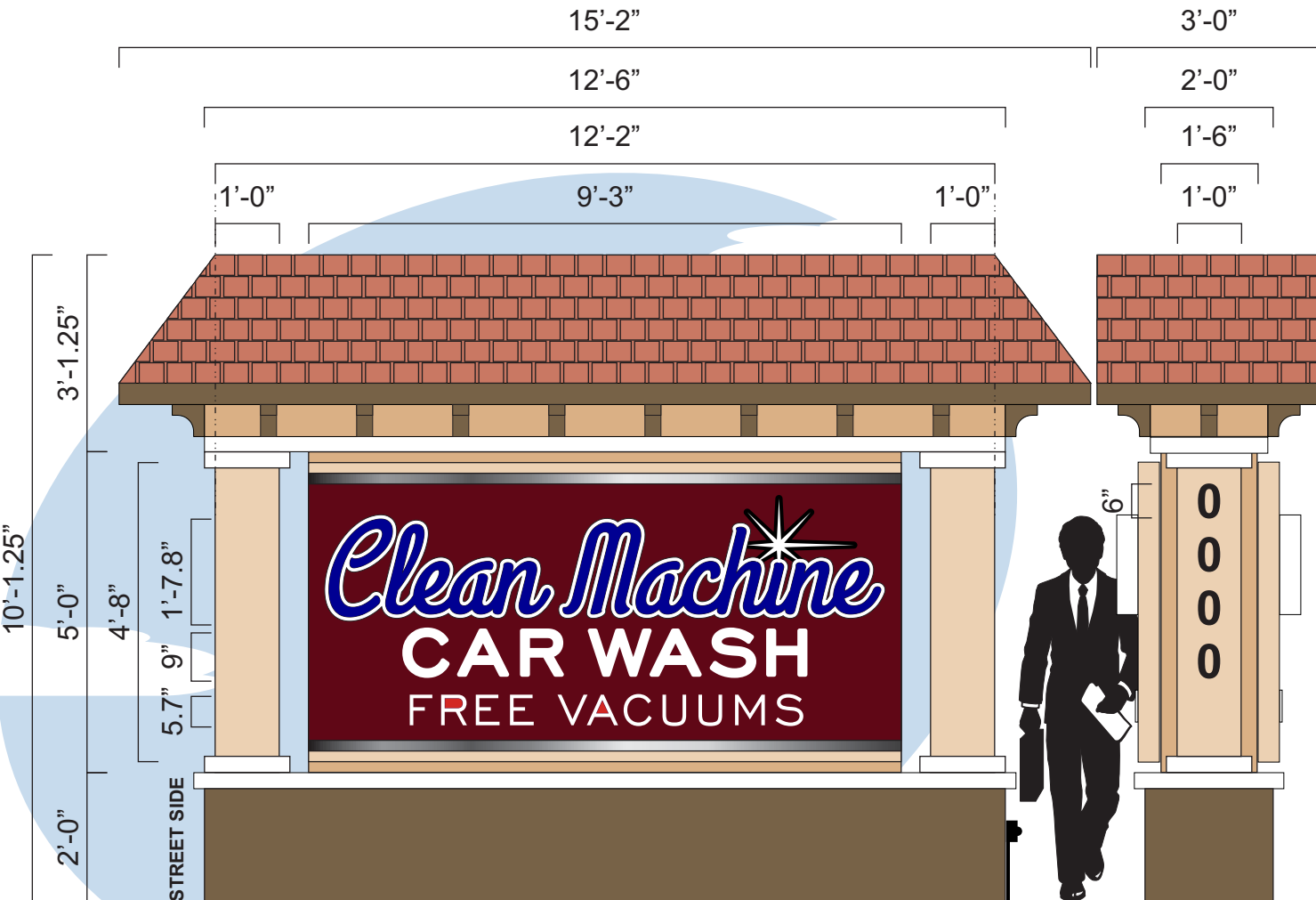
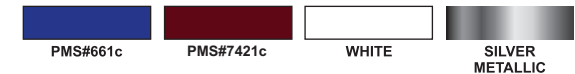
TO BE ILLUMINATED USING WHITE (7000k) LED's.

COLUMNS TO BE ALL ALUMINUM CONSTRUCTION WITH FABRICATED ALUM.CAPS AND BASES, FINISH TO BE TEXTURED. ADDRESS NUMBERS TO BE .25" FLAT CUT OUT DiBOND WITH SMOOTH PAINTED FINISH.
NOTE: SQUARE COLUMNS

ROOF - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE SMOOTH WITH TILE TO MATCH BLDG (BY OTHERS) CAP TO BE FABRICATED ALUMINUM WITH PVC SCONCES

BASE TO BE ALL ALUMINUM CONSTRUCTION WITH TEXTURED FINISH. CAP AND BASE TO BE FABRICATED ALUM WITH TEXTURED FINISH.

COLOR LEGEND:		ROOF (AWNING)
COLOR 1	SHERWIN WILLIAMS SW7722 "TRAVERTINE"	CONCRETE TILE & METAL STANDING SEAM FINISHING TERRA COTTA COLOR
COLOR 2	SHERWIN WILLIAMS SW7679 "GOLDEN GATE"	
COLOR 3	BENJAMIN MOORE 2098-30 "DARK NUT BROWN"	



3300 PALM AVENUE, FT. MYERS, FL 33901
PHONE: 239.278.4245
FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NFPA 70 - II



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction

Max height is 24'-0" Max allowable Sq Ft is 1 Sq Ft per linear Ft of bldg frontage N.T.E. 200.0 Sq Ft. 75% To be sign copy, 25% to be Architectural detail. Sign base to be max 2'-0" in height. Sign width must be greater than sign height.

Sign is 8'-0" High Sign is utilizing 43.2 Sq Ft

CUSTOMER APPROVAL:

SIGNATURE

DATE

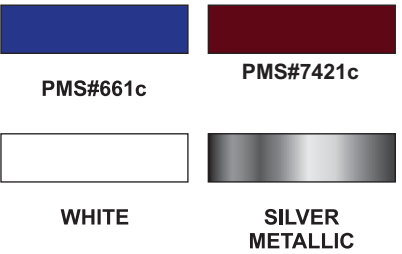
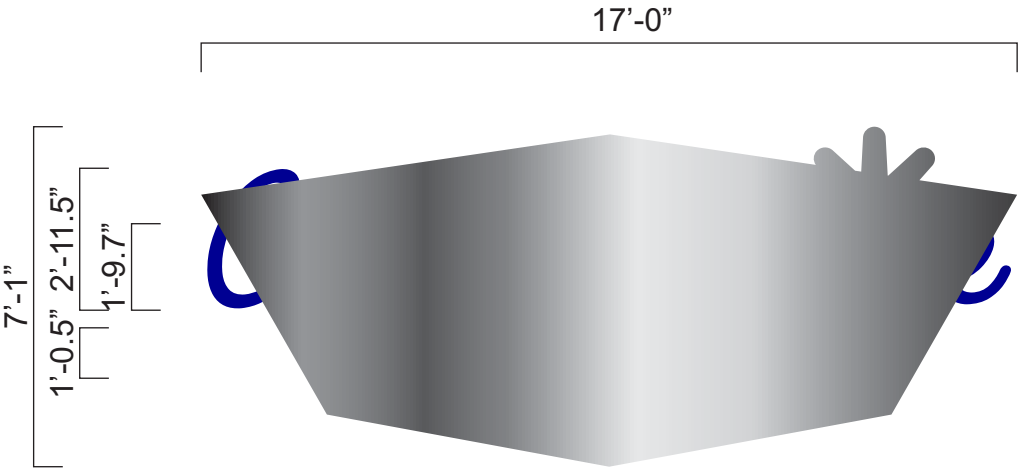
JOB DESCRIPTION:
Ground Sign Option #1

PROJECT MANAGER:
Elisha White

DESIGNER:
MB

COMPANY: Clean Machine	DRAWING NUMBER: 20-0272 01 H	INITIAL DRAWING DATE: 5/5/2020	REVISION 3/28 F	REVISION 3/31 G	REVISION 4/26 H	Rev H Revised per DO comments
CONTACT:	PHONE:	E-MAIL:	SCALE: 3/8" = 1'-0"			

ADDRESS: Vintage Pkwy & US 41 Estero Fl
FILEPATH: Z:\grfx\Clean Machine\Estero, Vintage Pkwy & US 41\20-0272, AllDrawings\20-0272 01 H Clean Machine - Package.cdr
SHEET 1 of 9
THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS



MANUFACTURE & INSTALL ONE (1) SINGLE FACED, ILLUMINATED WALL SIGN.

ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME. FACES TO BE ROUTED WITH .5" ACRYLIC PUSH THRU LETTERS "CARWASH". "CLEAN MACHINE" COPY TO BE 5" DEEP FACE ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO FACE OF CABINET. "STAR" TO BE ROUTED OUT OF FACES AND BACKED WITH PLEX.

TO BE ILLUMINATED USING WHITE (7000k) LED's.

3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

CUSTOMER APPROVAL:

 SIGNATURE

 DATE

JOB DESCRIPTION: Wall Sign						PROJECT MANAGER: Elisha White	DESIGNER: MB
COMPANY: Clean Machine	DRAWING NUMBER: 20-0272 02 H	INITIAL DRAWING DATE: 5/5/2020	REVISION 3/28 F	REVISION 3/31 G	REVISION 4/26 H	Rev H Revised per DO comments	
CONTACT:	PHONE:	E-MAIL:		SCALE: 1/4" = 1'-0"			

ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NFPA 70 - 11





30'-8" X 40'-0" = 1226.624 TOTAL AREA
 10% = 122.6 Sq Ft ALLOWED
 7'-1" X 17'-0" = 120.4 Sq Ft

SOUTH ELEVATION: 1/8" = 1'-0"



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70 - 11



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction

Max signage allowed is 10% of the total area of wall. N.T.E. 200.0 Sq Ft

Sign is allowed 122.6 Sq Ft Sign is utilizing 120.4 Sq Ft

CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:
 Wall Sign

PROJECT MANAGER:
 Elisha White

DESIGNER:
 MB

COMPANY:
 Clean Machine

DRAWING NUMBER:
 20-0272 02 H

INITIAL DRAWING DATE:
 5/5/2020

REVISION
 3/28 F

REVISION
 3/31 G

REVISION
 4/26 H

Rev H Revised per DO comments

CONTACT:

PHONE:

E-MAIL:

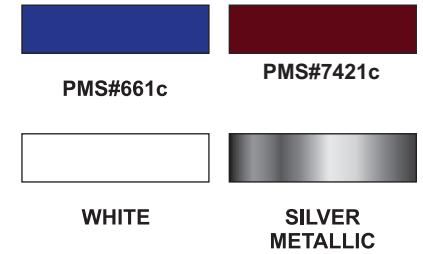
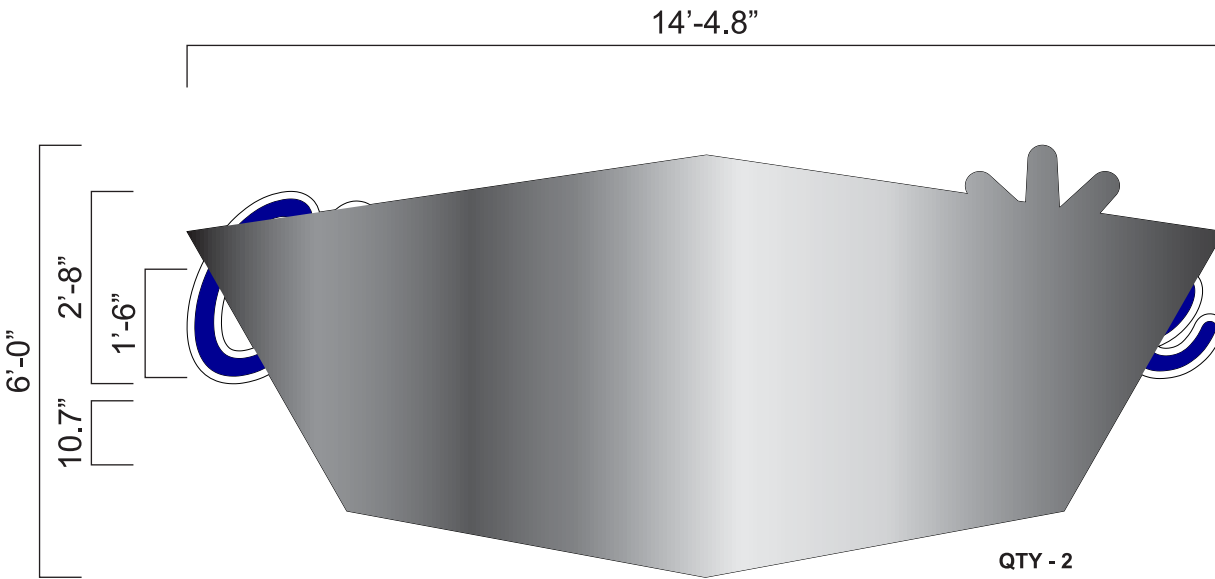
SCALE: 1/8" = 1'-0"

ADDRESS:
 Vintage Pkwy & US 41 Estero Fl

FILEPATH:
 Z:\grfx\C Jobs\Clean Machine\Estero, Vintage Pkwy & US 41\20-0272, AllDrawings\20-0272 01 H Clean Machine - Package.cdr

SHEET 3 of 9

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS



MANUFACTURE & INSTALL TWO (2) SINGLE FACED, ILLUMINATED WALL SIGN.

ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME. FACES TO BE ROUTED WITH .5" ACRYLIC PUSH THRU LETTERS "CARWASH". "CLEAN MACHINE" COPY TO BE 5" DEEP FACE ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO FACE OF CABINET. "STAR" TO BE ROUTED OUT OF FACES AND BACKED WITH PLEX.

TO BE ILLUMINATED USING WHITE (7000k) LED's.



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NFPA 70 - II



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:
 Wall Sign

PROJECT MANAGER:
 Elisha White

DESIGNER:
 MB

COMPANY:
 Clean Machine

DRAWING NUMBER:
 20-0272 06 H

INITIAL DRAWING DATE:
 5/5/2020

REVISION
 3/28 F

REVISION
 3/31 G

REVISION
 4/26 H

Rev H Revised per DO comments

CONTACT:

PHONE:

E-MAIL:

SCALE: 3/8" = 1'-0"

ADDRESS:

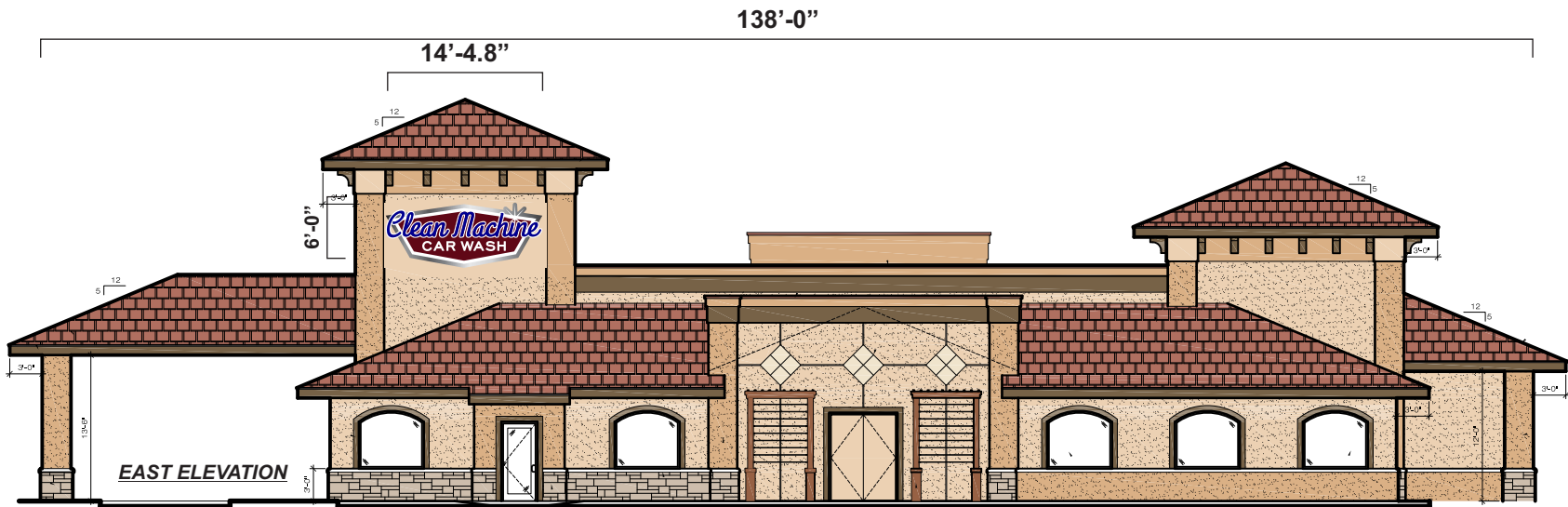
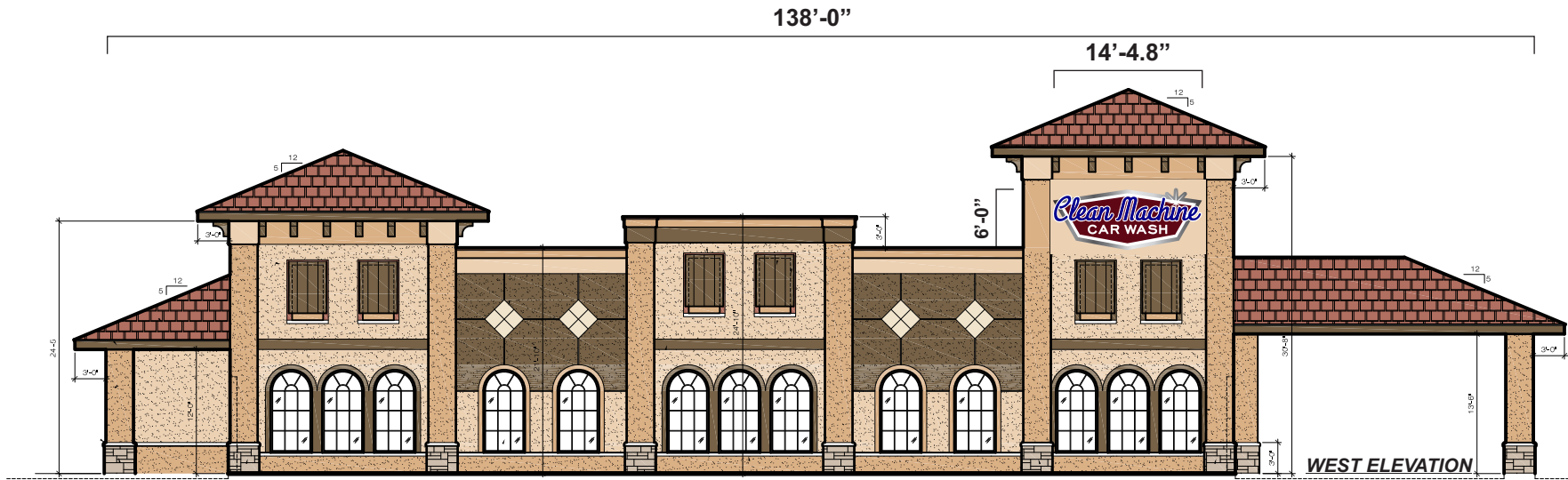
Vintage Pkwy & US 41 Estero Fl

FILEPATH:

Z:\grfx\C Jobs\Clean Machine\Estero, Vintage Pkwy & US 41\20-0272, AllDrawings\20-0272 01 H Clean Machine - Package.cdr

SHEET 4 of 9

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70 - 11



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction

Max signage allowed is 10% of the total area of wall. N.T.E. 200.0 Sq Ft

Sign is allowed 200.0 Sq Ft Sign is utilizing 86.5 Sq Ft

CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:
 Wall Sign

PROJECT MANAGER:
 Elisha White

DESIGNER:
 MB

COMPANY:
 Clean Machine

DRAWING NUMBER:
 20-0272 06 H

INITIAL DRAWING DATE:
 5/5/2020

REVISION
 3/28 F

REVISION
 3/31 G

REVISION
 4/26 H

Rev H Revised per DO comments

CONTACT:

PHONE:

E-MAIL:

SCALE: NONE

ADDRESS:
 Vintage Pkwy & US 41 Estero Fl

FILEPATH:
 Z:\grfx\C Jobs\Clean Machine\Estero, Vintage Pkwy & US 41\20-0272, AllDrawings\20-0272 01 H Clean Machine - Package.cdr

SHEET 5 of 9

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

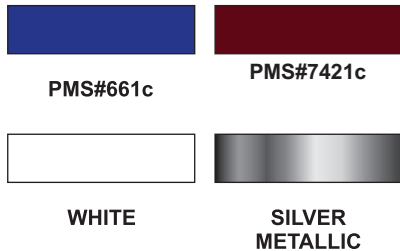
QUANTITY: ONE (1) SINGLE-SIDED
 INTERIOR WALL SIGN
 NON ILLUMINATED

BACKGROUND: 1/2" THICK WHITE PVC
 ROUTER CUT, PAINT COLORS TO MATCH
 EXISTING EXTERIOR WALL SIGN

"Clean Machine" LETTERS:
 1/4" THICK WHITE PVC, ROUTER CUT
 BLUE VINYL OVERLAY
 FLUSH MOUNTED TO BACKER

"CAR WASH" LETTERS:
 1/4" THICK WHITE PVC, ROUTER CUT
 FLUSH MOUNTED TO BACKER

"STAR": 1/4" THICK WHITE PVC, ROUTER CUT
 FLUSH MOUNTED TO BACKER
 INTERIOR SIGN TO BE MOUNTED TO LOBBY WALL



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70 - 11



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:
 Interior

PROJECT MANAGER:
 Elisha White

DESIGNER:
 MB

COMPANY:
 Clean Machine

DRAWING NUMBER:
 20-0272 05 H

INITIAL DRAWING DATE:
 5/5/2020

REVISION
 3/28 F

REVISION
 3/31 G

REVISION
 4/26 H

Rev H Revised per DO comments

CONTACT:

PHONE:

E-MAIL:

SCALE: 1.5" = 1'-0"

ADDRESS:
 Vintage Pkwy & US 41 Estero Fl

FILEPATH:
 Z:\grfx\C Jobs\Clean Machine\Estero, Vintage Pkwy & US 41\20-0272, AllDrawings\20-0272 01 H Clean Machine - Package.cdr

SHEET 6 of 9

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

Color Option #2

MANUFACTURE & INSTALL ONE (1) DOUBLE FACED, ILLUMINATED GROUND SIGN.

