

**VILLAGE OF ESTERO, FLORIDA
ZONING
ORDINANCE NO. 2023-06**

**AN ORDINANCE OF THE VILLAGE COUNCIL OF THE
VILLAGE OF ESTERO, FLORIDA, CONSIDERING A
REZONING FROM MIXED USE PLANNED
DEVELOPMENT (MPD) TO ESTERO PLANNED
DEVELOPMENT (EPD) FOR A 45.6-ACRE PARCEL ON
THE NORTHWEST CORNER OF US-41 AND COCONUT
ROAD; PROVIDING FOR CONFLICTS; PROVIDING FOR
SEVERABILITY; AND PROVIDING AN EFFECTIVE
DATE.**

WHEREAS, Coconut Road Estero Apartments, LLC, represented by Ross Abramson (the “Applicant”), filed for a rezoning on property located on the northwest corner of US-41 and Coconut Road for a project known as **Coconut Road EPD**; and

WHEREAS, the Property STRAP numbers are 09-47-25-E2-U1902.2012, 09-47-25-E2-U1900.2033, 09-47-25-E2-U1908.2037, 09-47-25-E2-U1908.2404; 09-47-25-E1-U1874.2023 and 09-47-25-E1-U1877.2039, and the Properties are legally described in Exhibit A attached hereto; and

WHEREAS, the Property was zoned as Mixed Use Planned Development by Lee County; and

WHEREAS, the Applicant has requested a rezoning to Estero Planned Development (EPD) (Case No. DCI2022-E005); and

WHEREAS, the Applicant has requested deviations; and

WHEREAS, a Public Information Meeting was held on February 21, 2023 at the Planning Zoning and Design Board; and

WHEREAS, at a public hearing held on June 13, 2023 the Planning Zoning and Design Board recommended approval with conditions of the rezoning request; and

WHEREAS, a duly noticed first reading was held before the Village Council on June 21, 2023; and

WHEREAS, a duly noticed second reading and public hearing was held before the Village Council on July 5, 2023, at which time the Village Council gave consideration to the evidence presented by the Applicant and the Village staff, the recommendations of the Planning Zoning and Design Board, and the comments of the public.

45 **NOW, THEREFORE**, be it ordained by the Village Council of the Village of Estero,
46 Florida:

47
48 **Section 1. Rezoning.**

49
50 The Village Council approves the rezoning from Mixed Use Planned Development to
51 Estero Planned Development with the following conditions and deviations.

52
53 **Section 2. Conditions of Approval.**

54
55 1. Master Concept Plan

56
57 Development of this project must be consistent with the Master Concept Plan
58 (MCP) titled “Woodfield – Estero Planned Development”, dated May 26, 2023.
59 Resolution Z-98-075 and all prior zoning actions and administrative amendments
60 issued by Lee County are null and void as a result of this zoning action and are
61 superseded by this Zoning Ordinance.

62
63 2. Development Parameters

64
65 This project is limited to a maximum of 596 multiple family and townhouse
66 dwelling units, 42,000 square feet of medical and general office use, 82,000 square
67 feet of commercial retail and dining use, 260 hotel rooms, and 6,000 square feet of
68 civic space. Uses must be consistent with the Schedule of Uses below.

69
70 3. Maximum Building Height and Stories

71
72 70 feet for Hotel (Block 7) (6 stories)
73 60 feet for Blocks 3, 6 & 8 (Residential & Commercial) (4 stories)
74 45 feet for Blocks 1-2, 4-5, and 9-10 (Residential, Commercial and Civic) (3
75 stories)
76 Architectural features may extend up to 15 feet above maximum height but may
77 not exceed 20% of the total roof area.

78
79 4. Uses and Site Development Regulations

80
81 The following uses and limits apply to the project:

82
83 *Schedule of Uses*

84
85 Banks and financial institutions
86 Bar and Consumption on Premises (see Conditions 25 and 26)
87 Brewpub or micro-brewery, -winery, or distillery (see Conditions 25 and 26)
88 Business services, Groups I & II
89 Cinemas and theaters