MOUNTING AREA - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE TEXTURED. CABINETS TO BE ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE SMOOTH. FACES TO BE ROUTED ALUMINUM WITH FACE ILLUMINATED CHANNEL LETTERS " CLEAN MACHINE". "CAR WASH", "STAR" & "FREE VACUUMS" COPY TO BE .5" PUSH THRU ACRYLIC LETTERS.

TO BE ILLUMINATED USING WHITE (7000k) LED's.

COLUMNS TO BE ALL ALUMINUM CONSTRUCTION WITH FABRICATED ALUM.CAPS AND BASES, FINISH TO BE TEXTURED. ADDRESS NUMBERS TO BE .25" FLAT CUT OUT DiBOND WITH SMOOTH PAINTED FINISH.

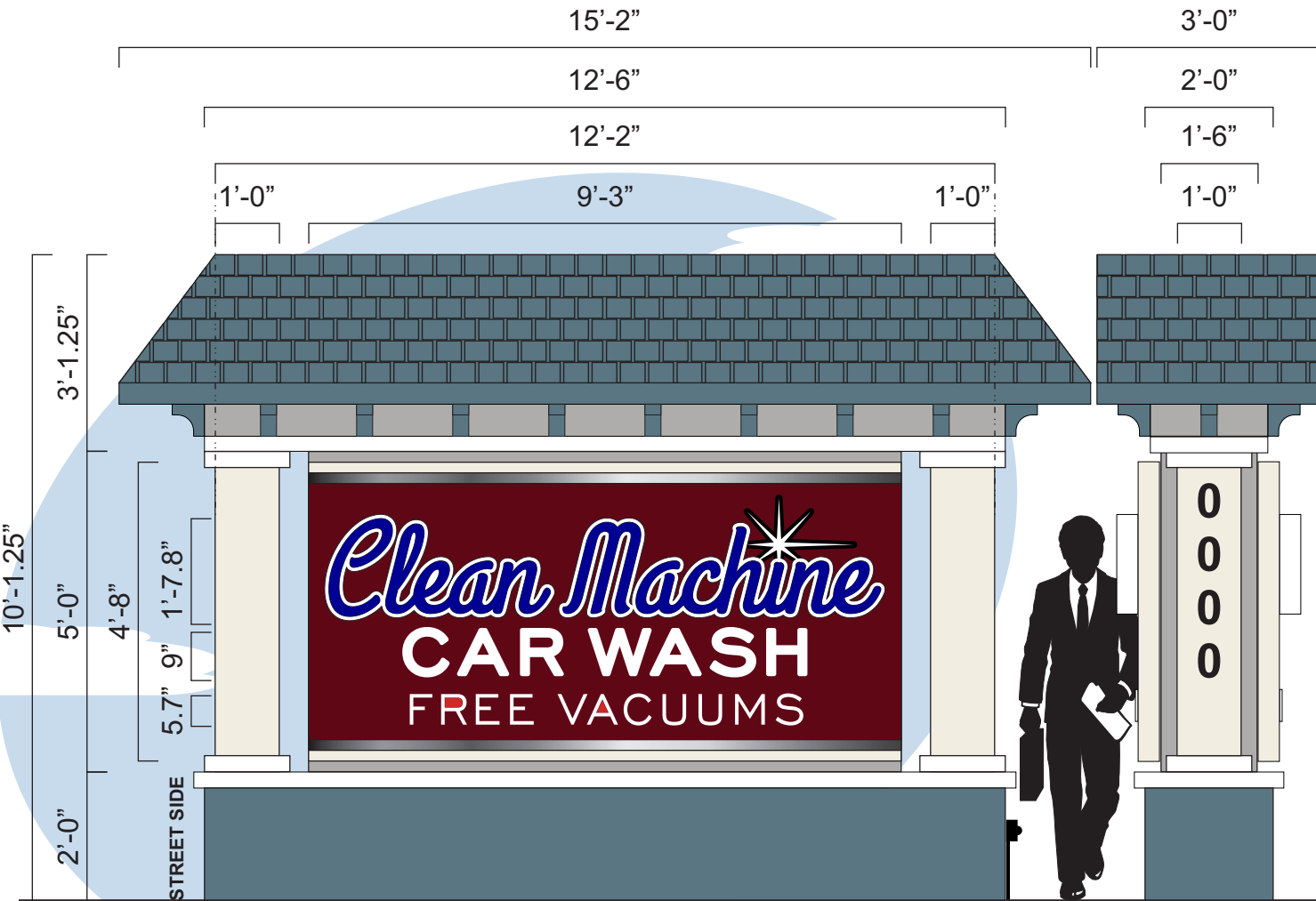
NOTE: SQUARE COLUMNS

ROOF - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE SMOOTH WITH TILE TO MATCH BLDG (BY OTHERS) CAP TO BE FABRICATED ALUMINUM WITH PVC SCONCES

BASE TO BE ALL ALUMINUM CONSTRUCTION WITH TEXTURED FINISH. CAP AND BASE TO BE FABRICATED ALUM WITH TEXTURED FINISH.

COLOR LEGEND:

COLOR 1	BEHR 1/2" SWISS COFFEE*
COLOR 2	BEHR NS50-3m FLANNEL GRAY*
COLOR 3	BEHR MCS-26d HAMPTON SURF*



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction

Max height is 24'-0" Max allowable Sq Ft is 1 Sq Ft per linear Ft of bldg frontage N.T.E. 200.0 Sq Ft. 75% To be sign copy, 25% to be Architectural detail. Sign base to be max 2'-0" in height. Sign width must be greater than sign height.

Sign is 8'-0" High Sign is utilizing 43.2 Sq Ft

CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:
Ground Sign Option #2

PROJECT MANAGER:
Elisha White

DESIGNER:
MB

COMPANY: Clean Machine	DRAWING NUMBER: 20-0272 07 H	INITIAL DRAWING DATE: 5/5/2020	REVISION 3/28 F	REVISION 3/31 G	REVISION 4/26 H	Rev H Revised per DO comments
---------------------------	---------------------------------	-----------------------------------	--------------------	--------------------	--------------------	-------------------------------

CONTACT:	PHONE:	E-MAIL:	SCALE: 3/8" = 1'-0"
----------	--------	---------	---------------------

ADDRESS: Vintage Pkwy & US 41 Estero Fl	FILEPATH: Z:\grfx\C Jobs\Clean Machine\Estero, Vintage Pkwy & US 41\20-0272, AllDrawings\20-0272 01 H Clean Machine - Package.cdr	SHEET 7 of 9
--	--	--------------

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS



3300 PALM AVENUE, FT. MYERS, FL 33901
PHONE: 239.278.4245
FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NFPA 70 - 11





30'-8" X 40'-0" = 1226.624 TOTAL AREA
 10% = 122.6 Sq Ft ALLOWED
 7'-1" X 17'-0" = 120.4 Sq Ft

SOUTH ELEVATION: 1/8" = 1'-0"



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70 - 11



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction

Max signage allowed is 10% of the total area of wall. N.T.E. 200.0 Sq Ft

Sign is allowed 122.6 Sq Ft Sign is utilizing 120.4 Sq Ft

CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:
 Wall Sign Opt #2

PROJECT MANAGER:
 Elisha White

DESIGNER:
 MB

COMPANY:
 Clean Machine

DRAWING NUMBER:
 20-0272 08 H

INITIAL DRAWING DATE:
 5/5/2020

REVISION
 3/28 F

REVISION
 3/31 G

REVISION
 4/26 H

Rev H Revised per DO comments

CONTACT:

PHONE:

E-MAIL:

SCALE: 3/32" = 1'-0"

ADDRESS:
 Vintage Pkwy & US 41 Estero Fl

FILEPATH:
 Z:\grfx\C Jobs\Clean Machine\Estero, Vintage Pkwy & US 41\20-0272, AllDrawings\20-0272 01 H Clean Machine - Package.cdr

SHEET 8 of 9

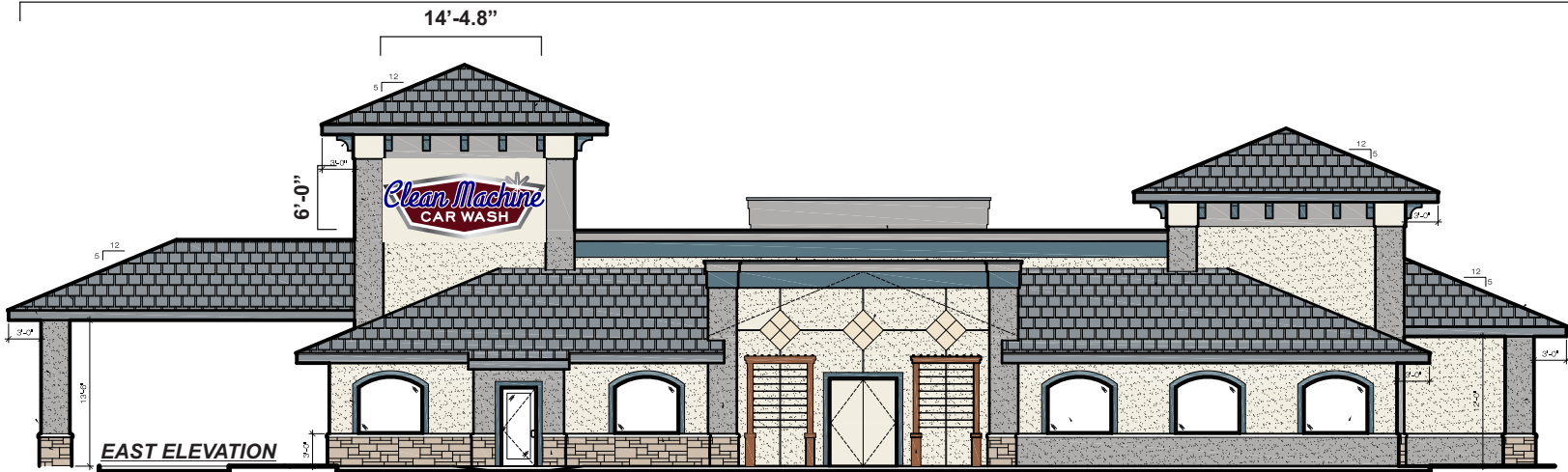
THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

138'-0"

Color Option #2



138'-0"



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70 - 11



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction

Max signage allowed is 10% of the total area of wall. N.T.E. 200.0 Sq Ft

Sign is allowed 200.0 Sq Ft Sign is utilizing 86.5 Sq Ft

CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:

Wall Sign

PROJECT MANAGER:

Elisha White

DESIGNER:

MB

COMPANY:
Clean Machine

DRAWING NUMBER:
20-0272 09 H

INITIAL DRAWING DATE:
5/5/2020

REVISION
3/28 F

REVISION
3/31 G

REVISION
4/26 H

Rev H Revised per DO comments

CONTACT:

PHONE:

E-MAIL:

SCALE: NONE

ADDRESS:

Vintage Pkwy & US 41 Estero Fl

FILEPATH:

Z:\grfx\C Jobs\Clean Machine\Estero, Vintage Pkwy & US 41\20-0272, All\Drawings\20-0272 01 H Clean Machine - Package.cdr

SHEET 9 of 9

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS



**VILLAGE OF ESTERO
PLANNING, ZONING & DESIGN BOARD**

**WORKSHOP MEETING
MAY 11, 2021**

APPLICANT REPRESENTATIVES

Engineer:

D. Brent Addison, P.E.



Landscape
Architect:

Gregory J. Diserio, RLA



Architect:

Stephen Seaton, AIA



Traffic
Engineer:

Jim Banks, P.E.

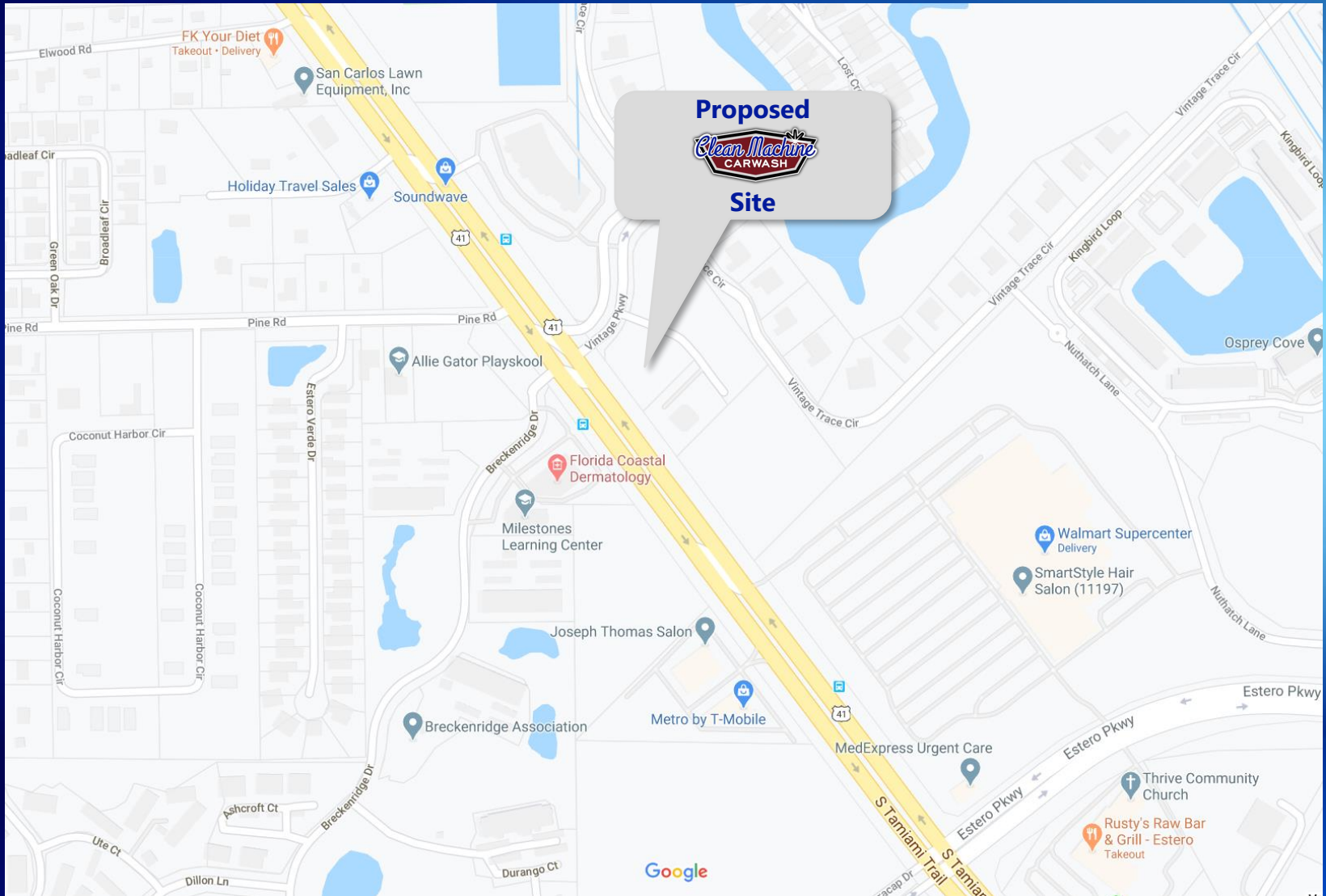


Acoustical
Consultant:

Sam Shroyer



SITE LOCATION MAP



Site is located at the SE corner of US 41 and Vintage Parkway

PROJECT SUMMARY

Request: Site Plan, landscaping and architectural review in preparation of a Development Order application.

- 3,610 SF± Drive-thru car wash, 1 story/45 ft, and associated infrastructure on a 1-acre parcel.
- Proposed use and site plan is consistent with existing zoning which is (CC) Community Commercial.



ENGINEER

D. BRENT ADDISON, P.E

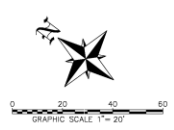
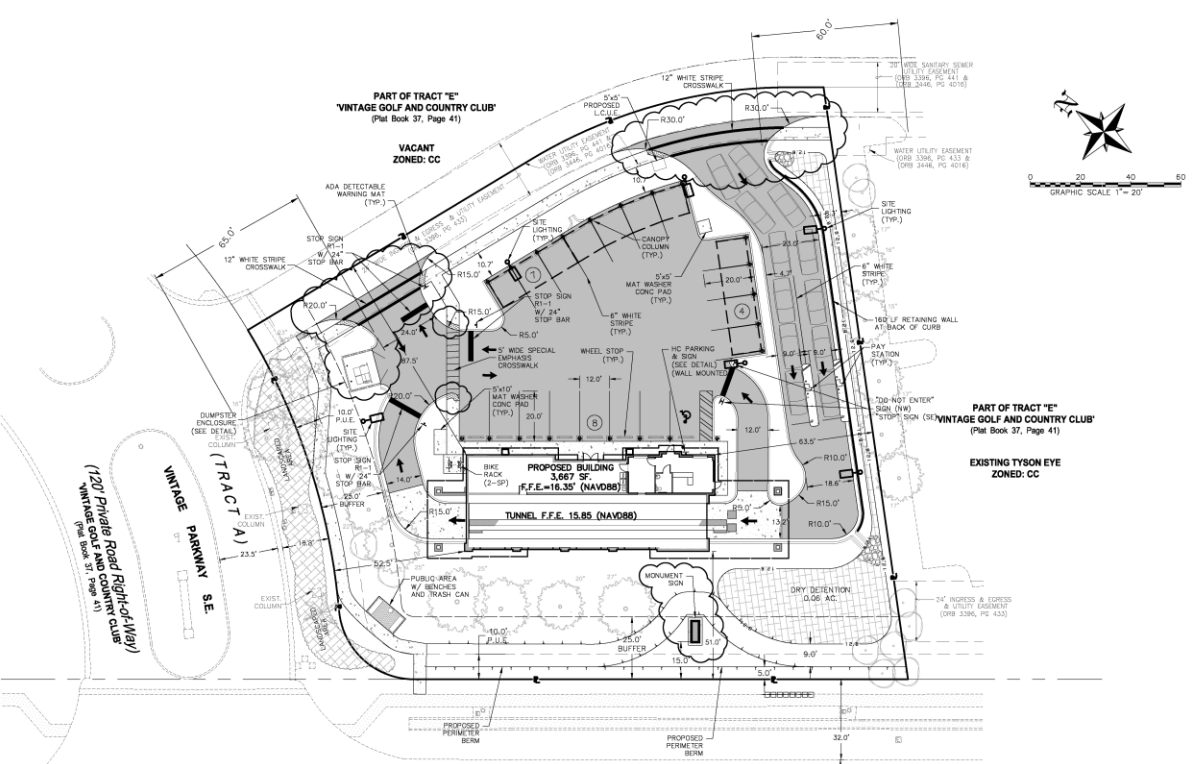


SITE AERIAL



SITE PLAN

CLEAN MACHINE CARWASH ESTERO			
LAND DEVELOPMENT AREAS:			
TOTAL PROJECT AREA:	46,351 SF.	1.06 AC.	(100%)
IMPERVIOUS:	27,194 SF.	0.62 AC.	(58.49%)
BUILDING	3,990 SF.	0.09 AC.	(7.55%)
PAVEMENT	16,097 SF.	0.37 AC.	(34.91%)
E.S. PAVEMENT (ROAD)	2,976 SF.	0.07 AC.	(6.63%)
CONC./SW	4,531 SF.	0.10 AC.	(9.43%)
PERVIOUS:	19,157 SF.	0.44 AC.	(41.51%)
GREEN SPACE	19,157 SF.	0.44 AC.	(41.51%)



PAVEMENT	
CONCRETE	
SITE DEVELOPMENT REGULATIONS (PER CC ZONING)	
	REQUIRED PROVIDED
MIN. LOT SIZE (SQ)	20,000 46,351
MIN. LOT WIDTH (FT)	100 211.59
MIN. LOT DEPTH (FT)	100 305.01
SETBACKS	
STREET (US-41) (FT)	50 51.0
STREET (INTERNAL) (FT)	20 32.5
SIDE (FT)	15 63.5
REAR (FT)	25 87.5
WATER BODY (FT)	NA NA
MAX LOT COVERAGE (%)	40 7.55
MAX HEIGHT (FT)	35 34'-4"

PARKING CALCULATIONS	
REQUIRED = 1.3 SPACES PER STALL	
REQUIRED = 19 SPACES (INCLUDING 1 HC SPACE)	
BICYCLE PARKING	
REQUIRED = 5 SPACES OF PARKING OR 2 MIN.	
PROVIDED = 2 SPACES	
STACKING	
REQUIRED = 5 SPACES	
PROVIDED = 12 SPACES	
DUMPSTER CALCULATIONS	
REQUIRED = BUILDING AREA 0-5,000 SF. = 60 SF.	
TOTAL REQUIRED = 84 SF.	24 SF. RECYCLABLE
PROVIDED = 165 SF.	

US-41
 (200' Public Road Right-of-Way
 per FDOT Right-of-Way Map Section 12010-2503)

PREPARED FOR:
CLEAN STREAK VENTURES
 222 S. WESTMONT DR. SUITE 251
 ALTAMONTE SPRINGS, FL 32714

NO.	DATE	REVISION	DESCRIPTION
1	3/27/2021	REVISED PER VILLAGE COMMENTS	
2	03/08	REVISION	

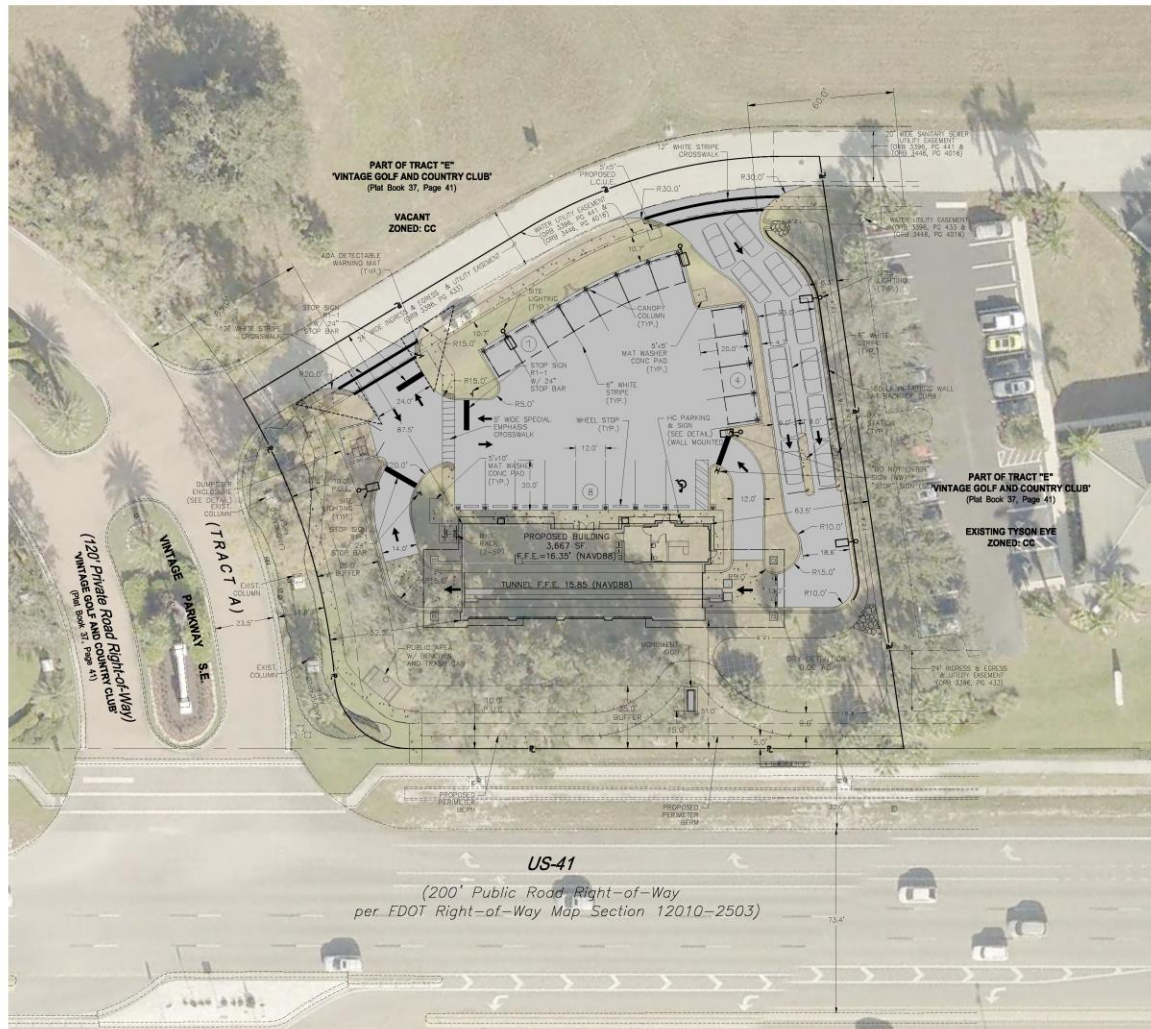
BANKS ENGINEERING
 10911 SW WILD CYPRESS PARKWAY
 VILLAGE VILLAS, PALM BEACH
 PHONE: (239) 939-5490 FAX: (239) 939-2523
 PROFESSIONAL LICENSE # 19 3686 SURVEY LICENSE # 18 5680
 WWW.BANKSENG.COM

D. BRENT ADDISON
 P.E., L.C. #12061

SITE PLAN CLEAN MACHINE ESTERO VILLAGE OF ESTERO, FLORIDA							
DATE	PROJECT	DRAWING	DESIGN	DRAWN	CHECKED	SCALE	SHEET
1/18/2021	8502	SITE PLAN	DBA	BEJ	DBA	1"=20'	04

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE FOR INFORMATION ONLY.

SITE PLAN WITH AERIAL



PREPARED FOR:
CLEAN STREAK VENTURES
222 S. WESTMONTIC DR., SUITE 203
ALTA MONTIC SPRINGS, FL 32714

NO.	DATE	REVISION

BANKS ENGINEERING
Professional Engineers, Planners, & Land Surveyors
Serving the State of Florida

10811 90 MILE EXPRESS PARKWAY
SUITE 1000, FLORIDA 33466
PHONE: (239) 939-5400 FAX: (239) 939-2623
ENGINEERING LICENSE #18 8886
SURVEY LICENSE # 18 5695
WWW.BANKS-ENG.COM

S. BRENT ADDISON
P.E. LICENSE #170851

SITE PLAN							
CLEAN MACHINE ESTERO							
VILLAGE OF ESTERO, FLORIDA							
DATE	PROJECT	DRAWING	REVISION	DRAWN	CHECKED	SCALE	SHEET
1/18/2021	8502	SITE PLAN	DBA	BEI	DBA	1"=20'	04

© 2021 BANKS ENGINEERING, INC. ALL RIGHTS RESERVED. THIS DOCUMENT IS UNLAWFUL TO REPRODUCE OR TRANSMIT IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM BANKS ENGINEERING, INC.

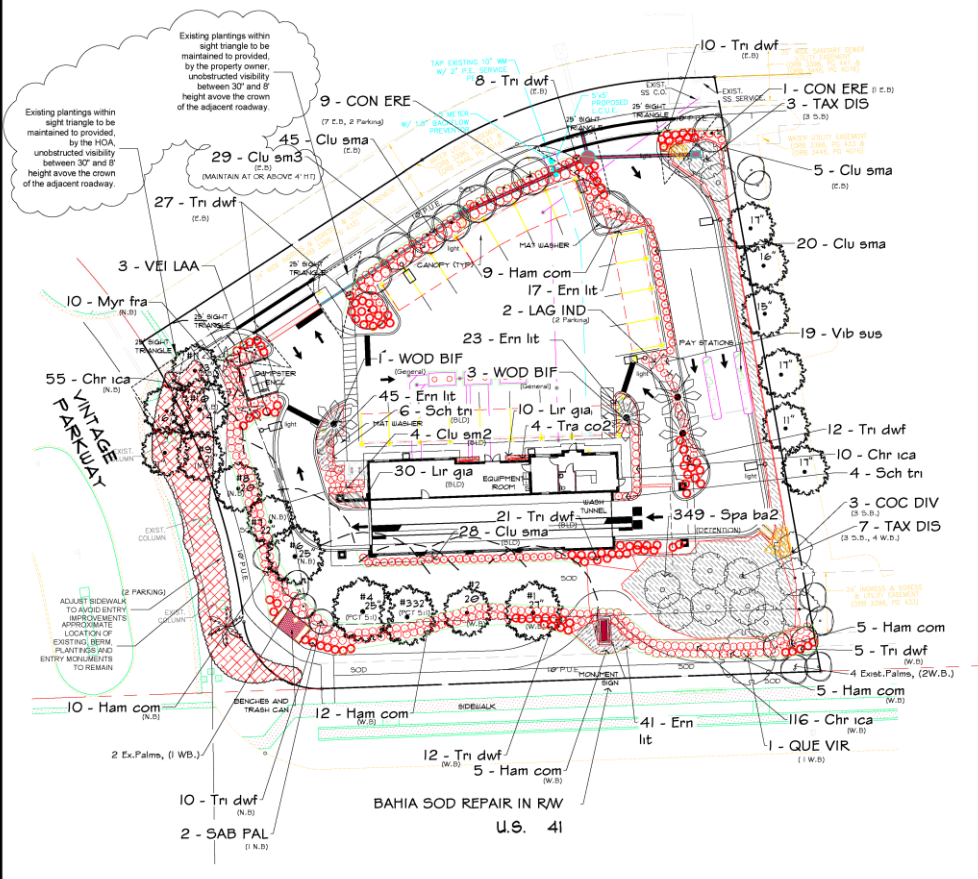
CLEAN MACHINE ESTERO

LANDSCAPE ARCHITECT

Gregory J. Diserio, RLA



LANDSCAPE PLAN



LANDSCAPE PLAN

TYPICAL EASEMENT AREA REFER TO ENGINEERING PLANS FOR SPECIFIC EASEMENT INFORMATION



PLANT LIST

THREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	PREPARED FOR
	CON ERE	3	Coccoloba diversifolia	Spurge Tree	12" 1/4 HT 2 1/2 CAL # 1 3/4 16 GALLON BRASSER	NOTIVE
	CON ERE	10	Conocarpus wrightii	Subtropical	12" 1/4 HT 2 1/2 CAL # 1 3/4 16 GALLON BRASSER	NOTIVE
	LAG RED	2	Lagerströmia indica	Oleace Nettle	12" 1/4 HT 2 1/2 CAL # 1 3/4 16 GALLON BRASSER	NOTIVE
	QUAD 1	1	Quercus agrifolia	Southern Live Oak	12" 1/4 HT 2 1/2 CAL # 1 3/4 16 GALLON BRASSER	NOTIVE
	SAB PAL	2	Sabal palmetto	Palmetto Palm	12" 1/4 CT	NOTIVE
	TAX DIS	10	Taxodium distichum	Red Cypress	12" 1/4 HT 2 1/2 CAL # 1 3/4 16 GALLON BRASSER	NOTIVE
	VELLA	3	Valeriana homocarpum	Stomachwort Palm	12" 1/4 CT	NOTIVE
	WOOD BIF	4	Myrsine bicolorata	Floral Fern	12" Clear Tube	NOTIVE
	CHR ICA	55	Chorizanthe rigida	Small Leaf Cassia	3 gal, 24 in	NOTIVE
	CLU SMA	20	Clusia SMA	Small Leaf Cassia	30" 24 in, 7 gal	Maintain at all
	CHU IND	4	Clusia indica	Small Leaf Cassia	5 1/2 gal	NOTIVE
	HAM COM	48	Hamamelis virginiana Compacta	Small Fraxinus	16 in, 30 in, 3 gallon	NOTIVE
	MYR FRA	10	Myrsine fraxinosa	Small Fraxinus	16 in	NOTIVE
	SCH TRI	10	Schlotheimia trifida	Florida Viremia	3 gal, 24 in	NOTIVE
	TRN DW	100	Trinandra sp. (L.)	Florida Dogwood	16 in, 30 in, 3 gallon	NOTIVE
	WYB LAM	10	Wymanodendron virginicum	Small Leaf Cassia	3 gal, 24 in	NOTIVE
	SAB PAL	2	Sabal palmetto	Palmetto Palm	12" 1/4 CT	NOTIVE
	LAG RED	2	Lagerströmia indica	Oleace Nettle	12" 1/4 CT	NOTIVE
	QUAD 1	1	Quercus agrifolia	Small Leaf Cassia	30" 24 in, 7 gal	NOTIVE
	WOOD BIF	4	Myrsine bicolorata	Floral Fern	12" Clear Tube	NOTIVE
	WYB LAM	10	Wymanodendron virginicum	Small Leaf Cassia	3 gal, 24 in	NOTIVE

MISC.
 MULCH: ALL PLANTINGS SHALL BE MULCHED WITH 3" DARK BROWN MULCH. PROVIDE 4" BARK MULCH RING AROUND ALL TREES.
 SOD: SITE SHALL BE SOODED WITH FLORIDA SOD SOED OR OTHER REQUIRED SOD SPECIES. VERIFY PRIOR TO BIDDING.
 SOD REPAIR IN FOOT R.O.W. SHALL BE BAHIA.
 CONTRACTOR RESPONSIBLE FOR MULCH AND SOD QUANTITIES.



DMJA

DAVID M. JONES, JR. AND ASSOCIATES, INC.
 LANDSCAPE ARCHITECTS AND PLANNERS

2221 McInerney Blvd
 Fort Myers, Florida 33901
 PHONE: (239) 337-5525
 FAX: (239) 337-4681

4101 Tamiami Trail, Bldg. 1401
 Punta Gorda, Florida 33950
 PHONE: (888) 639-2460
 FAX: (888) 639-2460
 L.A. LICENSE: LC 0000063

PROJECT INFORMATION:

CLEAN MACHINE CAR WASH
 Village of Estero, Florida

PREPARED FOR:
 Banks Engineering
 10511 Six Mile Cypress Parkway
 Fort Myers, FL 33966
 Tel: 239-939-5490
 Fax: 239-939-2523

CONSULTANT:

DESIGN PROFESSIONAL:

DESIGNER'S SIGNATURE AND DATE: STATE OF FLORIDA

PROJECT NO: 220032

DESIGNER'S NAME: Greg Deans

DESIGNER'S TITLE: CLD

SCALE: CLD

DESIGNED BY: CLD

DEVELOPMENT ORDER SUBMITTAL

ISSUED DATE: JAN 25, 2021

DATE: 1/25/21

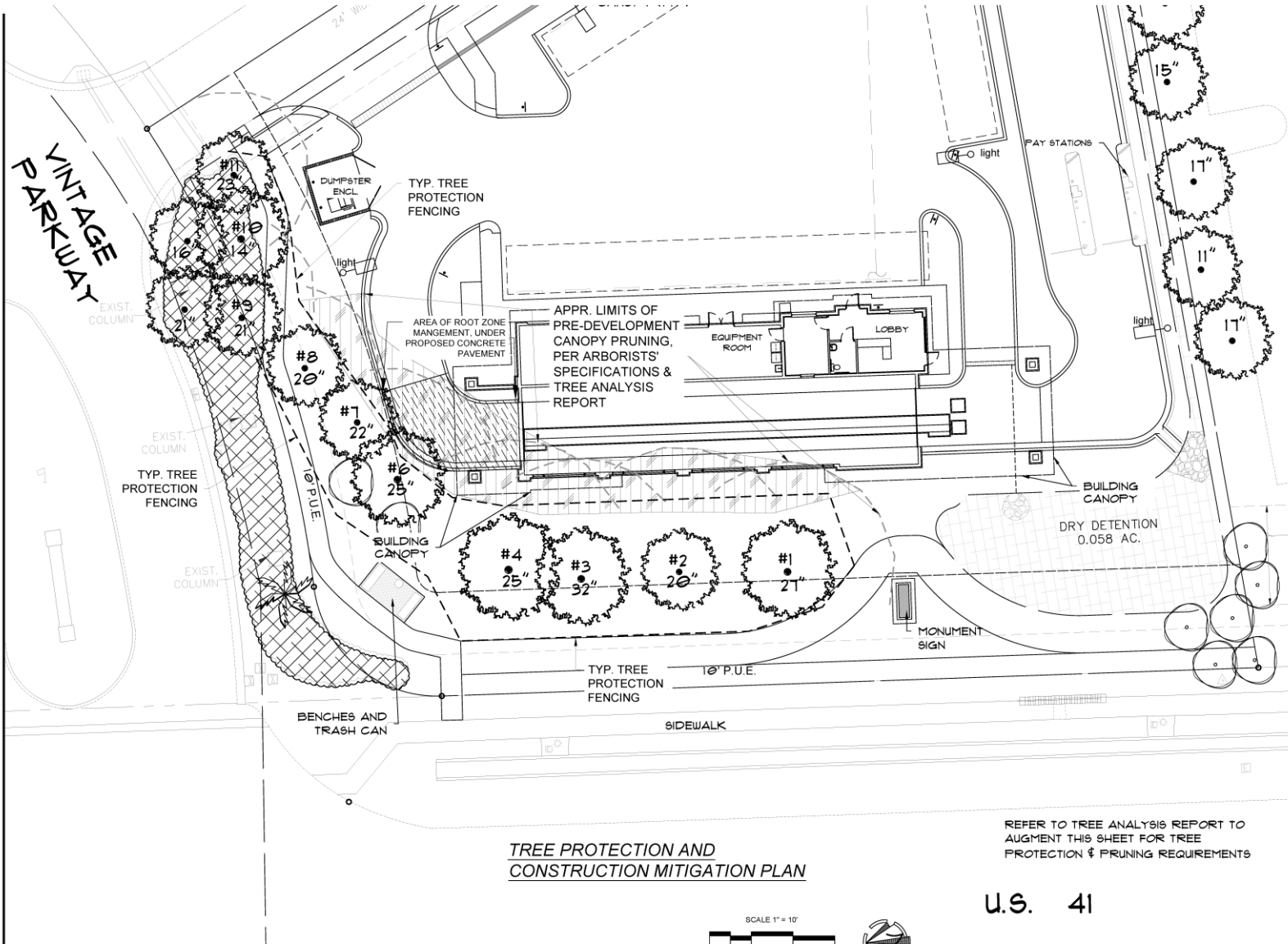
SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

L-2

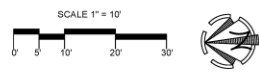
TREE PROTECTION PLAN



TREE PROTECTION AND
CONSTRUCTION MITIGATION PLAN

REFER TO TREE ANALYSIS REPORT TO
AUGMENT THIS SHEET FOR TREE
PROTECTION & PRUNING REQUIREMENTS

U.S. 41



DMJA

DAVID M. JONES, JR.
AND ASSOCIATES, INC.