90	Clubs, lodges, or community-oriented associations
91	Convenience food and beverage store without gas service
92	Convention center or Exhibition Hall
93	Counseling, nonresidential
94	Cultural facility, noncommercial
95	Day care center
96	Drugstore
97	Dwelling, live-work Multiple-family
98	Dwelling, Multiple-family
99	Dwelling, Townhouse
100	Grocery store or food market
101	Hotels/motels
102	Dryclean & Laundry services
103	Library
104	Medical or dental lab
105	Office, general business
106	Office, medical (24-hour emergency medical office or emergency services prohibited)
107	
108	Outpatient care facilities
109	Park, Village
110	Personal services Groups I and II (excluding escort services, palm readers, fortunetellers, card readers and tattoo parlors)
111	
112	Pet services
113	Place of worship
114	Post office
115	Real estate sales office
116	Recreational facilities, indoor and outdoor
117	Repair shop, household
118	Restaurant, convenience
119	Restaurant, fast casual or fast food
120	Restaurant, standard
121	Retail sales groups I and II
122	Utility, minor
123	Vocational or trade school
124	
125	<i>Accessory Uses</i>
126	
127	Antenna
128	Automated teller machine (ATM) Automatic car wash
129	Bike parking rack
130	Bike share station
131	Clubhouse (as accessory to a residential development, golf, or tennis facility)
132	Community recreation facility (as accessory to a residential development)
133	Cool roof
134	Dock

135 Electric vehicle (EV) level 1, 2 or 3 charging station
 136 Excavation, water retention
 137 Fences, walls
 138 Garage or carport
 139 Greenhouse
 140 Green roof
 141 Home garden
 142 Home occupation
 143 Laundromat (as accessory to a multifamily dwelling)
 144 Outdoor display of merchandise (as accessory to a retail sales use)
 145 Outdoor seating (as accessory to an eating or drinking establishment)
 146 Parking lot, accessory
 147 Parking structure
 148 Pickleball facilities (appropriate setbacks and conditions to be determined at
 149 time of development order by Planning Zoning and Design Board)
 150 Satellite earth stations and amateur radio antennas
 151 Signs, in accordance with LDC Chapter 6
 152 Solar energy collection facility, small-scale
 153 Swimming pools, tennis courts, porches, decks, and similar recreational
 154 facilities
 155

156 Property Development Regulations

157
 158 Minimum Lot Area: N/A
 159 Minimum Lot Width: N/A
 160 Minimum Lot Depth: N/A
 161 Minimum Building Separation: 25 feet¹
 162 Maximum Lot Coverage: 55%
 163 Maximum Height: See Condition 3
 164

165 Note: If Property is subdivided, a zoning amendment will be necessary to establish
 166 alternative property development regulations.
 167

168 ¹All buildings will provide separation in accordance with applicable fire codes. 10
 169 feet of separation is allowed between accessory structures/buildings, and between
 170 the civic buildings and adjoining structures.
 171

172 Minimum Building Setbacks

173
 174 Street, Principal & Accessory:
 175 US-41: 45 feet minimum
 176 Coconut Road: 25 feet minimum (except balconies may
 177 encroach up to 5 feet in the setback)
 178 Side: 15 feet Principal
 179 Rear: 10 feet Principal

Waterbody: 10 feet Principal, 5 feet Accessory
Accessory: 5 feet
Minimum Open Space: 40%

5. Connectivity

The developer will be responsible for roadway and pedestrian connections to US-41, Coconut Road and Lyden Drive rights-of-way. The roadway connections and pedestrian connections must be installed prior to the issuance of the first Certificate of Compliance within the planned development.

6. Traffic Signal

The developer will be responsible for the installation of a traffic light or roundabout as a site-related improvement at the intersection of Coconut Road and Walden Center Drive. If sufficient right-of-way is available and a roundabout is elected by the Village, the roundabout will be constructed in the existing right-of-way. The roundabout or traffic light, roadway connections, and pedestrian connections must be installed prior to the issuance of the first Certificate of Compliance within the planned development. The roundabout or traffic light is not eligible for impact fee credits.

7. LeeTran Bus Shelter

The developer must construct a transit bus stop shelter in accordance with LeeTran specifications, including paved walkway to and from the development and bus stop, signage, bicycle rack, bus pull-off area within right-of-way, proper curbing (Type E), shelter and lighting. The architectural design must complement the development design as approved by the Village. The bus shelter must be installed prior to the issuance of the first Certificate of Compliance within the planned development.

8. Impact Fees

Applicant or successor will pay impact fees in effect at the time of building permit issuance.

9. Transportation

- a. At time of the first development order, the Applicant will coordinate with FDOT and Village to determine if modification of the timing of the signals for the eastbound turn lane on Coconut Road to US-41 north, and the westbound turn lane on US-41 to Coconut Road are warranted. If modifications are not needed at that time, subsequent development orders shall evaluate the need.