LANDSCAPE ARCHITECTS
AND PLANNERS

2221 McGregor Blvd.
Fort Myers, Florida 33901
PHONE: (239) 337-8525
FAX: (239) 337-4404
4161 Tamiami Trail, Suite 100
Punta Gorda, Florida 33990
PHONE: (813) 639-2450
FAX: (813) 639-2432
LA LICENSE: LC 0000083

PROJECT INFORMATION

**CLEAN
MACHINE CAR
WASH**

Village of Estero,
Florida

PREPARED FOR:
Banks Engineering
10511 Six Mile Cypress
Parkway
Fort Myers, FL 33966
Tel: 239-939-5490
Fax: 239-939-2523

CONSULTANT:

DESIGN PROFESSIONAL:

PROFESSIONAL ENGINEER
RELAYED IN DATE
STATE OF FLORIDA

PROJECT No. 220032
PROJECT NAME: Clean Machine
DESIGNED BY: Greg Diener
DRAWN BY: GJD
CHECKED BY: GJD
DATE: GJD
DESIGNED FOR: DEVELOPMENT
ORDER SUBMITTAL

ISSUED DATE: JAN. 25, 2021
REVISIONS:
CORRECT PER PERMITS RESPONSE

SHEET TITLE:
**TREE PROTECTION
PLAN**

SHEET NUMBER:
L-4

PLANT IMAGES



COCOPLUM



TRINETTE ARBICOLA



BOUGAINVILLEA SPP



CRINUM LILY



SIMPSON
STOPPER



PITCH APPLE



MRS. SCHILLER'S DELIGHT
VIBURNUM



WALTER'S VIBURNUM



FIREBUSH



MUHLY GRASS



GREEN ISLAND FICUS



GOLDEN
CREEPER



SPARTINA / CORD
GRASS

PRELIMINARY LISTING OF SHRUB SPECIES

ARCHITECT

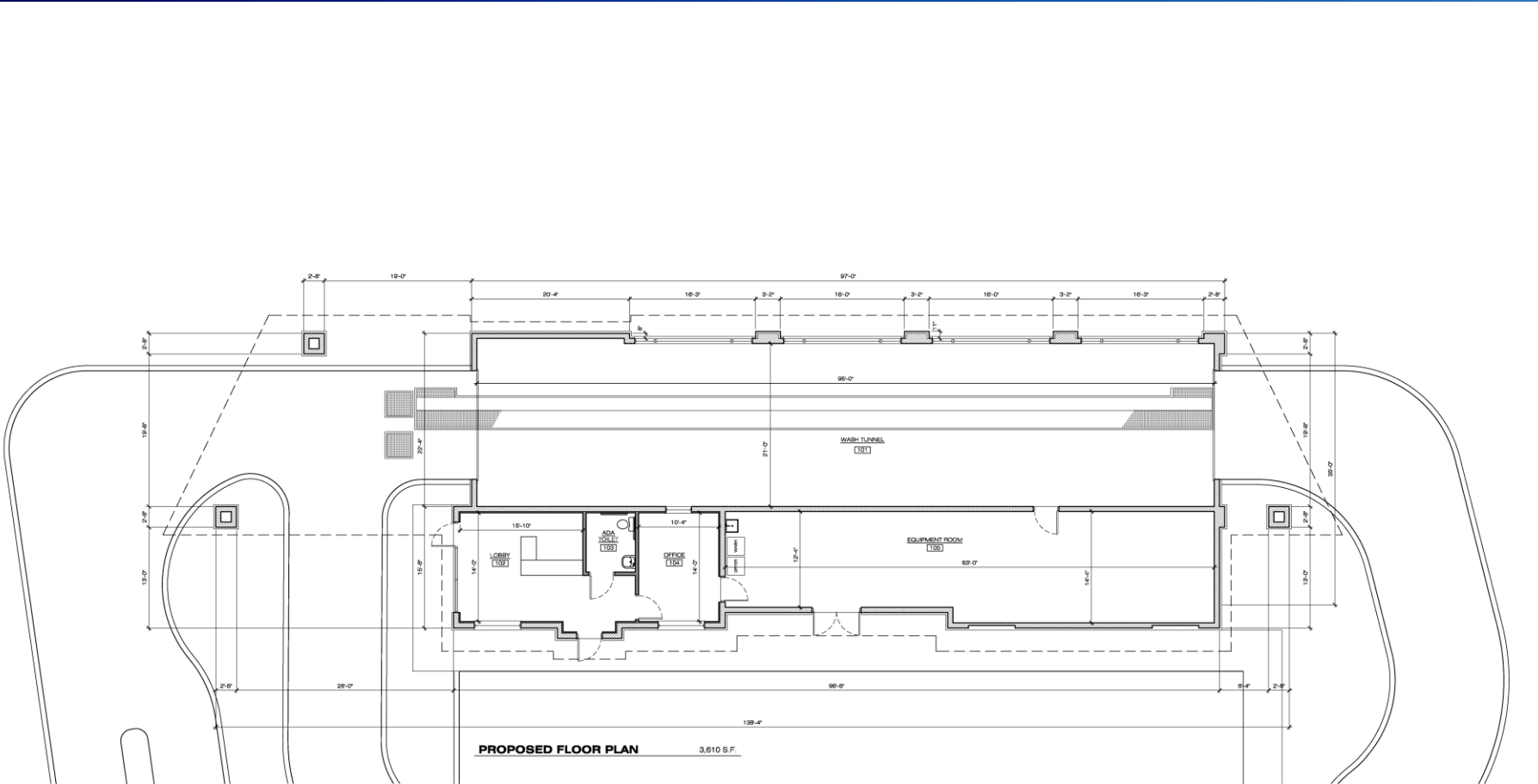
Stephen Seaton, AIA



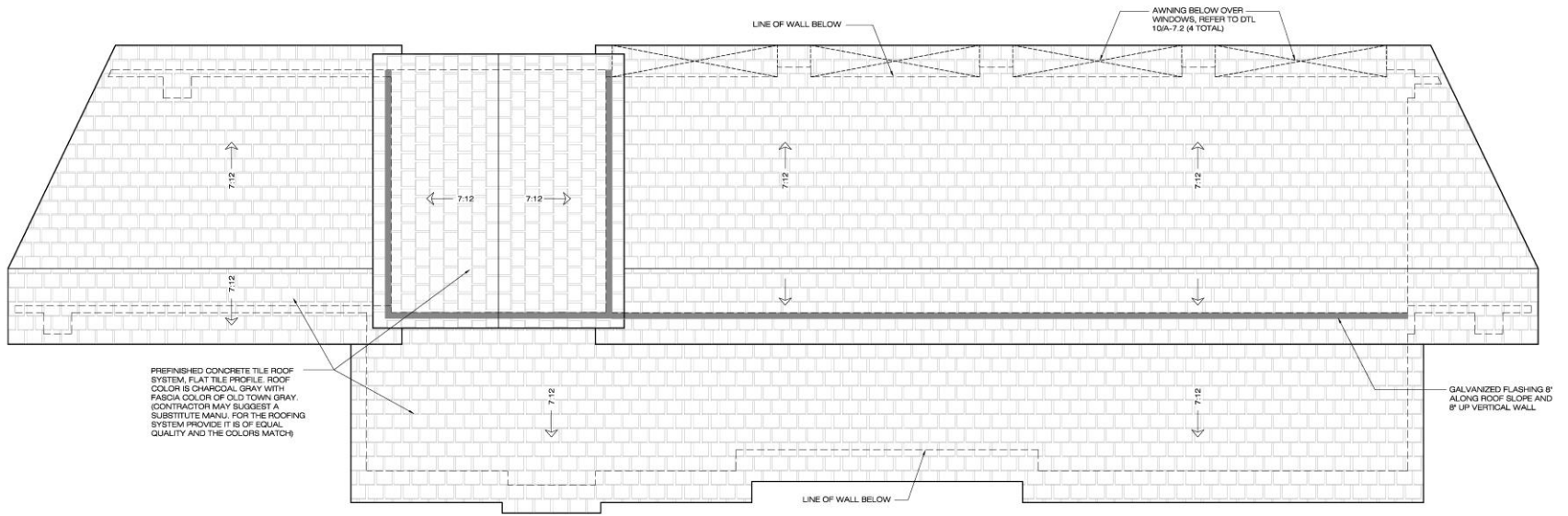
FIRST ROUND



FLOOR PLAN

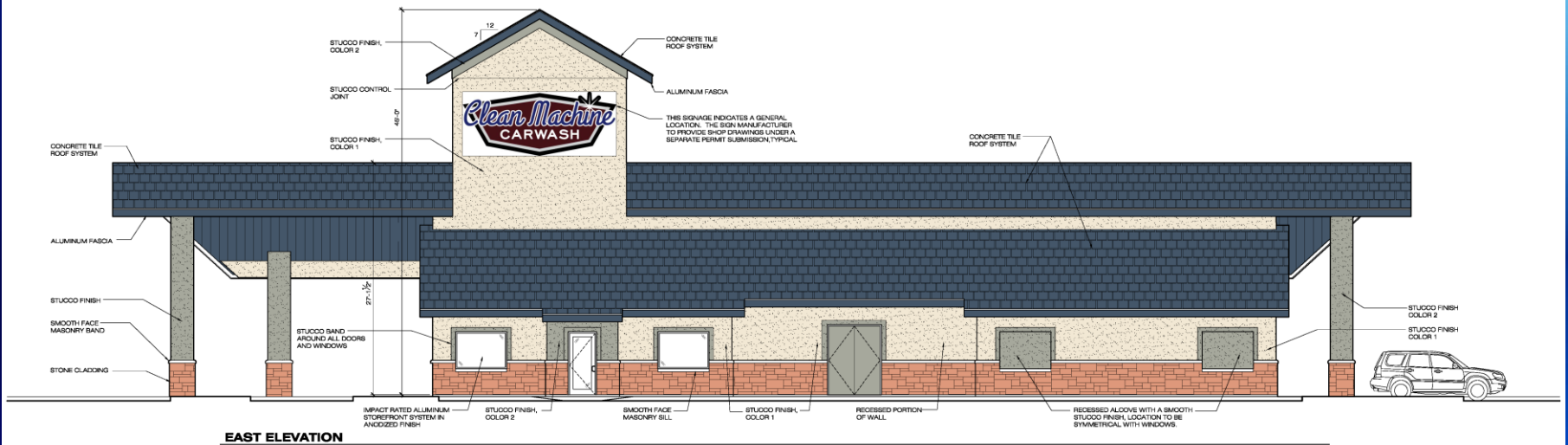


ROOF PLAN



PROPOSED ROOF PLAN

WEST & EAST ELEVATIONS



NORTH ELEVATION



NORTH ELEVATION

SOUTH ELEVATION

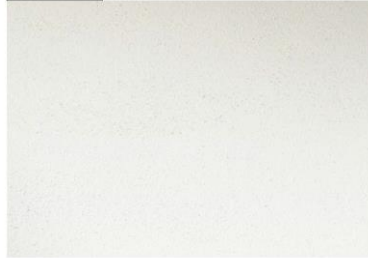


SOUTH ELEVATION

COLORS & MATERIALS

COLOR 1

SHERWIN WILLIAMS
SW6378 "CRISP LINEN"

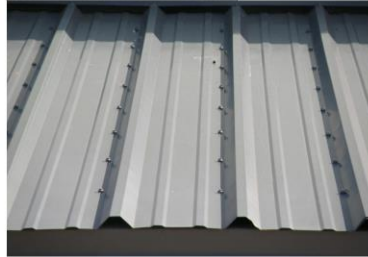


COLOR 2

SHERWIN WILLIAMS
SW6199 "RARE GRAY"



METAL ROOF FOR AWNING



CANOPY COLORS



STONE VENEER



BORAL AMERICA, SERIES
"COUNTY LEDGESTONE MOJAVE"
THESE SAMPLES MAY NOT REPRESENT THE
FINAL COLOR DEPENDING ON THE
MANUFACTURER OF THE STONE

MAIN ROOF

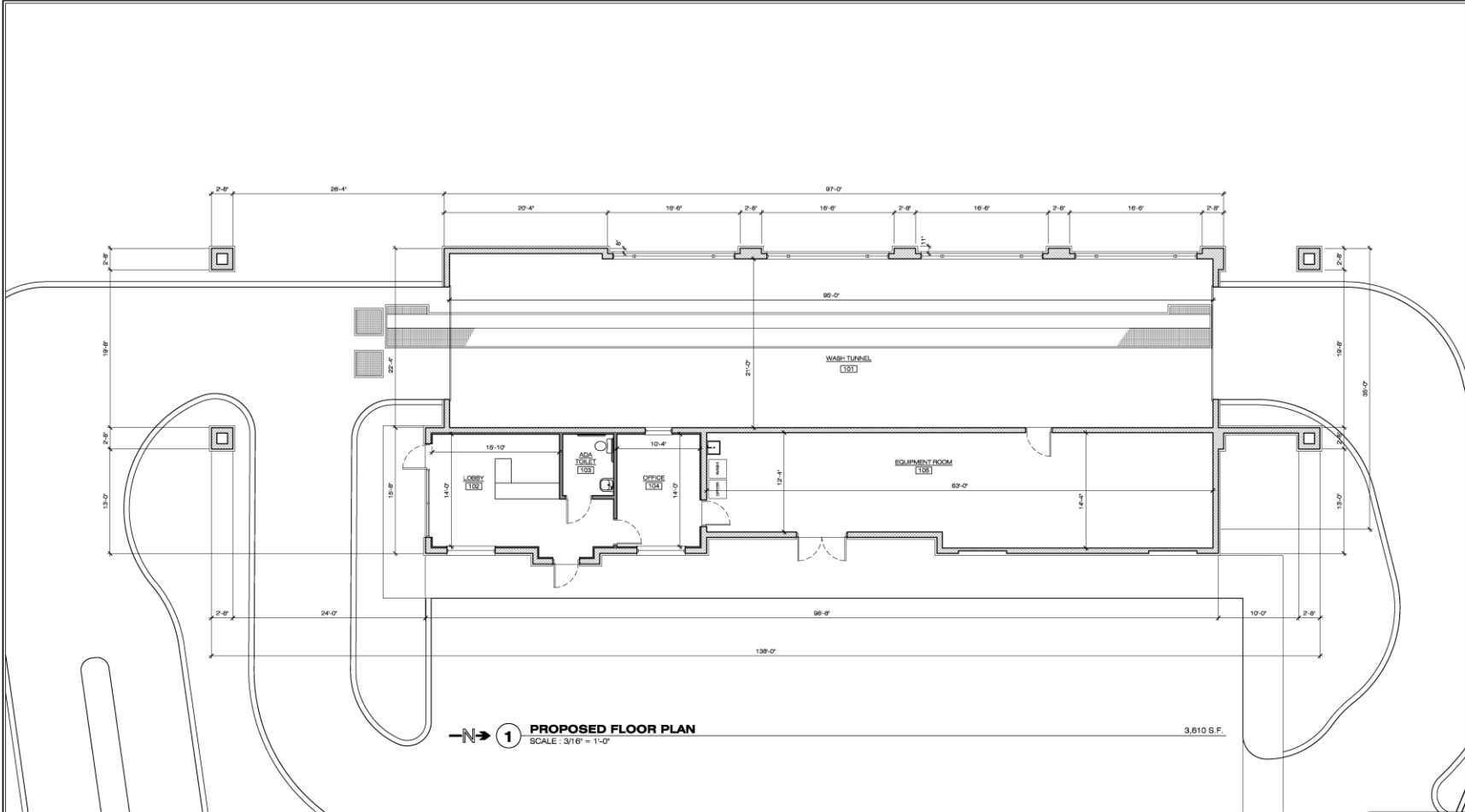


THE ROOF WILL BE A FLAT CONCRETE
TILE WITH A CHARCOAL BLUE/GRAY
COLOR

SECOND ROUND



FLOOR PLAN



1 PROPOSED FLOOR PLAN
SCALE: 3/16" = 1'-0"

3,610 S.F.

S:\Projects\Clean Machine 400\Clean Machine 4-0-1\Proposed Floor Plan.dwg, 1/22/2021 9:17:30 AM, Autodesk PDF

LINEA
DESIGN NETWORK GROUP
ARCHITECTURAL & INTERIOR DESIGN
2066 Hastings Sun Lane
Naples, Florida 34119
License No. AK17302
ph: (239) 404-5475 email: stephen@lineadn.com

DESCRIPTION	DATE
DD SUBMISSION	JANUARY 26, 2021

DESCRIPTION	DATE

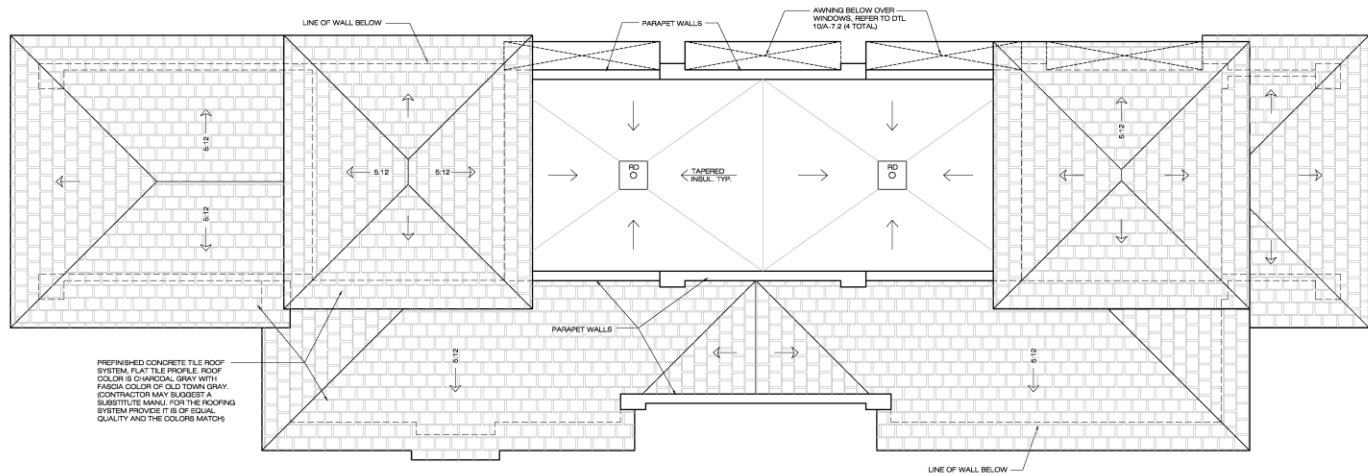
Clean-Machine
Car Wash Facility
US 41 & Vintage Parkway
Estero, Florida 33928

NOTES

© Copyright 2021
Linea Design Network
These drawings and the contents herein are the sole property of Linea Design Network and no portion of any may be printed or copied without the express permission of this design office.

DRAWN BY:	SHS
SHEET DESCRIPTION:	PROPOSED FLOOR PLAN
SHEET No.:	A-1
PHASE:	DEVELOPMENT ORDER

ROOF PLAN



➔ 1 PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"

S:\Projects\Clean Machine\405\Clean Machine-A-2\Proposed Roof Plan.dwg, 1/22/2021 9:02:08 AM, Author:PS

LINEA
DESIGN ARCHITECTURAL & INTERIOR DESIGN
2066 Morning Sun Lane
Naples, Florida 34119
License No. AR17502
ph: (239) 404-5475 email: stephen@lineadn.com

DESCRIPTION	DATE
DD SUBMISSION	JANUARY 26, 2021

DESCRIPTION	DATE

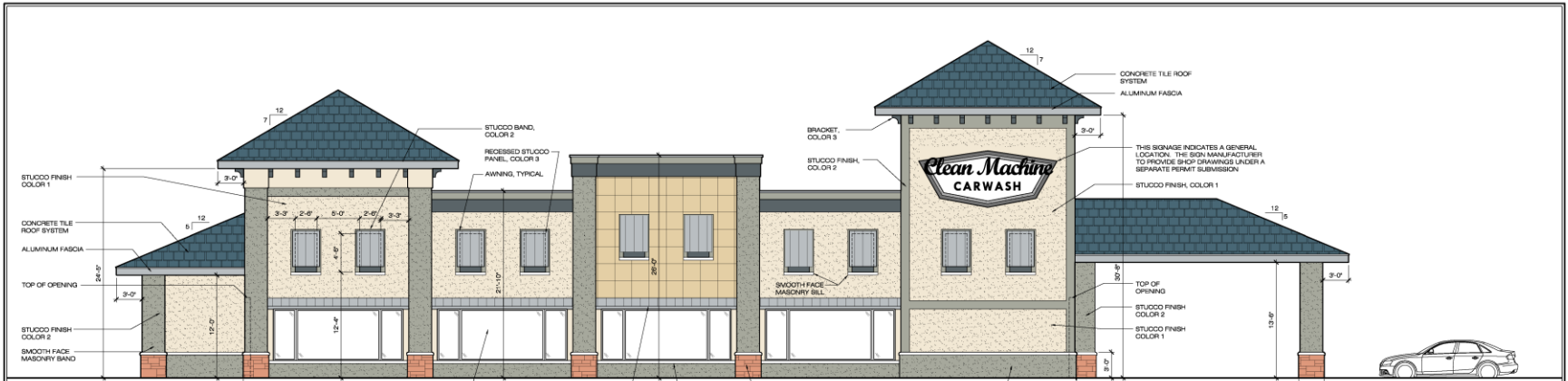
Clean-Machine
Car Wash Facility
US 41 & Vintage Parkway
Estero, Florida 33928

NOTES -

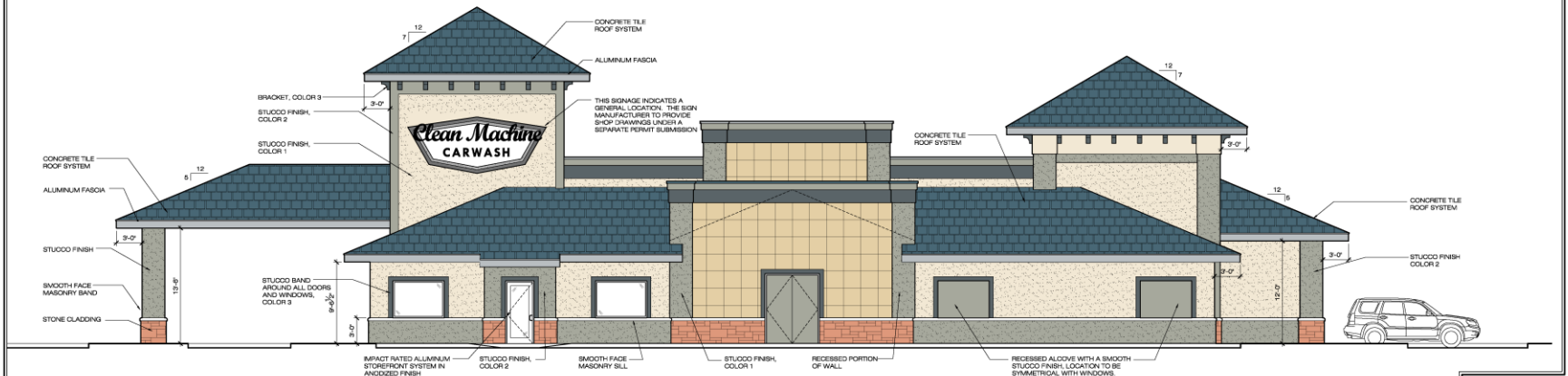
© Copyright 2021
Linea Design Network
These drawings and the contents herein are the sole property of Linea Design Network and no portion of any may be printed or copied without the express permission of this design office.

DRAWN BY:	SMS
SHEET DESCRIPTION:	PROPOSED ROOF PLAN
SHEET NO.:	A-2
PHASE:	DEVELOPMENT ORDER

WEST & EAST ELEVATION



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"

LINEA
DESIGN
ARCHITECTURAL & INTERIOR DESIGN
2066 Morning Sun Lane
Naples, Florida 34119
License No. AR17502
ph: (239) 404-5475 email: stephen@lineadn.com

DESCRIPTION	DATE	DESCRIPTION	DATE
DD SUBMISSION	JANUARY 26, 2021		

Clean-Machine
Car Wash Facility
US 41 & Vintage Parkway
Estero, Florida 33928

NOTES REFER TO SHEET A-4 FOR COLOR & MATERIAL DESCRIPTIONS

© Copyright 2021
Linea Design Network
These drawings and the contents herein are the sole property of Linea Design Network and no portion of any may be printed or copied without the express permission of this design office.

DRAWN BY: SMS
SHEET DESCRIPTION: PROPOSED EXTERIOR ELEVATIONS
SHEET NO: A-3
PHASE: DEVELOPMENT ORDER

NORTH & SOUTH ELEVATIONS



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

COLOR LEGEND:

COLOR 1	SHERWIN WILLIAMS SW6378 "CRISP LINEN"	AWNING ROOF	METAL STANDING SEAM ROOFING, "CHARCOAL" DARK BLUE-GRAY COLOR
COLOR 2	SHERWIN WILLIAMS SW6199 "RARE GRAY"	STONE	VARIOUS STONE COLORS, REFER TO SAMPLE IMAGE
COLOR 3	SHERWIN WILLIAMS SW6236 "GRAY HARBOR"	TILE	NATURAL STONE, REFER TO SAMPLE IMAGE

TILE VENEER



TRAVERTINE TILE
THIS SAMPLES MAY NOT REPRESENT THE FINAL COLOR DEPENDING ON THE MANUFACTURER OF THE STONE



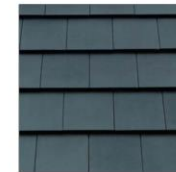
METAL ROOF FOR AWNING
STANDING SEAM METAL PANEL FOR THE AWNINGS - COLOR "DOVE GRAY"

STONE VENEER



BORAL AMERICA, SERIES "COUNTY LEDGESTONE MOJAVE"
THESE SAMPLES MAY NOT REPRESENT THE FINAL COLOR DEPENDING ON THE MANUFACTURER OF THE STONE

MAIN ROOF



THE ROOF WILL BE A FLAT CONCRETE TILE WITH A CHARCOAL BLUE/GRAY COLOR

3 COLORS & MATERIALS

LINEA
DESIGN ARCHITECTURE & INTERIOR DESIGN
ARCHITECTURE & INTERIOR DESIGN
11000 N. WINDY HILLS BLVD.
NAPLES, FLORIDA 34119
LICENSE NO. 4617902
PH: (239) 404-5172 EMAIL: amy@lineadesign.com

Clean-Machine
Car Wash Facility
US 41 & Vintage Parkway
Estero, Florida 33928

DATE	
DESCRIPTION	

DATE	
DESCRIPTION	
DATE	
DESCRIPTION	

NOTES

© Copyright 2021
Linea Design Network
These drawings and the contents herein are the sole property of Linea Design Network and no portion of any may be printed or reproduced without the express permission of the design office.

DRAWN BY: SMS
SHEET DESCRIPTION: PROPOSED EXTERIOR ELEVATIONS AND COLORS
SHEET NO.

A-4

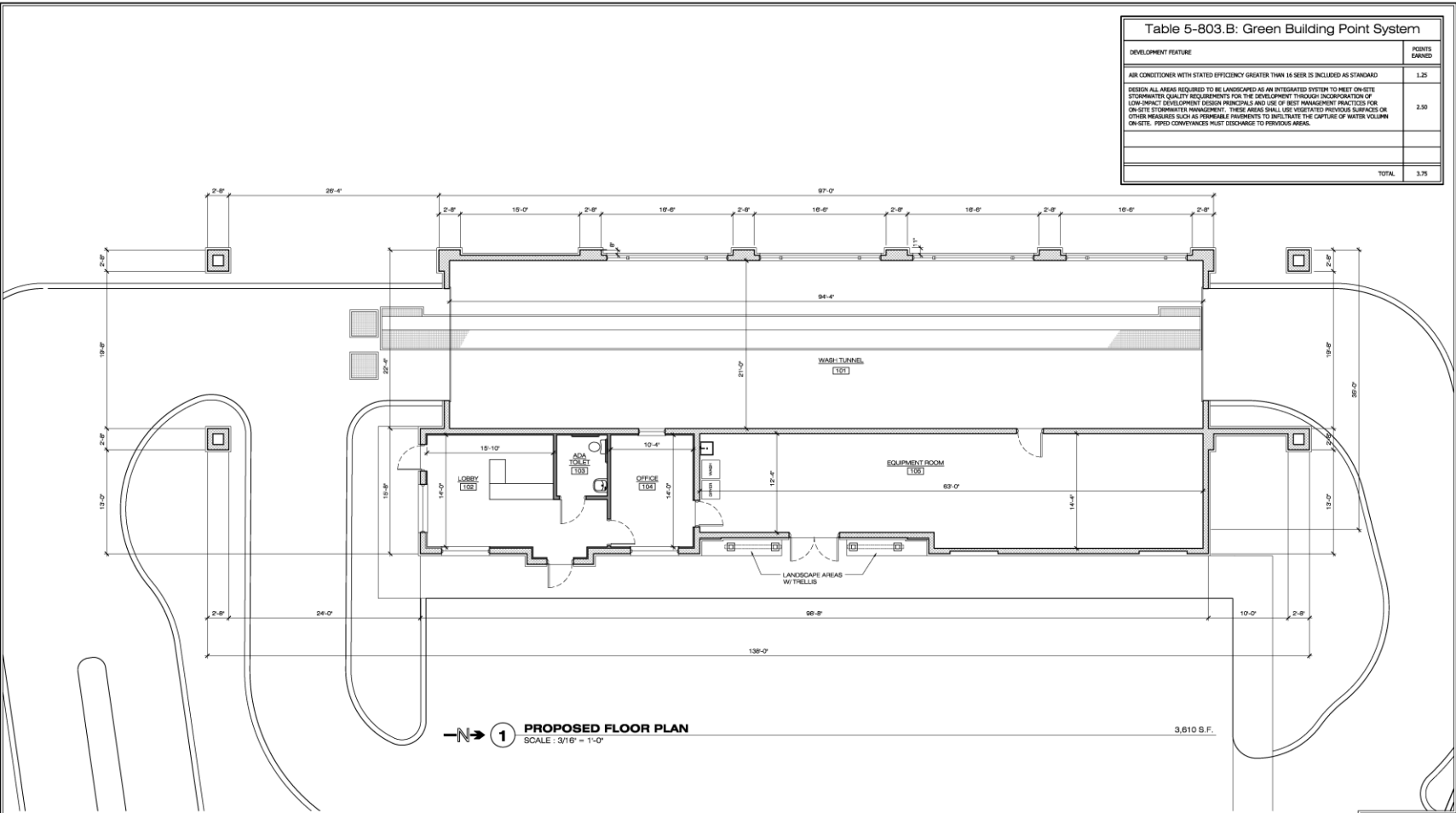
PHASE: DEVELOPMENT ORDER

THIRD ROUND



FLOOR PLAN

Table 5-803.B: Green Building Point System	
DEVELOPMENT FEATURE	POINTS EARNED
AIR CONDITIONER WITH STATED EFFICIENCY GREATER THAN 16 SEER IS INCLUDED AS STANDARD	1.25
DESIGN ALL AREAS REQUIRED TO BE LANDSCAPED AS AN INTEGRATED SYSTEM TO MEET ON-SITE STORMWATER QUALITY REQUIREMENTS FOR THE DEVELOPMENT THROUGH INCORPORATION OF LOW-IMPACT DEVELOPMENT DESIGN PRINCIPLES AND USE OF BEST MANAGEMENT PRACTICES FOR ON-SITE STORMWATER MANAGEMENT. THESE AREAS SHALL USE VEGETATED PERVIOUS SURFACES OR OTHER MEASURES SUCH AS PERVIOUS PAVEMENTS TO FACILITATE THE CAPTURE OF WATER VOLUME ON-SITE. PIPED CONVEYANCES MUST DISCHARGE TO PERVIOUS AREAS.	2.50
TOTAL:	3.75



1 PROPOSED FLOOR PLAN
SCALE: 3/16" = 1'-0"

3,610 S.F.

S:\Projects\Clean Machine 4-A-1\Proposed Floor Plan.dwg, 3/17/2021 9:21:37 AM, Autodesk PDF

LINEA
DESIGN NETWORK ARCHITECTURAL & INTERIOR DESIGN
2066 Herring Sun Lane
Naples, Florida 34119
License No. AR17502
ph: (239) 404-5475 email: stephen@lineadn.com

DESCRIPTION	DATE	DESCRIPTION	DATE
00 SUBMISSION	JANUARY 26, 2021		
00 REVISIONS	MARCH 31, 2021		

Clean-Machine Car Wash Facility
US 41 & Vintage Parkway
Estero, Florida 33928

Stephen Seaton

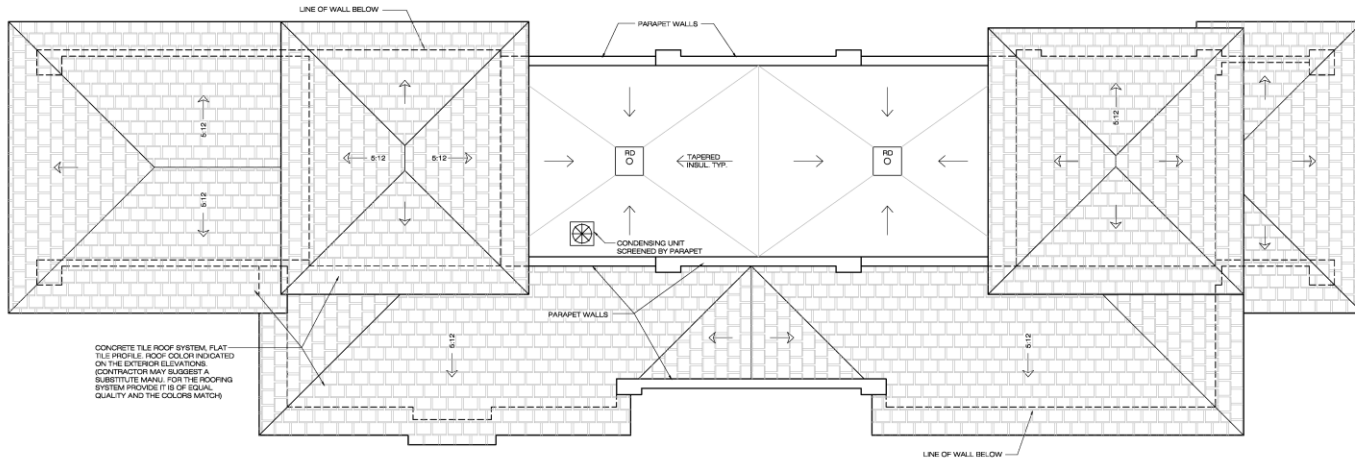
Digitally signed by Stephen Seaton
DN: cn=US, o=Linea, fn=Stephen,
c=Stephen Seaton, cn=Stephen Seaton
Date: 2021.03.31 09:55:09 -0400

NOTES

© Copyright 2021
Linea Design Network
These drawings and the contents herein are the sole property of Linea Design Network and no portion of any may be printed or copied without the express permission of this design office.

DESIGN BY: **SHS**
SHEET DESCRIPTION: **PROPOSED FLOOR PLAN**
SHEET NO.: **A-1**
PHASE: **DEVELOPMENT ORDER**

ROOF PLAN



➔ **1** PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"

S:\Projects\Clean Machine A-2\Proposed Roof Plans.dwg, 1/31/2021 9:52:38 AM, AutoCAD PDF

LINEA
DESIGN NETWORK
ARCHITECTURAL & INTERIOR DESIGN
2066 Morning Sun Lane
Naples, Florida 34119
License No. AR17502
ph: (239) 404-5475 email: stephen@lineadn.com

DESCRIPTION	DATE
00 SUBMISSION	JANUARY 26, 2021
00 REVISIONS	MARCH 31, 2021

DESCRIPTION	DATE

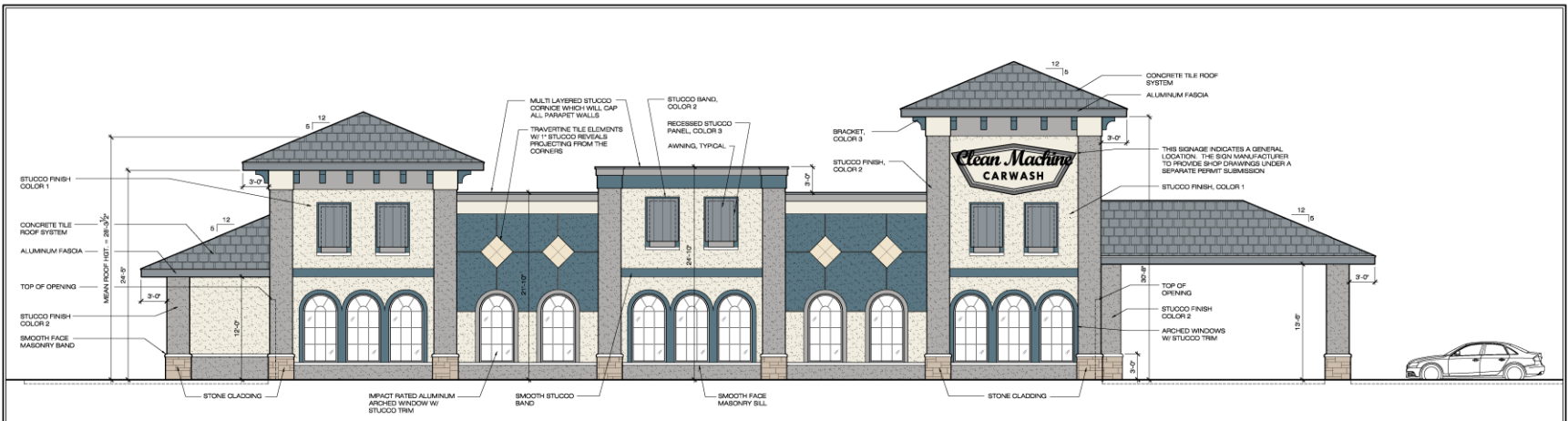
Clean-Machine
Car Wash Facility
US 41 & Vintage Parkway
Estero, Florida 33928

NOTES -

© Copyright 2021
Linea Design Network
These drawings and the contents herein are the sole property of Linea Design Network and no portion of any may be printed or copied without the express permission of this design office.