- b. Once it is determined that an additional northbound left turn lane from US-41 to Coconut Road and/or an additional eastbound left turn lane on Coconut Road to US-41 north is warranted, the Applicant will enter into a development agreement with the Village of Estero to address its proportionate fair share of the improvement.
- c. The Applicant will reserve right-of-way for the additional eastbound left turn lane on Coconut Road to US-41 and donate the right-of-way once it is determined it is warranted.
- d. If approved by FDOT, the Applicant will provide turn lanes as shown on the MCP, in addition to those in paragraphs a. and b. above, on US-41 at the following project access points at time of first development order:
- Southbound right turn on US-41 at Cerise Drive
 - Northbound left turn on US-41 at Cerise Drive
 - Southbound right turn on US-41 at Saffron Drive
- If the access points or turn lanes are not approved, the Applicant will reanalyze the impacts as part of the development order and provide appropriate mitigation.
- e. Applicant will repaint traffic signal pole at Coconut Road and US-41 with FDOT permission.
- f. The intersection of Coconut Road and Walden Center Drive will be analyzed for the highest and best capacity (traffic light, roundabout, etc.,) at time of first development order.

10. Landscape

Applicant or successor will be responsible for installation, irrigation, and maintenance of plantings along the roadway shoulder of US-41 extending along the east boundary of this project if approved by FDOT. Landscape palette is subject to review by Village staff at time of first development order.

Applicant will provide foundation plantings (perimeter planting) that exceed the minimum Code requirement for residential and commercial buildings with specifics to be provided at time of development order.

11. No Blasting or Pile Driving

No development blasting or pile driving is permitted as part of this project.

269 12. Utilities

270
271 The project will be developed with underground utilities, including electric. The
272 project potable water service and sewer service is provided by Bonita Springs
273 Utilities (BSU) and the project must connect to those services as part of any local
274 development order for the site. Existing overhead power lines along US-41 and
275 through the FPL Easement Area may remain.
276

277 13. Pattern Book

278
279 The project must be consistent with the Pattern Book entitled “Woodfield Estero
280 Planned Development Pattern Book” dated June 2, 2023, except as modified by this
281 Ordinance. The Pattern Book is not conceptual. Photographic images may be
282 illustrative, but development must be in substantial compliance with the Pattern
283 Book, including a consistent architectural, landscape and signage theme for all
284 commercial and residential development.
285

286 Specific details such as: landscaping plant species, parking lot screening from
287 US-41 and similar buffer items; additional urban streetscape; pedestrian activity
288 areas along the pedestrian paseo and “Rambla” Streets (north and south);
289 hardscape; fountains in the lakes; placemaking elements; public amenities and
290 recreational features in the public space; details of how spaces will be activated;
291 methods to create “human scale”; addition of bike racks throughout; color scheme
292 to ensure the variation of contrasting building colors to differentiate buildings, and
293 architectural massing particularly on Coconut Road, rooflines, variation, and other
294 details, will be evaluated as part of development order review. Taller trees shall be
295 planted adjacent to buildings on Coconut Road to soften the massing of the tall
296 buildings, subject to Planning Zoning and Design Board approval.
297

298 A consistent lighting theme will be provided at time of development order.
299

300 No signage plan is included in the Pattern Book. A unified signage plan will be
301 submitted at time of development order review, including attractive signature entry
302 features/monument signs to be reviewed by Planning Zoning and Design Board as
303 a planned development minor amendment.
304

305 14. Buffers

306
307 As part of local development order approval for the project, the development order
308 plans must demonstrate buffering consistent with the Master Concept Plan and the
309 Pattern Book which show enhanced buffers and landscaping, as well as compliance
310 with the Land Development Code. As part of local development order approval, all
311 required buffer plantings must be 100% native vegetation.
312

The buffer along Coconut Road will consist of an enhanced Type “D” buffer, minimum 20 feet wide, with 4 trees per 100 linear feet planted at 14-18 feet, and a double hedge row 48” tall at time of planting.

The buffer along US-41 will consist of an enhanced Type “D” buffer, minimum 32 feet wide, with 4 trees per 100 linear feet planted at 14-18 feet, and a double hedge row 48” tall at time of planting.

Buffers along the western, northern and eastern boundaries will be installed in Phase I as part of the master infrastructure.