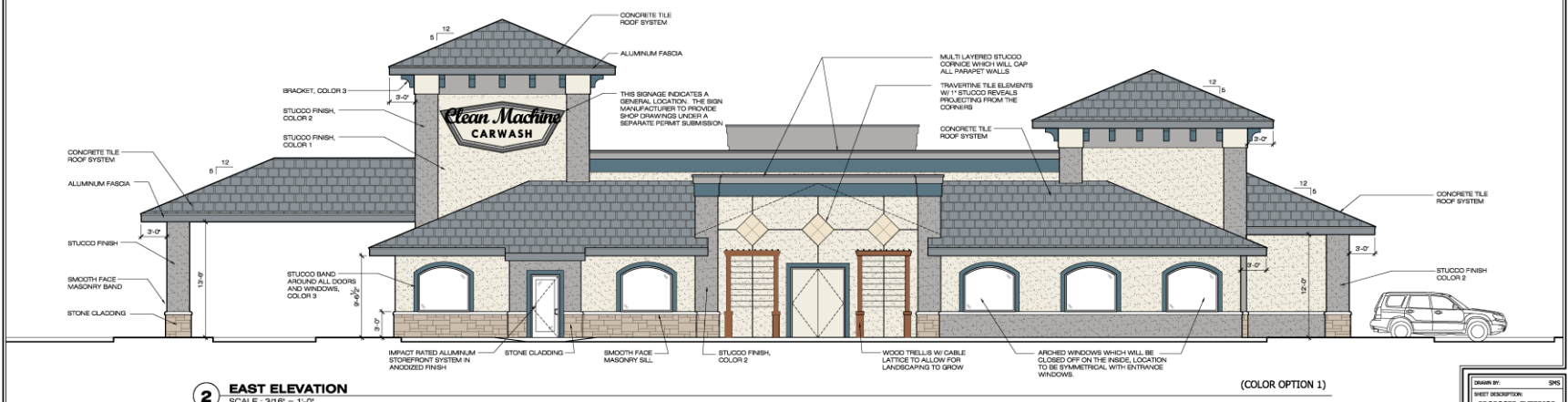
DRAWN BY:	SMS
SHEET DESCRIPTION:	PROPOSED ROOF PLAN
SHEET No.:	A-2
PHASE:	DEVELOPMENT ORDER

WEST & EAST ELEVATIONS - COLOR OPTION 1



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"

(COLOR OPTION 1)



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"

(COLOR OPTION 1)

LINEA DESIGN
ARCHITECTURAL & INTERIOR DESIGN
2066 MARRIAGE SUN LANE
NAPLES, FLORIDA 34119
LICENSE NO. AR17502
PH: (239) 404-5475 EMAIL: STEPHEN@LINEADN.COM

DESCRIPTION	DATE
00 SUBMISSION	JANUARY 26, 2021
00 REVISIONS	MARCH 31, 2021

DESCRIPTION	DATE

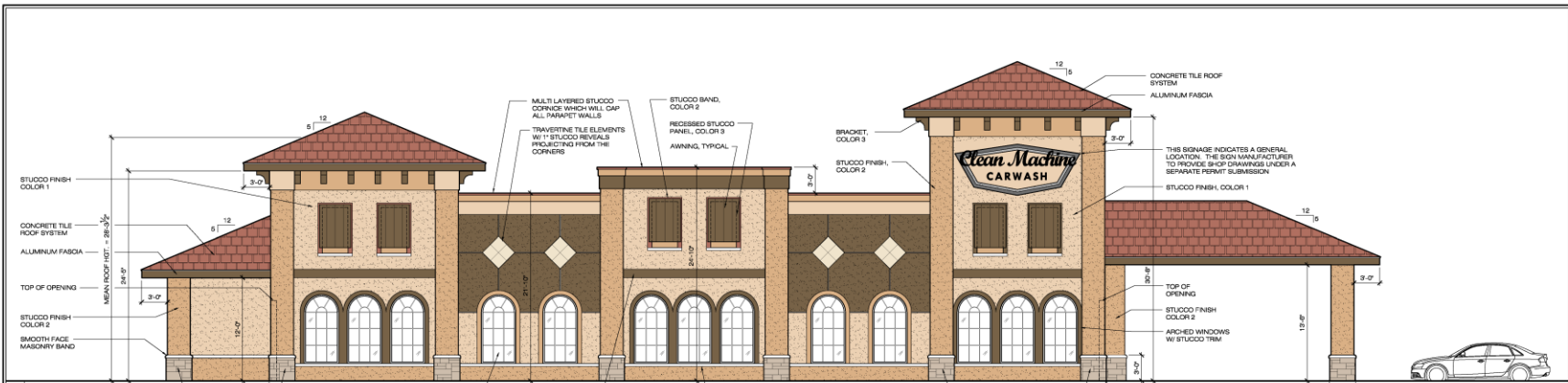
Clean-Machine
Car Wash Facility
US 41 & Vintage Parkway
Estero, Florida 33928

NOTES REFER TO SHEET A-4 FOR COLOR & MATERIAL DESCRIPTIONS

© Copyright 2021
Linea Design Network
These drawings and the contents herein are the sole property of Linea Design Network and no portion of any may be printed or copied without the express permission of this design office.

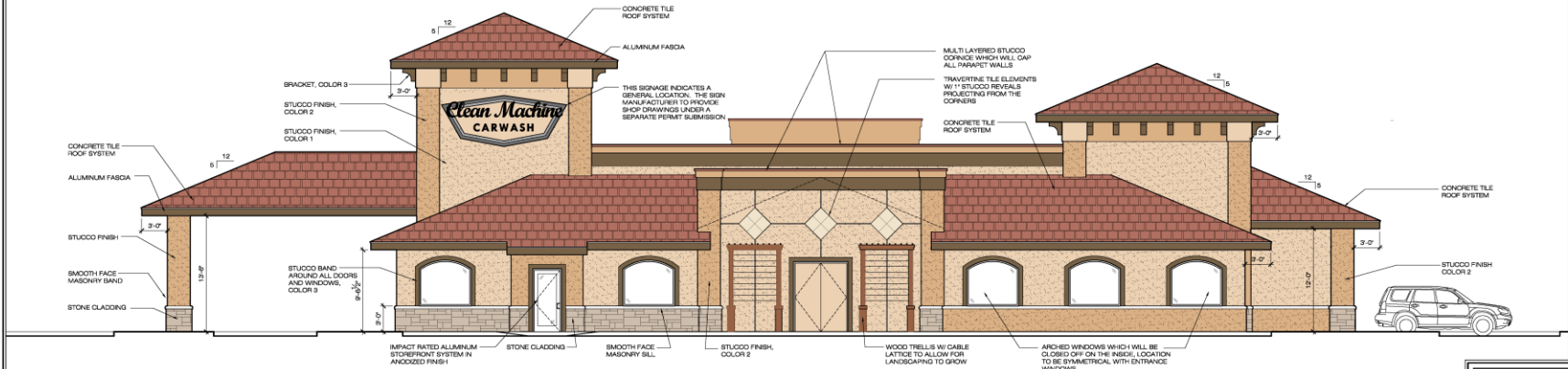
DRAWN BY: SMS
SHEET DESCRIPTION: PROPOSED EXTERIOR ELEVATIONS COLOR OPTION 1
SHEET NO: **A-3a**
PHASE: DEVELOPMENT ORDER

WEST & EAST ELEVATIONS - COLOR OPTION 2



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"

(COLOR OPTION 2)



2 EAST ELEVATION
SCALE: 3/16" = 1'-0"

(COLOR OPTION 2)

LINEA
DESIGN IN NEW YORK
ARCHITECTURAL & INTERIOR DESIGN
2066 Manning Sun Lane
Naples, Florida 34119
License No. AR17502
ph: (239) 404-5475 email: stephen@lineadn.com

DESCRIPTION	DATE
00 SUBMISSION	JANUARY 26, 2021
00 REVISIONS	MARCH 31, 2021

DESCRIPTION	DATE

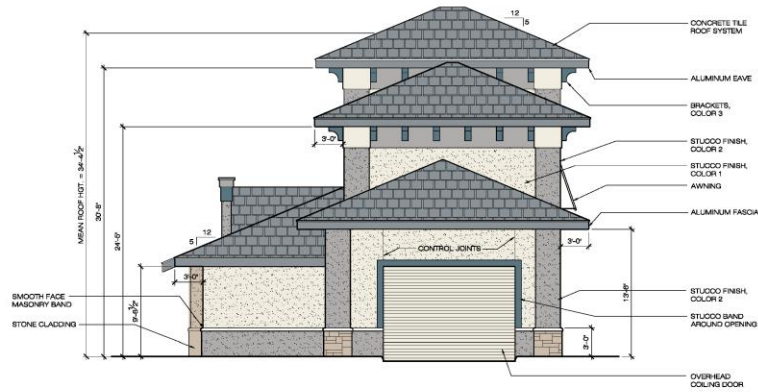
Clean-Machine
Car Wash Facility
US 41 & Vintage Parkway
Estero, Florida 33928

NOTES REFER TO SHEET A-4 FOR COLOR & MATERIAL DESCRIPTIONS

© Copyright 2021
Linea Design Network
These drawings and the contents herein are the sole property of Linea Design Network and no portion of any may be printed or copied without the express permission of this design office.

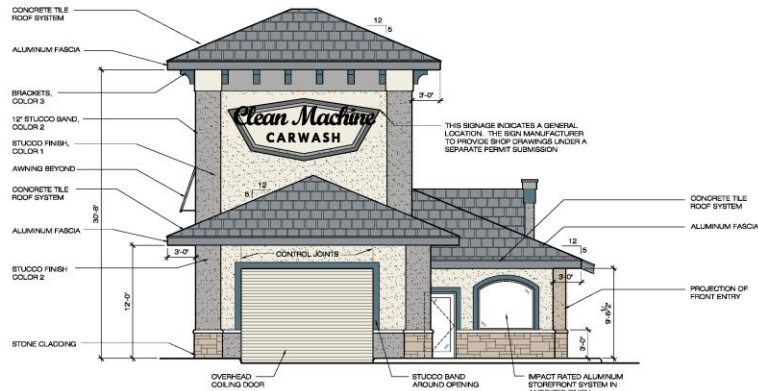
DESIGN BY: SMS
SHEET DESCRIPTION:
PROPOSED EXTERIOR
ELEVATIONS
COLOR OPTION 2
SHEET NO:
A-3b
PHASE:
DEVELOPMENT
ORDER

EXTERIOR ELEVATIONS AND COLORS – OPTION 1



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

(COLOR OPTION 1)



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

(COLOR OPTION 1)

COLOR LEGEND:

COLOR 1	BEHR 12u 'SWISS COFFEE'	ROOF AWNING	CONCRETE TILE & METAL STANDING SEAM ROOFING, LIGHT / WARM GRAY COLOR
COLOR 2	BEHR N50-3m 'FLANNEL GRAY'	STONE	VARIOUS STONE COLORS, REFER TO SAMPLE IMAGE
COLOR 3	BEHR M25-26d 'HAMPTON SURF'	TILE	NATURAL STONE, REFER TO SAMPLE IMAGE

TILE VENEER



TRAVERTINE TILE
THIS SAMPLES MAY NOT REPRESENT THE FINAL COLOR DEPENDING ON THE MANUFACTURER OF THE STONE



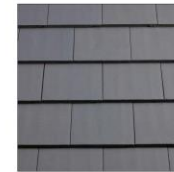
METAL ROOF FOR AWNING
STANDING SEAM METAL PANEL FOR THE AWNINGS - COLOR 'DOVE GRAY'

STONE VENEER



ELDORADO STONE, SERIES 'EUROPEAN LEDGE' PROFILES 'ZINC'
THIS SAMPLE MAY NOT REPRESENT THE FINAL COLOR DEPENDING ON THE MANUFACTURER OF THE STONE

MAIN ROOF



THE ROOF WILL BE A FLAT CONCRETE TILE WITH A WARM GRAY COLOR

3 COLORS & MATERIALS

LINEA
DESIGN ARCHITECTURE
ARCHITECTURE DESIGN
2066 Morning Star Lane
Naples, Florida 34110
ph: (239) 464-5193, email: stephen@linea.com

Clean Machine Car Wash Facility
US 41 & Vintage Parkway
Estero, Florida 33928

DATE	
DESCRIPTION	

DATE	JANUARY 16, 2021
DESCRIPTION	ISSUE 01, 2021
DATE	
DESCRIPTION	

NOTES

© Copyright 2021
Linea Design Network
These drawings and the contents herein are the sole property of Linea Design Network and no portion of any may be printed or copied without the express permission of this design office.

DESIGN BY: SWS
PROJECT DESCRIPTION: PROPOSED EXTERIOR ELEVATIONS AND COLORS - OPTION 1
SHEET NO.

A-4a

PHASE: DEVELOPMENT ORDER

EXTERIOR ELEVATIONS AND COLORS – OPTION 2



1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

(COLOR OPTION 2)



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

(COLOR OPTION 2)

COLOR LEGEND:

COLOR 1	SHERWIN WILLIAMS SW7722 'TRAVERTINE'	ROOF AWNING	CONCRETE TILE & METAL STANDING SEAM ROOFING, TERRA COTTA COLOR
COLOR 2	SHERWIN WILLIAMS SW7679 'GOLDEN GATE'	STONE	VARIOUS STONE COLORS, REFER TO SAMPLE IMAGE
COLOR 3	BENJAMIN MOORE 2098-30 'DARK NUT BROWN'	TILE	NATURAL STONE, REFER TO SAMPLE IMAGE

TILE VENEER



TRAVERTINE TILE
THIS SAMPLE MAY NOT REPRESENT THE FINAL COLOR DEPENDING ON THE MANUFACTURER OF THE STONE



METAL ROOF FOR AWNING
STANDING SEAM METAL PANEL FOR THE THE AWNING'S - COLOR 'TERRA COTTA'

STONE VENEER



ELDERADO STONE, SERIES 'RUSTIC LEDGE' PROFILES 'SAWTOOTH'
THIS SAMPLE MAY NOT REPRESENT THE FINAL COLOR DEPENDING ON THE MANUFACTURER OF THE STONE

MAIN ROOF



THE ROOF WILL BE A FLAT CONCRETE TILE WITH A TERRA COTTA COLOR

3 COLORS & MATERIALS

LINEA
DESIGN
ARCHITECTURE
2066 Morning Sun Lane
Naples, Florida 34119
ph: (239) 640-5173 email: stephen@linea.com

Clean Machine
Car Wash Facility
US 41 & Vintage Parkway
Estero, Florida 33928

DATE	
DESCRIPTION	
DATE	
DESCRIPTION	
DATE	
DESCRIPTION	
DATE	
DESCRIPTION	

NOTES

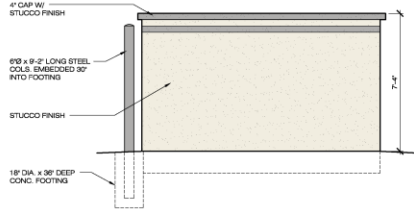
© Copyright 2021
Linea Design Network
These drawings and the contents herein are the sole property of Linea Design Network and no portion of any may be printed or copied without the written permission of this design office.

DRAWN BY: SHS
SHEET DESCRIPTION:
PROPOSED EXTERIOR ELEVATIONS AND COLORS - OPTION 2
SHEET NO.

A-4b

PHASE:
DEVELOPMENT ORDER

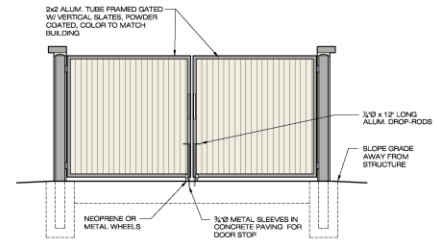
EXTERIOR ELEVATIONS AND COLORS – OPTION 2



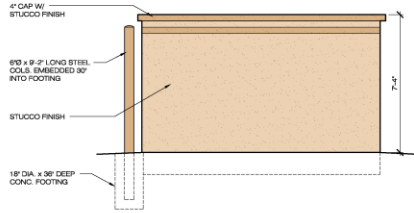
DUMPSTER SIDE ELEVATION
COLOR SCHEME - OPTION 1



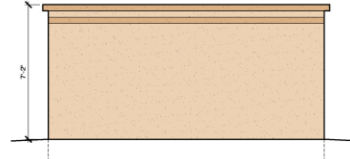
DUMPSTER REAR ELEVATION
COLOR SCHEME - OPTION 1



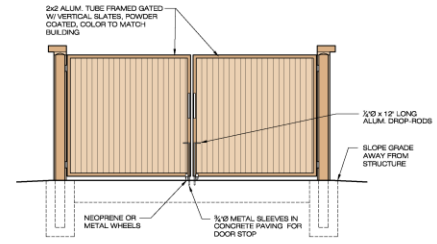
DUMPSTER FRONT ELEVATION
COLOR SCHEME - OPTION 1



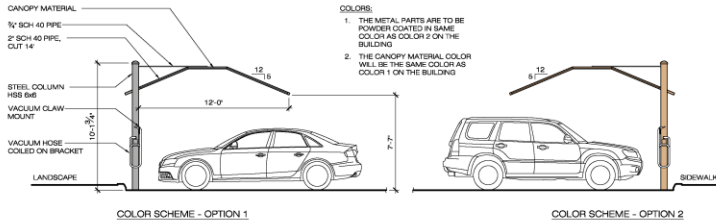
DUMPSTER SIDE ELEVATION
COLOR SCHEME - OPTION 2



DUMPSTER REAR ELEVATION
COLOR SCHEME - OPTION 2



DUMPSTER FRONT ELEVATION
COLOR SCHEME - OPTION 2



COLOR SCHEME - OPTION 1

COLOR SCHEME - OPTION 2

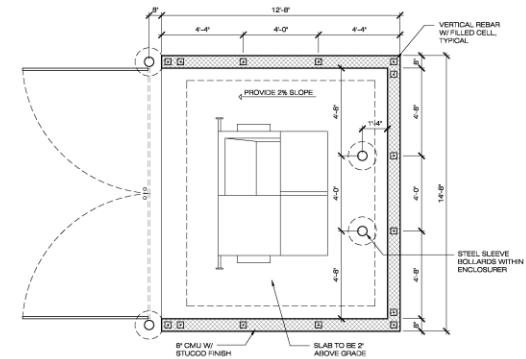
- COLORS:**
1. THE METAL PARTS ARE TO BE POWDER COATED IN SAME COLOR AS COLOR 2 ON THE BUILDING
 2. THE CANOPY MATERIAL COLOR WILL BE THE SAME COLOR AS COLOR 1 ON THE BUILDING

COLOR LEGEND - OPTION 1:

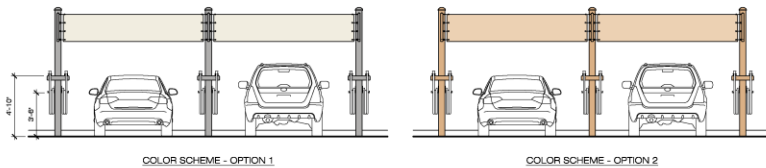
- COLOR 1: BEHR 12u 'SWISS COFFEE'
- COLOR 2: BEHR N520-3m 'FLANNEL GRAY'

COLOR LEGEND - OPTION 2:

- COLOR 1: SHERWIN WILLIAMS SW7722 'TRAVERTINE'
- COLOR 2: SHERWIN WILLIAMS SW7679 'GOLDEN GATE'



2 DUMPSTER PLAN
SCALE: 3/8" = 1'-0"



COLOR SCHEME - OPTION 1

COLOR SCHEME - OPTION 2

1 CANOPY ELEVATIONS
SCALE: 1/4" = 1'-0"

LINEA
DESIGN
ARCHITECTURE & INTERIOR DESIGN
2066 Morning Star Lane
Naples, Florida 34119
ph: (239) 464-5423 email: stephen@lineafr.com

Clean-Machine
Car Wash Facility
US 41 & Vintage Parkway
Estero, Florida 33928

DATE	DESCRIPTION

NOTES

© Copyright 2021
Linea Design Network
These drawings and the contents herein are the sole property of Linea Design Network and no portion of any may be printed or copied without the express permission of this design office.

DRAWN BY: SWS
SHEET DESCRIPTION: CANOPY ELEVATIONS AND COLOR OPTIONS
SHEET NO:

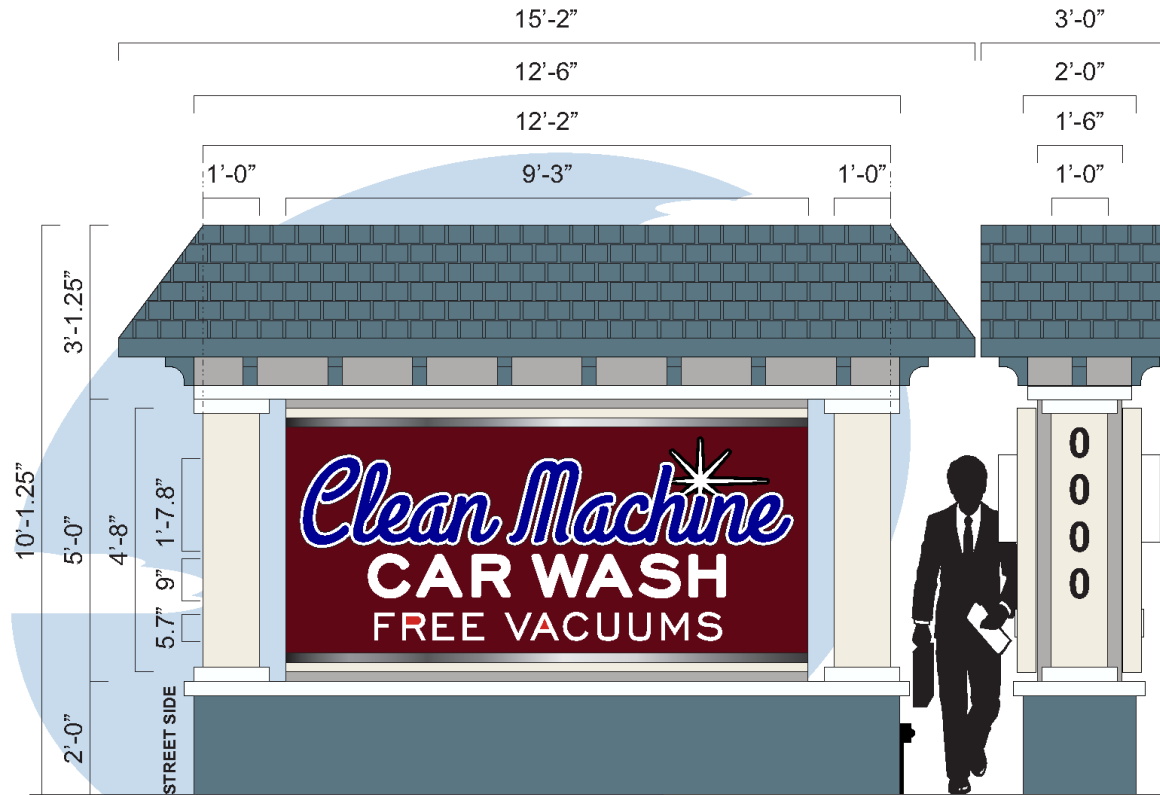
A-5

PHASE: DEVELOPMENT ORDER

SIGNAGE



MONUMENT SIGN – COLOR OPTION 1



Color Option #1

MANUFACTURE & INSTALL ONE (1) DOUBLE FACED, ILLUMINATED GROUND SIGN.