50-foot-wide Type “F” buffers will be provided to the north, adjacent to Marsh Landing and to the west, adjacent to the FPL Easement as shown on the Master Concept plan, regardless of existing vegetation within the indigenous preserve area. The buffer shall be 50 feet wide, with 15 trees staggered per 100 linear feet planted at 10 feet, and a double staggered hedgerow 48” at time of planting. The north and west boundary buffer will include a 6-foot tall black chain link fence installed within the buffers and screened from adjacent properties by existing or planted vegetation so as not to be visible from the project exterior.

15. Public Gathering Areas and Public Park

- a. The Applicant shall provide details regarding the improvements associated with the public areas, including the Central Green, Neighborhood Park, Crescent Park, Paseo and Rambla Street North & South as shown in the Pattern Book, at the time of the first development order.
- b. The Central Green park shown on the Master Concept Plan shall be designed to include shade trees and seating areas. The park shall feature a combination of landscape and hardscape to balance large open areas with smaller, more intimate areas. The park shall be open to the public through a public easement or similar document or condition acceptable to the Village Attorney at time of the first development order. The Central Green park shall be constructed at the time of the first development order.
- c. A 10-foot-wide nature trail will be provided around the Western Lake Open Space. If the FPL easement becomes a multi-use path, the Applicant will provide pedestrian connections from the development to the easement.
- d. The improvements are at the Applicant’s cost and will be maintained by the Applicant or its successor.
- e. The interior of the development shall include a water feature or features.

357 16. Indigenous Preserve

358
359 A minimum of 7.6 acres of indigenous open space will be provided along the
360 northern and western property lines as shown on the Master Concept Plan.
361

362 17. Concurrency

363
364 Approval of this rezoning does not constitute a finding that the proposed project
365 meets the regulatory concurrency requirements set forth in the Land Development
366 Code and the Comprehensive Plan. The developer is required to demonstrate
367 compliance with mandatory concurrency requirements prior to issuance of a local
368 development order.
369

370 18. Project Phasing

371
372 This project may be developed in multiple phases and must be developed in the
373 following order. At a minimum, the project will be phased to ensure that
374 commercial uses and public amenities in each phase are developed concurrently
375 with residential uses to ensure the mixed use nature of the development.
376

- 377 a. The first phase of the project will include the planned development master
378 infrastructure, including stormwater retention, roadways, utilities, perimeter
379 landscape buffers along the western, northern and eastern (US-41 frontage),
380 and traffic signal or roundabout, at Coconut Road and Walden Center Drive.
381
- 382 b. The second phase shall include Quadrant 1 (as shown in the Pattern Book) and
383 shall include a minimum of 35,000 s.f. of commercial space along with the
384 central park, the US-41 park, public component of restaurant row and the
385 Rambla Street. The hotel may be constructed together with Quadrant 1 or at
386 any time after the Phase I infrastructure. No more than 300 residential
387 certificates of occupancy may be approved until the hotel is under
388 construction.
389
- 390 c. Quadrants 2 & 3 may be constructed at any time after the start of the second
391 phase (Quadrant 1). Quadrants 2 & 3 shall include a minimum of 20,000 s.f.
392 of commercial space, a minimum of 20,000 s.f. of office space, along with a
393 minimum 4,500-square-foot civic building.
394
- 395 d. Quadrant 4 may be constructed at any time after the start of the second phase
396 (Quadrant 1).
397
- 398 e. Parking (including garage, on-street or surface) shall be provided for each
399 phase. Parking will meet the minimum requirements, which may be reduced
400 proportionately per Deviation 2.
401

- f. Prior to the issuance of the last residential building Certificate of Compliance, a minimum of eighty-five percent (85%) of the commercial square footage shall be constructed.
- g. All phases of the project may be built concurrently as long as the minimum public components and commercial spaces in that phase have been incorporated.

19. Green Building Standards, Residential Impact Standards, and Hurricane Preparedness

The Applicant will provide sufficient information at the time of development order to demonstrate compliance with Green Building Standards (LDC 5-8), Residential Impact Standards (5-13), compliance with the Hurricane Preparedness (LDC 7-5) and Mitigation. The Applicant should consider solar panels on parking garage rooftops.

20. Stormwater Management

The project's proposed stormwater outfall discharges to a ditch along the east side of the FPL transmission line on property owned by Coconut Shores Community Association and Marsh Landing Community Association. at time of first development order, the Applicant will use all reasonable efforts to obtain a drainage easement to secure drainage rights and maintain authority over the ditch. The easement will include the ditch from the project's outfall to the wetland flowway located between Marsh Landing and Fountain lakes. Should the adjacent property owners not agree to provide the easement, the easement will not be required for development order approval.

21. Incentive Offerings

The Applicant's incentive offerings, and the time by which each offering must be completed, are incorporated into this zoning approval as part of the Master Concept Plan and Pattern Book.

22. Maintenance

The Applicant or successor will maintain in good condition all common areas including, but not limited to, the Neighborhood Park, Rambla Street Linear Park, Central Green and Plaza/Paseo, which shall be maintained in perpetuity by a Property Owners Association or similar entity that will consist of both the residential and commercial parcels.

445 23. Building Construction

446
447 Buildings will be constructed of concrete block or poured concrete, and all
448 buildings 3-story or greater will contain elevators, except that townhomes as
449 approved by Deviation 6 are not required to have elevators.
450

451 24. Construction Traffic Management Plan

452
453 A Construction Traffic Management Plan shall be submitted with the first
454 development order application indicating construction hours of operation, and
455 access, equipment and staging details. The Plan shall designate a contact person for
456 the public to contact for construction issues, such as noise, dust, etc.
457

458 25. Outdoor Consumption on Premises

459
460 Prior to development order approval, any outdoor seating areas in conjunction with
461 consumption on premises of alcoholic beverages must demonstrate compliance
462 with the following:
463

- 464 a. The development order site plan must show the proposed location and square
465 footage of the outdoor seating area.
466
467 b. Outdoor Consumption on Premises is limited to 10 a.m. to 11 p.m. Sunday
468 through Thursday, and 10 a.m. to midnight, Friday and Saturday. Any
469 variation from these hours would require a minor amendment to be reviewed
470 by the Planning Zoning and Design Board in a public hearing.
471
472 c. For the purposes of this condition, outdoor seating shall be defined as roofed
473 or non-roofed areas of a restaurant, bar or microbrewery which are not
474 enclosed.
475
476 d. Notwithstanding the above, temporary outdoor consumption permits may be
477 issued as allowed in the Land Development Code.
478

479 26. Outdoor Entertainment/Live Music

480
481 Outdoor entertainment or live music for restaurant, bar, microbrewery or similar
482 use will be limited to the Central Green and Plaza/Paseo areas and limited to the
483 hours of 10 a.m. to 11 p.m. Sunday through Thursday, and 10 a.m. to midnight.,
484 Friday and Saturday. Any variation from these hours would require a minor
485 amendment to be reviewed by the Planning Zoning and Design Board in a public
486 hearing. Notwithstanding the above, temporary permits may be issued as allowed
487 in the Land Development Code.
488

489 27. Leases

490
491 All rental leases for the project must require minimum 12-month leases. Lease
492 restrictions are not applicable to the Hotel.

493
494 28. Public Easements

495
496 Public easements must be provided for public's use of public easement areas
497 identified on Pattern Book page 10 including Rambla Street Linear Park,
498 Plaza/Paseo, Central Green, and Neighborhood Park prior to the Certificate of
499 Compliance for each improvement. Documents are subject to approval by the
500 Village Attorney.

501
502 29. Radio Enhancement

503
504 The Applicant shall conduct an assessment model at the time of development order
505 to determine if the minimum radio signal's strength for the fire department
506 communication is in compliance with NFPA1:11.10, NFPA 1221:11.3.9, standards
507 for inbound and outbound signal strength and quality. If minimum signal strength
508 is not available, the Applicant shall install radio enhancement in the building. This
509 will be evaluated at time of development order.

510
511 30. Civic Space

512
513 The civic space shall be a minimum of 4,500 square feet in size and a maximum of
514 6,000 square feet.

515
516 The civic space will be available for use by established charities and civic
517 organizations, such as art leagues. Such use is subject to approval by owner, which
518 shall not be unreasonably withheld and coordination of schedules with other users,
519 at a nominal administrative fee to cover utility service costs, plus customary
520 janitorial costs and the cost of repair for any damages incurred during use. Charities
521 and civic users will need to provide appropriate liability insurance. The coordinated
522 schedule shall be made available on a monthly basis, no less than 30 days in
523 advance. The civic space will be available to the established charities and civic
524 organizations a minimum of 50% of operating hours.

525
526 31. Land Development Code (LDC)

527
528 Where the Village LDC is referenced in these conditions of approval for
529 implementation of the condition at the time of development order, the LDC in effect
530 at the time of the development order shall be applicable. Any subsequent
531 amendments to the local development order shall require compliance with the Land
532 Development Code in effect at the time.