MOUNTING AREA - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE TEXTURED. CABINETS TO BE ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE SMOOTH. FACES TO BE ROUTED ALUMINUM WITH FACE ILLUMINATED CHANNEL LETTERS " CLEAN MACHINE", "CAR WASH", "STAR" & "FREE VACUUMS" COPY TO BE .5" PUSH THRU ACRYLIC LETTERS.

TO BE ILLUMINATED USING WHITE (7000k) LED's.

COLUMNS TO BE ALL ALUMINUM CONSTRUCTION WITH FABRICATED ALUM.CAPS AND BASES. FINISH TO BE TEXTURED. ADDRESS NUMBERS TO BE .25" FLAT CUT OUT DiBOND WITH SMOOTH PAINTED FINISH.

NOTE: SQUARE COLUMNS

ROOF - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE SMOOTH WITH TILE TO MATCH BLDG (BY OTHERS) CAP TO BE FABRICATED ALUMINUM WITH PVC SCANCES

BASE TO BE ALL ALUMINUM CONSTRUCTION WITH TEXTURED FINISH. CAP AND BASE TO BE FABRICATED ALUM WITH TEXTURED FINISH.

COLOR LEGEND:

COLOR 1	2014 SWISS COFFEE
COLOR 2	2014 FLANNEL GRAY
COLOR 3	2014 NAVY BLU



9300 PALM AVENUE, FT. MYERS, FL 33901
PHONE: 239.278.4245
FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NFPA 70 - II



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction

Max height is 24'-0" Max allowable Sq Ft is 1 Sq Ft per linear Ft of bldg frontage N.T.E. 200.0 Sq Ft. 75% To be sign copy, 25% to be Architectural detail. Sign base to be max 2'-0" in height. Sign width must be greater than sign height.

Sign is 8'-0" High Sign is utilizing 43.2 Sq Ft

JOB DESCRIPTION:
Ground Sign Option #1

COMPANY:
Clean Machine

CONTACT:

ADDRESS:
Vintage Pkwy & US 41 Estero Fl

DRAWING NUMBER:
20-0272 07 H

PHONE:

INITIAL DRAWING DATE:
5/5/2020

E-MAIL:

CUSTOMER APPROVAL:

SIGNATURE

DATE

PROJECT MANAGER:
Elisha White

DESIGNER:
MB

REVISION
3/28 F

REVISION
3/31 G

REVISION
4/26 H

Rev H Revised per DO comments

SCALE: 3/8" = 1'-0"

FILEPATH:

Z:\gfr\C Jobs\Clean Machine\Estero_Vintage Pkwy & US 41\20-0272_AllDrawings\20-0272 01 H Clean Machine - Package.cdr

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

WALL SIGN – COLOR OPTION 1

Color Option #1



9300 PALM AVENUE, FT. MYERS, FL 33901
PHONE: 239.278.4245
FAX: 239.278.3912

**ALL ELECTRICAL WORK TO BE DONE
IN COMPLIANCE WITH NFPA 70 - II**



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction
Max signage allowed is 10% of the total area of wall. N.T.E. 200.0 Sq Ft
Sign is allowed 122.6 Sq Ft Sign is utilizing 120.4 Sq Ft

CUSTOMER APPROVAL:

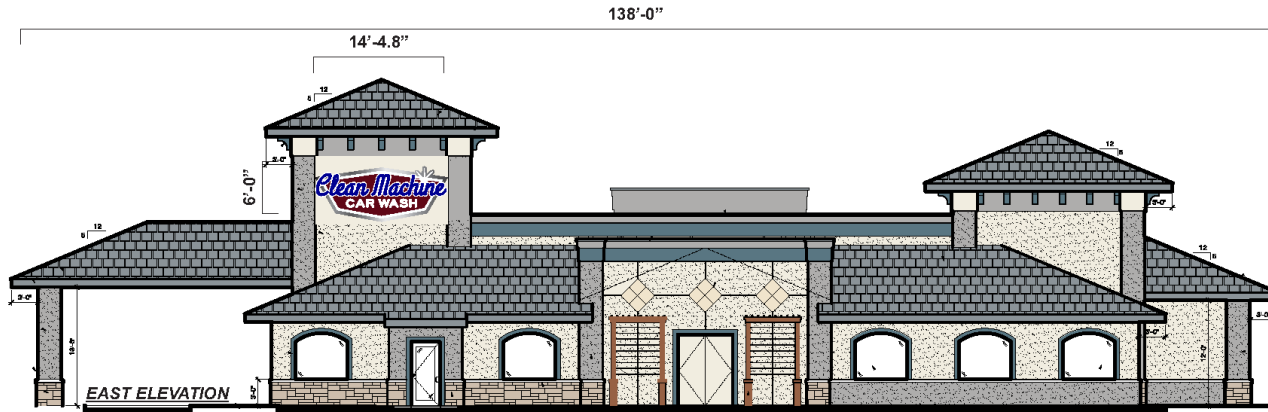
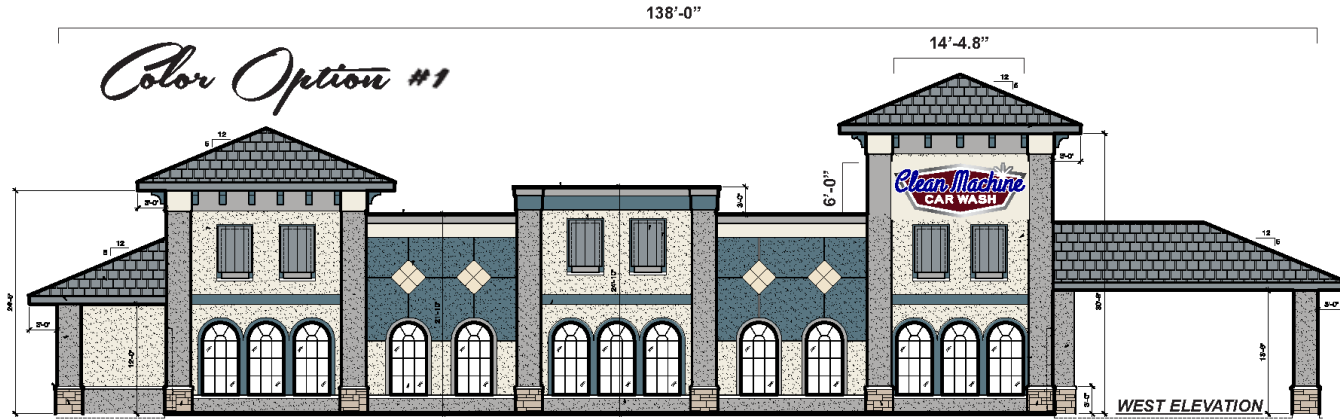
SIGNATURE _____ DATE _____

PROJECT MANAGER: Elisha White
DESIGNER: MB

JOB DESCRIPTION: Wall Sign	DRAWING NUMBER: 20-0272 08 H	INITIAL DRAWING DATE: 5/5/2020	REVISION 3/28 F	REVISION 3/31 G	REVISION 4/26 H	Rev H Revised per DO comments
COMPANY: Clean Machine	PHONE:	E-MAIL:	SCALE: 3/32" = 1'-0"			

ADDRESS: Vintage Pkwy & US 41 Estero Fl
FILEPATH: Z:\grfx\C Jobs\Clean Machine\Estero, Vintage Pkwy & US 41\20-0272, AllDrawings\20-0272 01 H Clean Machine - Package.cdr
THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

WALL SIGN – COLOR OPTION 1



9300 PALM AVENUE, FT. MYERS, FL 33801
 PHONE: 239.278.4245
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70 - II



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction
 Max signage allowed is 10% of the total area of wall. N.T.E. 200.0 Sq Ft
 Sign is allowed 200.0 Sq Ft Sign is utilizing 86.5 Sq Ft

CUSTOMER APPROVAL:

SIGNATURE _____ DATE _____

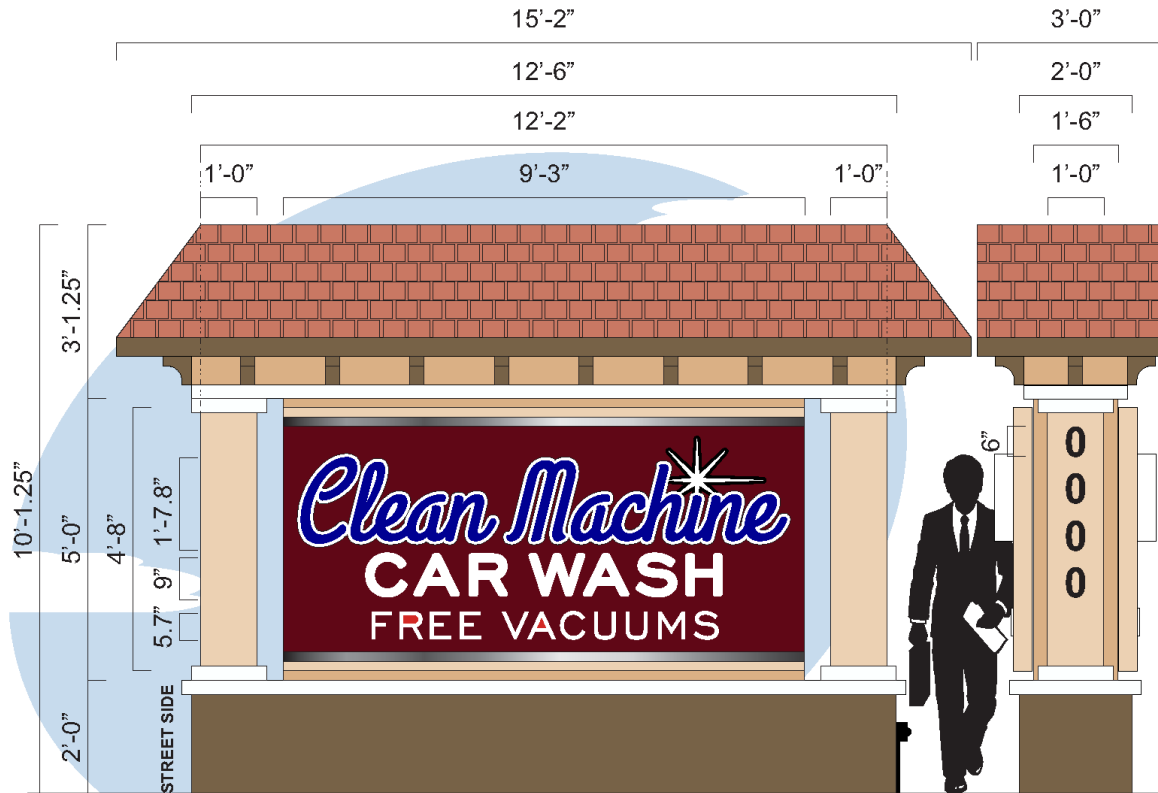
PROJECT MANAGER: Elisha White
 DESIGNER: MB

JOB DESCRIPTION: Wall Sign	DRAWING NUMBER: 20-0272 09 H	INITIAL DRAWING DATE: 5/5/2020	REVISION 3/28 F	REVISION 3/31 G	REVISION 4/26 H	Rev H Revised per DO comments
COMPANY: Clean Machine	PHONE:	E-MAIL:	SCALE: NONE			

ADDRESS: Vintage Pkwy & US 41 Estero Fl
 FILEPATH: Z:\gfx\C Jobs\Clean Machine\Estero, Vintage Pkwy & US 41\20-0272, AllDrawings\20-0272 01 H Clean Machine - Package.cdr
 THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

MONUMENT SIGN – COLOR OPTION 2

Color Option #2



MANUFACTURE & INSTALL ONE (1) DOUBLE FACED, ILLUMINATED GROUND SIGN.

MOUNTING AREA - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE TEXTURED. CABINETS TO BE ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE SMOOTH. FACES TO BE ROUTED ALUMINUM WITH FACE ILLUMINATED CHANNEL LETTERS " CLEAN MACHINE", "CAR WASH", "STAR" & "FREE VACUUMS" COPY TO BE .5" PUSH THRU ACRYLIC LETTERS.

TO BE ILLUMINATED USING WHITE (7000k) LED's.

COLUMNS TO BE ALL ALUMINUM CONSTRUCTION WITH FABRICATED ALUM. CAPS AND BASES, FINISH TO BE TEXTURED. ADDRESS NUMBERS TO BE .25" FLAT CUT OUT DIBOND WITH SMOOTH PAINTED FINISH.

NOTE: SQUARE COLUMNS

ROOF - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE SMOOTH WITH TILE TO MATCH BLDG (BY OTHERS) CAP TO BE FABRICATED ALUMINUM WITH PVC SCONCES

BASE TO BE ALL ALUMINUM CONSTRUCTION WITH TEXTURED FINISH. CAP AND BASE TO BE FABRICATED ALUM WITH TEXTURED FINISH.

COLOR LEGEND:

COLOR 1	BERNARD WILLIAMS SW/702 TRANSPARENT	ROOF FINISH	CONCRETE TILE & METAL FINISHING BRUSH ROOFING TERRA COTTA COLOR
COLOR 4	BERNARD WILLIAMS SW/712A WOODGRAIN		
COLOR 5	BERNARD WILLIAMS SW/340 DARK HONEY		



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NFPA 70 - II



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction

Max height is 24'-0" Max allowable Sq Ft is 1 Sq Ft per linear Ft of bldg frontage N.T.E. 200.0 Sq Ft. 75% To be sign copy, 25% to be Architectural detail. Sign base to be max 2'-0" in height. Sign width must be greater than sign height.

Sign is 8'-0" High Sign is utilizing 43.2 Sq Ft

JOB DESCRIPTION:
 Ground Sign Option #2

COMPANY:
 Clean Machine

CONTACT:

DRAWING NUMBER:
 20-0272 01 H

PHONE:

INITIAL DRAWING DATE:
 5/5/2020

E-MAIL:

REVISION
 3/28 F

REVISION
 3/31 G

REVISION
 4/26 H

Rev H Revised per DO comments

CUSTOMER APPROVAL:

SIGNATURE

DATE

PROJECT MANAGER:
 Elisha White

DESIGNER:
 MB

SCALE: 3/8" = 1'-0"

ADDRESS:
 Vintage Pkwy & US 41 Estero Fl

FILEPATH:
 Z:\grfx\C Jobs\Clean Machine\Estero_Vintage Pkwy & US 41\20-0272_AllDrawings\20-0272 01 H Clean Machine - Package.cdr

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

WALL SIGN - COLOR OPTION 2



9300 PALM AVENUE, FT. MYERS, FL 33901
PHONE: 239.278.4245
FAX: 239.278.3912

**ALL ELECTRICAL WORK TO BE DONE
IN COMPLIANCE WITH NFPA 70 - II**



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction
Max signage allowed is 10% of the total area of wall. N.T.E. 200.0 Sq Ft
Sign is allowed 122.6 Sq Ft Sign is utilizing 120.4 Sq Ft

CUSTOMER APPROVAL:

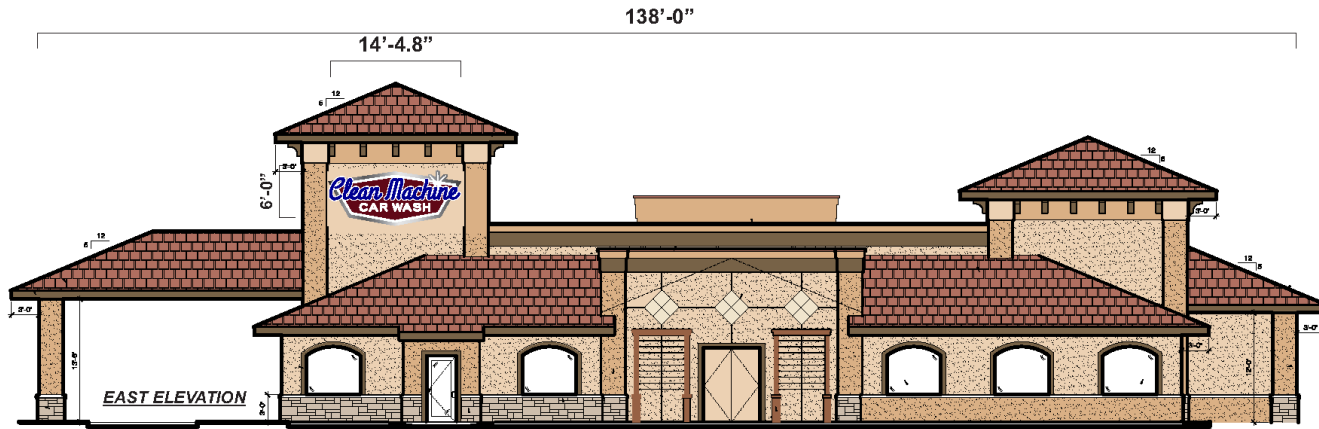
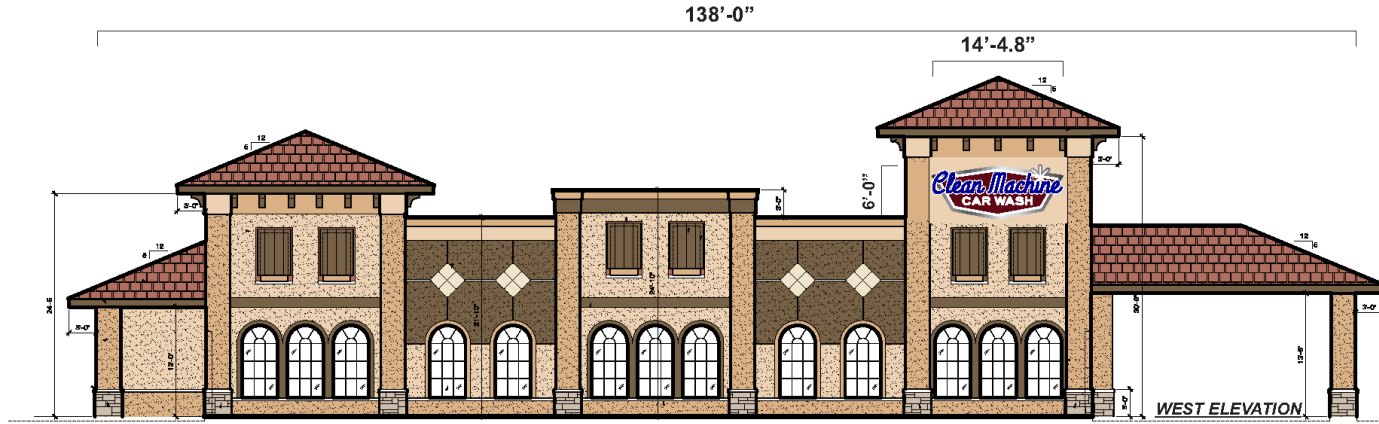
SIGNATURE _____ DATE _____

PROJECT MANAGER: Elisha White DESIGNER: MB

JOB DESCRIPTION: Wall Sign	DRAWING NUMBER: 20-0272 02 H	INITIAL DRAWING DATE: 5/5/2020	REVISION 3/28 F	REVISION 3/31 G	REVISION 4/26 H	Rev H Revised per DO comments
COMPANY: Clean Machine	PHONE:	E-MAIL:	SCALE: 1/8" = 1'-0"			

ADDRESS: Vintage Pkwy & US 41 Estero Fl
FILEPATH: Z:\grfx\C Jobs\Clean Machine\Estero, Vintage Pkwy & US 41\20-0272_AllDrawings\20-0272 01 H Clean Machine - Package.cdr
THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

WALL SIGN – COLOR OPTION 2



9300 PALM AVENUE, FT. MYERS, FL 33801
 PHONE: 239.278.4245
 FAX: 239.278.3912

**ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70 - II**



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction
 Max signage allowed is 10% of the total area of wall. N.T.E. 200.0 Sq Ft
 Sign is allowed 200.0 Sq Ft Sign is utilizing 86.5 Sq Ft

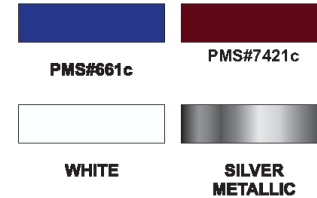
CUSTOMER APPROVAL:

SIGNATURE _____ DATE _____

JOB DESCRIPTION: Wall Sign	DRAWING NUMBER: 20-0272 06 H	INITIAL DRAWING DATE: 5/5/2020	REVISION 3/28 F	REVISION 3/31 G	REVISION 4/26 H	Rev H Revised per DO comments	PROJECT MANAGER: Elisha White	DESIGNER: MB
COMPANY: Clean Machine	PHONE:	E-MAIL:	SCALE: NONE					

ADDRESS: Vintage Pkwy & US 41 Estero Fl
 FILEPATH: Z:\grfx\C Jobs\Clean Machine\Estero_Vintage Pkwy & US 41\20-0272_AllDrawings\20-0272 01 H Clean Machine - Package.cdr
 THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

WALL SIGN



MANUFACTURE & INSTALL ONE (1) SINGLE FACED, ILLUMINATED WALL SIGN.

ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME. FACES TO BE ROUTED WITH .5" ACRYLIC PUSH THRU LETTERS "CARWASH". "CLEAN MACHINE" COPY TO BE 5" DEEP FACE ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO FACE OF CABINET. "STAR" TO BE ROUTED OUT OF FACES AND BACKED WITH PLEX.

TO BE ILLUMINATED USING WHITE (7000k) LED'S.



9300 PALM AVENUE, FT. MYERS, FL 33801
 PHONE: 239.278.4245
 FAX: 239.278.3912

**ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70 - II**



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

CUSTOMER APPROVAL:

SIGNATURE _____

DATE _____

JOB DESCRIPTION:
 Wall Sign

PROJECT MANAGER: Elisha White
 DESIGNER: MB

COMPANY:
 Clean Machine

DRAWING NUMBER:
 20-0272 02 H

INITIAL DRAWING DATE:
 5/5/2020

REVISION
 3/28 F

REVISION
 3/31 G

REVISION
 4/26 H

Rev H Revised per DO comments

CONTACT:

PHONE:

E-MAIL:

SCALE: 1/4" = 1'-0"

ADDRESS:

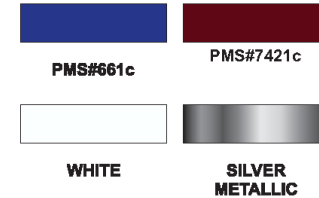
Vintage Pkwy & US 41 Estero Fl

FILEPATH:

Z:\gfr\C Jobs\Clean Machine\Estero_Vintage Pkwy & US 41\20-0272_AllDrawings\20-0272 01 H Clean Machine - Package.cdr

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

WALL SIGN



MANUFACTURE & INSTALL TWO (2) SINGLE FACED, ILLUMINATED WALL SIGN.

ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME. FACES TO BE ROUTED WITH .5" ACRYLIC PUSH THRU LETTERS "CARWASH". "CLEAN MACHINE" COPY TO BE 5" DEEP FACE ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO FACE OF CABINET. "STAR" TO BE ROUTED OUT OF FACES AND BACKED WITH PLEX.

TO BE ILLUMINATED USING WHITE (7000k) LED's.



9300 PALM AVENUE, FT. MYERS, FL 33801
 PHONE: 239.278.4245
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70 - II



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

CUSTOMER APPROVAL:

SIGNATURE _____

DATE _____

JOB DESCRIPTION:
 Wall Sign

PROJECT MANAGER: Elisha White
 DESIGNER: MB

COMPANY: Clean Machine

DRAWING NUMBER: 20-0272 06 H

INITIAL DRAWING DATE: 5/5/2020

REVISION 3/28 F

REVISION 3/31 G

REVISION 4/26 H

Rev H Revised per DO comments

CONTACT:

PHONE:

E-MAIL:

SCALE: 3/8" = 1'-0"

ADDRESS:

Vintage Pkwy & US 41 Estero Fl

FILEPATH:

Z:\gfr\C Jobs\Clean Machine\Estero_Vintage Pkwy & US 41\20-0272_AllDrawings\20-0272 01 H Clean Machine - Package.cdr

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

INTERIOR SIGN

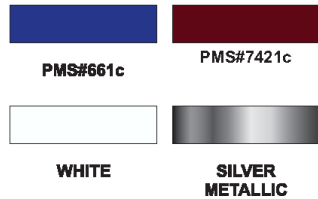
**QUANTITY: ONE (1) SINGLE-SIDED
INTERIOR WALL SIGN
NON ILLUMINATED**

**BACKGROUND: 1/2" THICK WHITE PVC
ROUTER CUT, PAINT COLORS TO MATCH
EXISTING EXTERIOR WALL SIGN**

**"Clean Machine" LETTERS:
1/4" THICK WHITE PVC, ROUTER CUT
BLUE VINYL OVERLAY
FLUSH MOUNTED TO BACKER**

**"CAR WASH" LETTERS:
1/4" THICK WHITE PVC, ROUTER CUT
FLUSH MOUNTED TO BACKER**

**"STAR": 1/4" THICK WHITE PVC, ROUTER CUT
FLUSH MOUNTED TO BACKER
INTERIOR SIGN TO BE MOUNTED TO LOBBY WALL**



9300 PALM AVENUE, FT. MYERS, FL 33901
PHONE: 239.278.4245
FAX: 239.278.3912

**ALL ELECTRICAL WORK TO BE DONE
IN COMPLIANCE WITH NFPA 70 - II**



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

CUSTOMER APPROVAL:

SIGNATURE _____

DATE _____

PROJECT MANAGER: Elisha White
DESIGNER: MB

JOB DESCRIPTION:

Interior

COMPANY: Clean Machine

DRAWING NUMBER: 20-0272 05 H

INITIAL DRAWING DATE: 5/5/2020

REVISION 3/28 F

REVISION 3/31 G

REVISION 4/26 H

Rev H Revised per DO comments

CONTACT:

PHONE:

E-MAIL:

SCALE: 1.5" = 1'-0"

ADDRESS:

Vintage Pkwy & US 41 Estero Fl

FILEPATH:

Z:\grfx\C Jobs\Clean Machine\Estero, Vintage Pkwy & US 41\20-0272, AllDrawings\20-0272 01 H Clean Machine - Package.cdr

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

QUESTIONS?



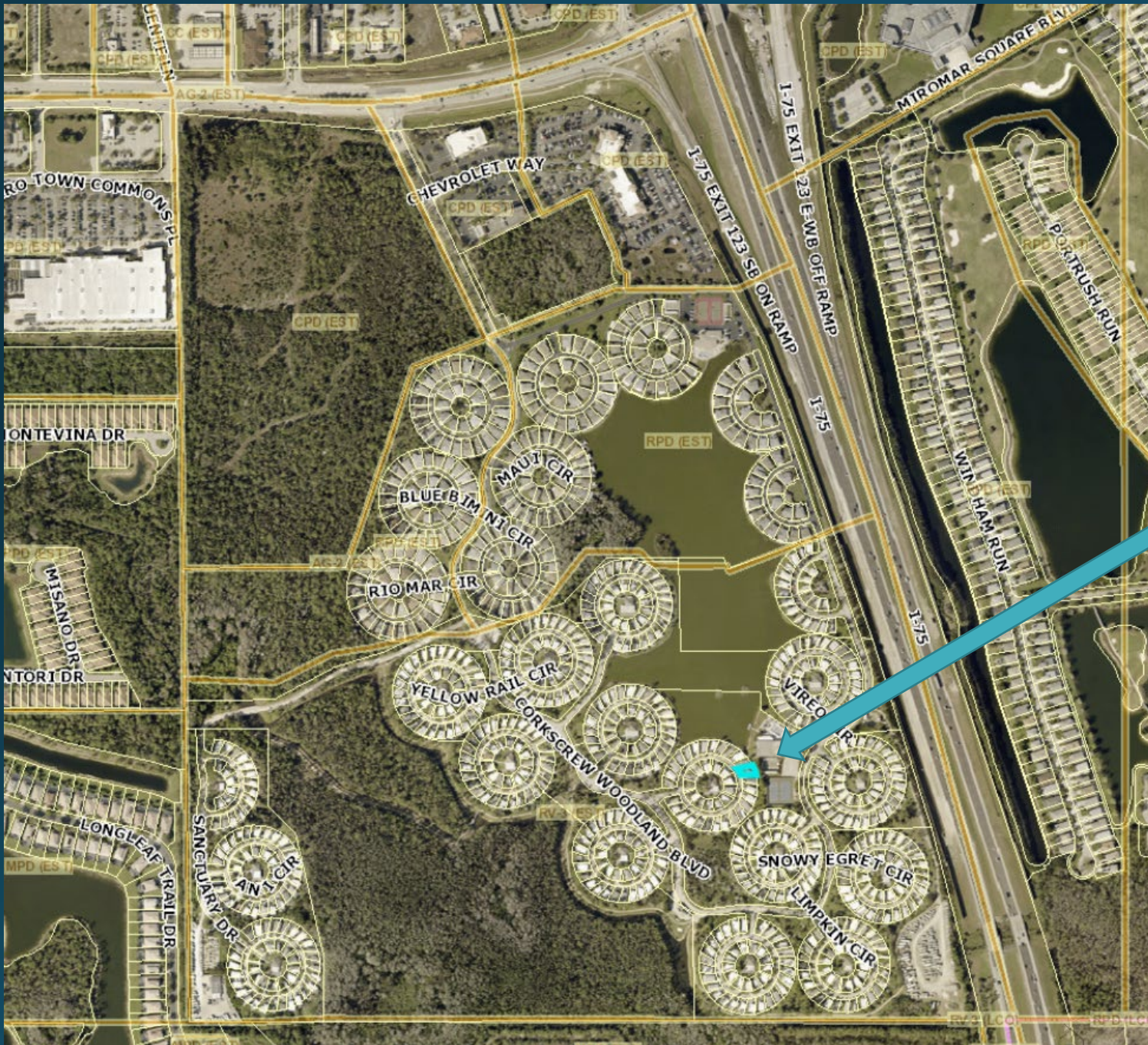
CHOJNOWSKI VARIANCE

10825 Little Heron Circle
Corkscrew Woodlands

Requesting a variance from the required
10 foot setback between mobile homes

Information for review

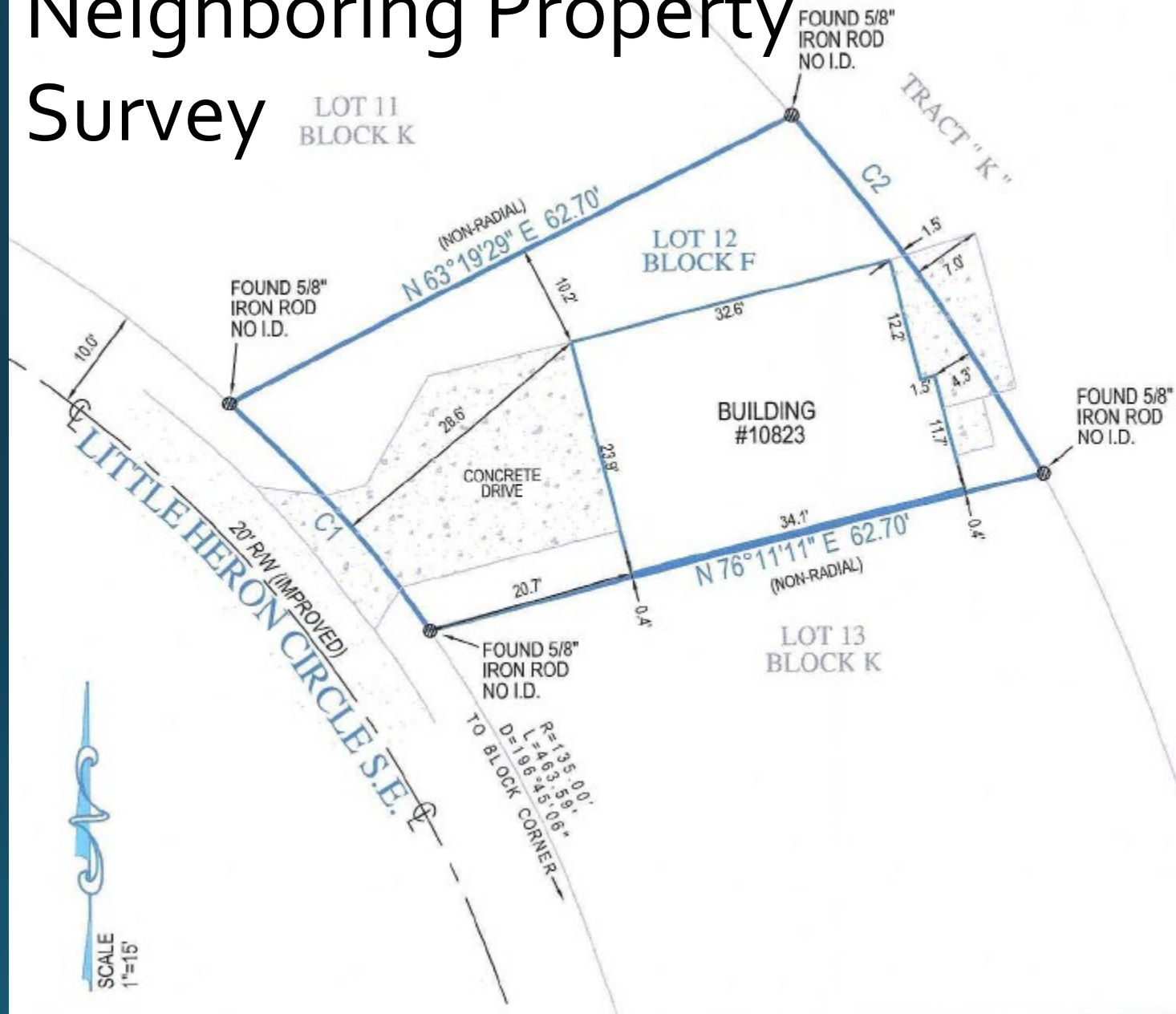
- Site Location
- 10823 Little Heron Survey (Neighboring property)
- 10825 Little Heron Site Plan (Chojnowski property)
- Photos of Existing Conditions

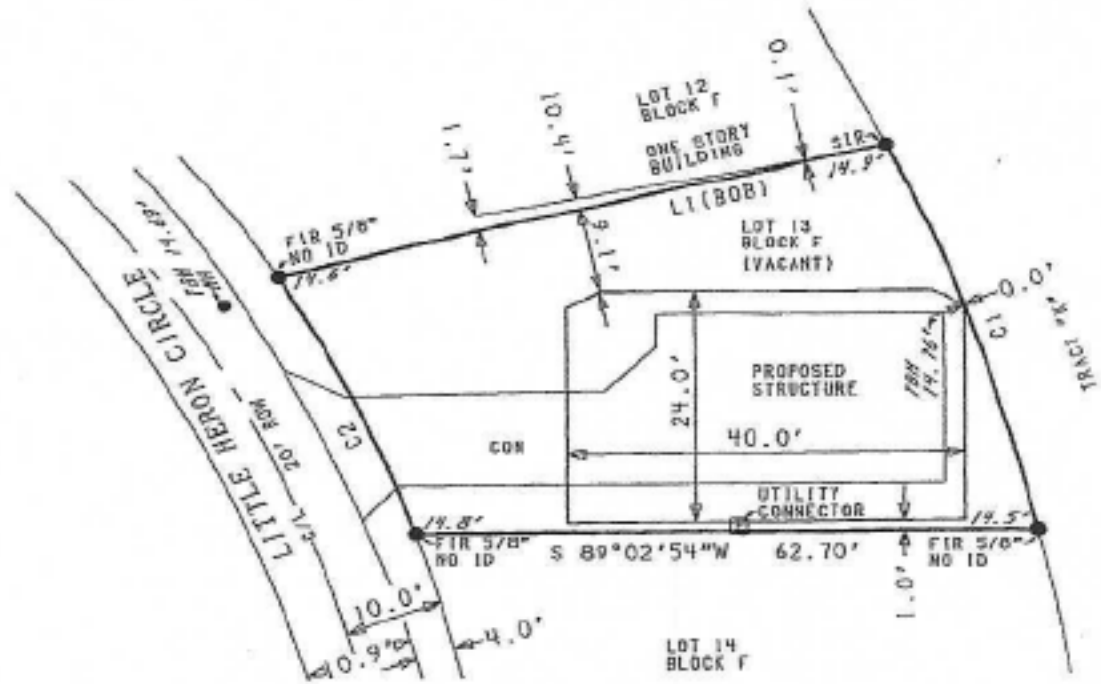


Chojnowski Property:

10825 Little Heron Circle
Lot 13, Block F
Corkscrew Woodlands

Neighboring Property Survey





Chojnowski Property Site Plan

CERTIFIED TO:
EUGENIA C. CHOJNOWSKI

PARCEL DESCRIPTION:
LOT 13, BLOCK F, CORKSCREW WOODLANDS, PHASE 1,
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN
PLAT BOOK 34, PAGE 130, OF THE PUBLIC RECORDS
OF LEE COUNTY, FLORIDA.

Grid North
1" = 20'



10823 Little Heron Circle
Neighbor

10825 Little Heron Circle
Applicant







Thank you

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45

VILLAGE OF ESTERO, FLORIDA

ORDINANCE NO. 2021 - 04

AN ORDINANCE OF THE VILLAGE COUNCIL OF THE VILLAGE OF ESTERO, FLORIDA, AMENDING THE VILLAGE LAND DEVELOPMENT CODE TO ESTABLISH AUTHORITY TO APPOINT CO-CHAIRPERSONS TO THE PLANNING ZONING AND DESIGN BOARD; PROVIDING A SEVERABILITY CLAUSE, A GENERAL REPEALER CLAUSE, AND AN EFFECTIVE DATE.

WHEREAS, the Village Council adopted the Village Land Development Code on January 27, 2021 which, among other things, established the Planning Zoning and Design Board (“Board”) in Section 2-302; and

WHEREAS, paragraph 2-302.A.4 provides that the Village Council shall appoint a Board chairperson; and

WHEREAS, the Village has determined it is in the interest of the health, safety and welfare of its citizens to provide an option to appoint co-chairpersons for the Board; and

WHEREAS, the Planning Zoning and Design Board, sitting as the Local Planning Agency, reviewed this Ordinance at a duly noticed public hearing and recommended approval.

NOW, THEREFORE, be it ordained by the Village Council of the Village of Estero, Florida:

Section 1. Amending Section 2-302.A.4.

The Village Land Development Code is hereby amended as follows:

2-302. Planning Zoning and Design Board

A. Generally

* * *

4. The Chairperson or Co-Chairpersons, as desired by the Village Council, of the PZDB shall be appointed by the Village Council. Members of the PZDB shall annually elect during the first regularly scheduled meeting of each calendar year, a Vice-Chairperson from among its members if Co-Chairpersons were not appointed, and may create and fill other officers as the Board deems needed.

46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75
76
77
78
79
80
81
82
83
84
85
86
87
88

Section 2. Severability.

If any provision of this Ordinance or its application to any person or circumstance is held invalid, the invalidity does not affect other provisions or applications of this ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are severable.

Section 3. Repeal.

All ordinances, resolutions, official determinations or parts thereof previously adopted or entered by the Village or any of its officials and in conflict with this Ordinance are hereby repealed to the extent inconsistent herewith.

Section 4. Effective Date.

This Ordinance shall take effect immediately upon adoption at second reading.

PASSED on first reading this ____ day of _____, 2021.

PASSED AND ADOPTED BY THE VILLAGE COUNCIL of the Village of Estero, Florida this ____ day of _____, 2021.

Attest: **VILLAGE OF ESTERO, FLORIDA**

By: _____
Carol Sacco, Village Clerk

By: _____
Katy Errington, Mayor

Reviewed for legal sufficiency:

By: _____
Nancy E. Stroud, Village Land Use Attorney

Vote:	AYE	NAY
Mayor Errington	_____	_____
Vice Mayor McLain	_____	_____
Councilmember Ribble	_____	_____
Councilmember Fiesel	_____	_____
Councilmember Boesch	_____	_____
Councilmember Ward	_____	_____
Councilmember Wilson	_____	_____



PLANNING ZONING & DESIGN BOARD

2021 MEETING SCHEDULE

2nd Tuesday of every month, 4:30 p.m.

May	5/11/2021
June	6/8/2021
July	7/13/2021
August	8/10/2021
September	9/14/2021
October	10/12/2021
November	11/9/2021
December	12/14/2021