Section 3. Deviations.

1. A request to deviate from Land Development Code (LDC) Section 5-408.I.6., which states that hardened shoreline structures may comprise up to 20 percent of an individual lake shoreline; to allow hardened shoreline structures to comprise up to 26% percent.

APPROVED for those portions of the lake that abut Buildings A & B and the pool area between those buildings. The equivalent littoral shelf design will be provided at time of development order.

2. A request to deviate from Land Development Code (LDC) Section 5-204.B.1. Minimum Number of Off-Street Parking Spaces, which requires a total of 2,107 parking spaces for the proposed mix of uses, density and intensity; to allow for a total of 1,872 parking spaces.

APPROVED.

3. A request for relief from Village LDC Section 7-206 (G)(3)(A)(1) which requires excavation to occur no less than 50 feet from an existing property line and collector or arterial street, to allow for excavation to occur no less than 25 feet from an existing property line. LDC Section 2-506 (C) allows for this deviation request.

APPROVED for Lakeside Street and Crescent Lake area shown in Pattern Book. Staff will review at time of development order to determine if additional protective measures for wayward vehicles are needed.

4. A request to deviate from Land Development Code (LDC) 5-304(1)(A) which requires 125 feet between intersections on local roads to allow for a minimum separation of 46', 106' and 109' for 3 intersections within the project as identified in the Pattern Book.

APPROVED AS SHOWN IN THE PATTERN BOOK.

5. A request to deviate from Section 3-707.H.3.A. of the Estero Land Development Code which encourages connecting streets to follow the typical cross-sections shown on Figure 3-707.T.3. to allow connecting streets to be provided per the cross-sections depicted on the proposed Tiered Development Plan.

APPROVED AS SHOWN IN THE PATTERN BOOK.

6. Deviation from LDC Section 4-219 which requires elevators in 3-story and taller multifamily/townhouse buildings, to omit elevators in the townhome buildings only (58 units) as shown on the Master Concept Plan.

APPROVED FOR TOWNHOMES ONLY AS SHOWN ON THE MASTER CONCEPT PLAN.

Section 4. Findings and Conclusions.

Based upon the analysis of the application and standards for the approval in the Land Development Code for the Estero Planned Development Zoning District, the following findings are made:

1. The Applicant has provided sufficient justification for the rezoning by demonstrating compliance with the Comprehensive Plan and the Land Development Code.
2. The request with the proposed conditions will meet or exceed all performance and locational standards set forth for the potential uses allowed by the request.
3. The request is consistent with the densities, intensities and general uses set forth in the Village of Estero Comprehensive Plan.
4. The proposed uses with the conditions in this Ordinance are compatible with existing and proposed uses in the surrounding area.
5. Adequate public facilities are available to serve the proposed use (Transportation).
6. The request will not adversely affect environmentally critical areas and natural resources.
7. The development should not adversely affect property values in the area.
8. The project will result in an orderly development pattern and address a community need for mixed-use development patterns.
9. The proposal, as conditioned, is consistent with the general criteria of the Estero Planned Development zoning district as follows:
 - a. Goals. The mixed-use nature of the site will promote social vitality in the area and create a walkable community as well as streets that are safe and attractive for walking or bicycling.
 - b. Reasonable Standards. The Applicant has used physical form and the relationship of the building with the landscaping and public space to meet the Village Center goals.
 - c. Accessibility. Public spaces are accessible, physically connected and walkable.

- d. Streets. A connected and continuous street network has been designed to encourage the mix of uses within the project.
- e. Street Design. Distances between intersections enhance the walkability and connectivity of streets.
- f. Lots and Blocks. A network of streets has been provided to create blocks and lots.
- g. The Visual Edge. A visual edge is created by the project design.
- h. Architecture. The building design is consistent with the Village architectural standards and will create a distinctive project.
- i. Quality of Buildings. Concrete block construction is proposed.

Section 5. Exhibits.

The following exhibits are attached to this Ordinance and incorporated herein by reference:

Exhibit A	Legal Description
Exhibit B	Woodfield Estero Planned Development Master Concept Plan dated 5/26/2023
Exhibit C	Woodfield Estero Planned Development Pattern Book dated June 2, 2023

Section 6 Severability.

Should any section, paragraph, sentence, clause, phrase or other part of this Ordinance subsequent to its effective date be declared by a court of competent jurisdiction to be invalid, such decision shall not affect the validity of this Ordinance as a whole or any portion thereof, other than the part so declared to be invalid.

Section 7 Effective Date.


This Ordinance shall take effect immediately upon adoption.

PASSED on first reading the 21st day of June, 2023.

PASSED AND ADOPTED BY THE VILLAGE COUNCIL of the Village of Estero, Florida on second reading this 5th day of July, 2023.

Attest:

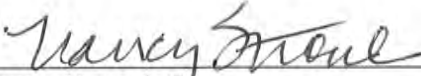
VILLAGE OF ESTERO, FLORIDA


Carol Sacco, Village Clerk


Jon McLain, Mayor

Reviewed for legal sufficiency:

By:


Nancy Stroud, Esq.,
Village Land Use

Vote:	AYE	NAY
Mayor McLain	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Vice Mayor Ribble	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Councilmember Fiesel	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Councilmember Fayhee	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Councilmember Lopez	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Councilmember Ward	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Councilmember Zalucki	<input checked="" type="checkbox"/>	<input type="checkbox"/>



NORTHWEST CORNER OF US 41 AND COCONUT ROAD

LEGAL DESCRIPTION

A PORTION OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST, LEE COUNTY, FLORIDA; THENCE NORTH 01°00'32" WEST ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 9, FOR A DISTANCE OF 55.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, AS THE SAME IS DESCRIBED IN O.R. BOOK 1738, PAGE 2538, PUBLIC RECORDS OF LEE COUNTY, FLORIDA; THENCE RUN SOUTH 89°56'40" EAST ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF COCONUT ROAD, FOR A DISTANCE OF 1900.67 FEET TO A POINT ON THE EASTERLY BOUNDARY OF A 100.00 FOOT WIDE EASEMENT AS RECORDED IN O.R. BOOK 2304, PAGE 2665, PUBLIC RECORDS OF LEE COUNTY, FLORIDA; THENCE ALONG SAID 100.00 FOOT WIDE EASEMENT, NORTH 21°20'56" WEST A DISTANCE OF 26.83 FEET TO THE POINT OF BEGINNING

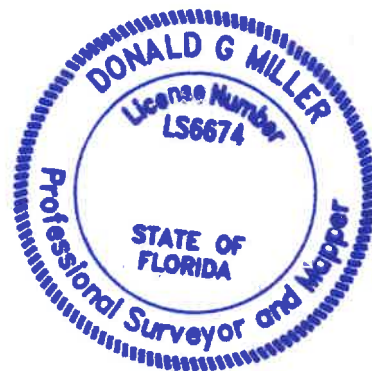
THENCE ALONG THE EASTERLY LINE OF AN ACTIVE FLORIDA POWER AND LIGHT EASEMENT, NORTH 21°20'56" WEST FOR A DISTANCE OF 1372.13 FEET TO THE SOUTHERLY LINE OF TRACT I, MARSH LANDING SUBDIVISION, PLAT BOOK 58, PAGES 42-49, PUBLIC RECORDS OF LEE COUNTY, FLORIDA; THENCE ALONG SAID SOUTHERLY LINE, NORTH 88°16'32" EAST A DISTANCE OF 1236.55 FEET TO THE SOUTHWEST CORNER OF THE NORTH ½ OF THE NORTHWEST ¼ OF SECTION 9, TOWNSHIP 47 SOUTH, RANGE 25 EAST; THENCE CONTINUING ALONG THE SOUTHERLY LINE OF TRACT I, AND THE SOUTHERLY LINE OF COCONUT TRACE SUBDIVISION, INSTRUMENT NUMBER 2006000423660, PUBLIC RECORDS OF LEE COUNTY, FLORIDA, NORTH 88°22'38" EAST A DISTANCE OF 517.10 FEET TO THE WESTERLY RIGHT OF WAY LINE OF US41; THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE ON THE FOLLOWING TWO (2) COURSES AND DISTANCES:

- 1) ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 11,391.16 FEET, A CENTRAL ANGLE OF 2°56'17" AND AN ARC LENGTH OF 584.12 FEET, THE CHORD OF SAID CURVE BEARS SOUTH 01°43'58" EAST FOR A DISTANCE OF 584.06 FEET;
- 2) SOUTH 00°15'48" EAST A DISTANCE OF 745.12 FEET;

THENCE LEAVING SAID WESTERLY RIGHT OF WAY LINE AND ALONG THE NORTHERLY RIGHT OF WAY LINE OF COCONUT ROAD, SOUTH 89°57'31" WEST A DISTANCE OF 1274.45 FEET TO THE POINT OF BEGINNING.

CONTAINING 45.625 ACRES MORE OR LESS


DONALD G. MILLER, FL PSM #6674



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² INCLUDES HOTEL GROSS FLOOR AREA

USE	PARKING REQUIREMENT	REQUIRED SPACES
MEDICAL OFFICE	20,000 SF @ 1 SPACE/300 SF	67 SPACES
GENERAL OFFICE	22,000 SF @ 1 SPACE/300 SF	73 SPACES
RETAIL	62,000 SF @ 1 SPACE/350 SF	177 SPACES
DINING	20,000 SF @ 12.5 SPACES/1000 SF	250 SPACES
CIVIC	3,000 SF @ 1 Space/250 SF (CULTURAL FACILITY)	12 SPACES
HOTEL	260 ROOMS @ 1 SPACE/1.2 ROOMS	217 SPACES
RESIDENTIAL	596 UNITS @ 2 SPACES/UNIT PLUS 10% VISITORS	1,311 SPACES
TOTAL REQUIRED		2,107 SPACES
TOTAL PROVIDED		1,872 SPACES

1. MAXIMUM HEIGHTS DO NOT INCLUDE EXCEPTIONS FOR SPECIAL ARCHITECTURAL FEATURES AND MECHANICAL EQUIPMENT UP TO 15 FEET ABOVE THE MAXIMUM BUILDING HEIGHT, PROVIDED THEY DO NOT EXCEED 20% OF THE TOTAL ROOF AREA.
2. ALL BLOCKS TO BE DEVELOPED AS TIER 3 LANDS.
3. TRANSIT SHELTER LOCATION SUBJECT TO FINAL APPROVAL BY LEE COUNTY TRANSIT.
4. EXISTING NATIVE VEGETATION WILL BE UTILIZED TO PROVIDE THE 50 FOOT TYPE "F" BUFFER ALONG THE NORTHERN AND WESTERN PROPERTY LINES. ADDITIONAL PLANTINGS WILL BE PROVIDED IN AREAS NOT HAVING A MINIMUM OF 15 TREES PER HUNDRED LINEAL FEET AND A 60 INCH HIGH VISUAL SCREEN.
5. DRY RETENTION AREAS SHALL INCLUDE THE INDIGENOUS PRESERVE AND OTHER SWALE AND DETENTION AREAS THROUGHOUT THE SITE. ADDITIONAL SOIL TESTING AND GROUNDWATER MODELING SHALL BE PROVIDED IN THE DEVELOPMENT ORDER PACKAGE.
6. ENHANCED TYPE D BUFFER ALONG US 41 AND COCONUT ROAD TO FEATURE 14' TALL (MINIMUM) TREES AT THE TIME OF PLANTING. THE US 41 BUFFER SHALL ALSO RANGE FROM 32' - 45' IN WIDTH, EXCEEDING THE 20' MINIMUM WIDTH REQUIRED BY TYPE D BUFFER STANDARDS.

[illegible]

DATE:	05/26/2023
PROJECT NO.:	
FILE NO.:	
SCALE:	1" = 100'

MASTER CONCEPT PLAN

SHEET NUMBER

June 2, 2023

WOODFIELD ESTERO PLANNED DEVELOPMENT PATTERN BOOK

DOVER, KOHL & PARTNERS
town planning

Exhibit C

WOODFIELD
DEVELOPMENT

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INTRODUCTION

The Woodfield Estero Planned Development property is a 45.6 acre site on the northwest corner of US 41 and Coconut Road in Estero, Florida. The site has a 7.6 acre indigenous preserve area along the western and northern boundaries and some existing street infrastructure, including one access point from Coconut Road at Walden Center Drive, that was constructed as part of a previous development plan.

The site is very well located, with Lee Health Coconut Point, an emergency room, outpatient center, and observation hospital, a few blocks away, and Coconut Point Mall just across the street on the east side of US 41. It is currently zoned for mixed-use development under the Mixed Use Planed Development (MPD) district classification, though, as is required in the Village's Land Development Code for any planned developments in the Village Center Area, the development application will be requesting a rezoning to the Estero Planned Development (EPD) classification, and specifically the Tier 3, Village Center designation.

The Woodfield Estero Planned Development conceptual master plan described in this pattern book proposes a new mixed-use center that offers signature public open spaces, connected walking and biking paths, a variety of housing types and commercial uses, as well as a civic building for private and community events—all which come together to create a complete neighborhood centered on community and quality of life.

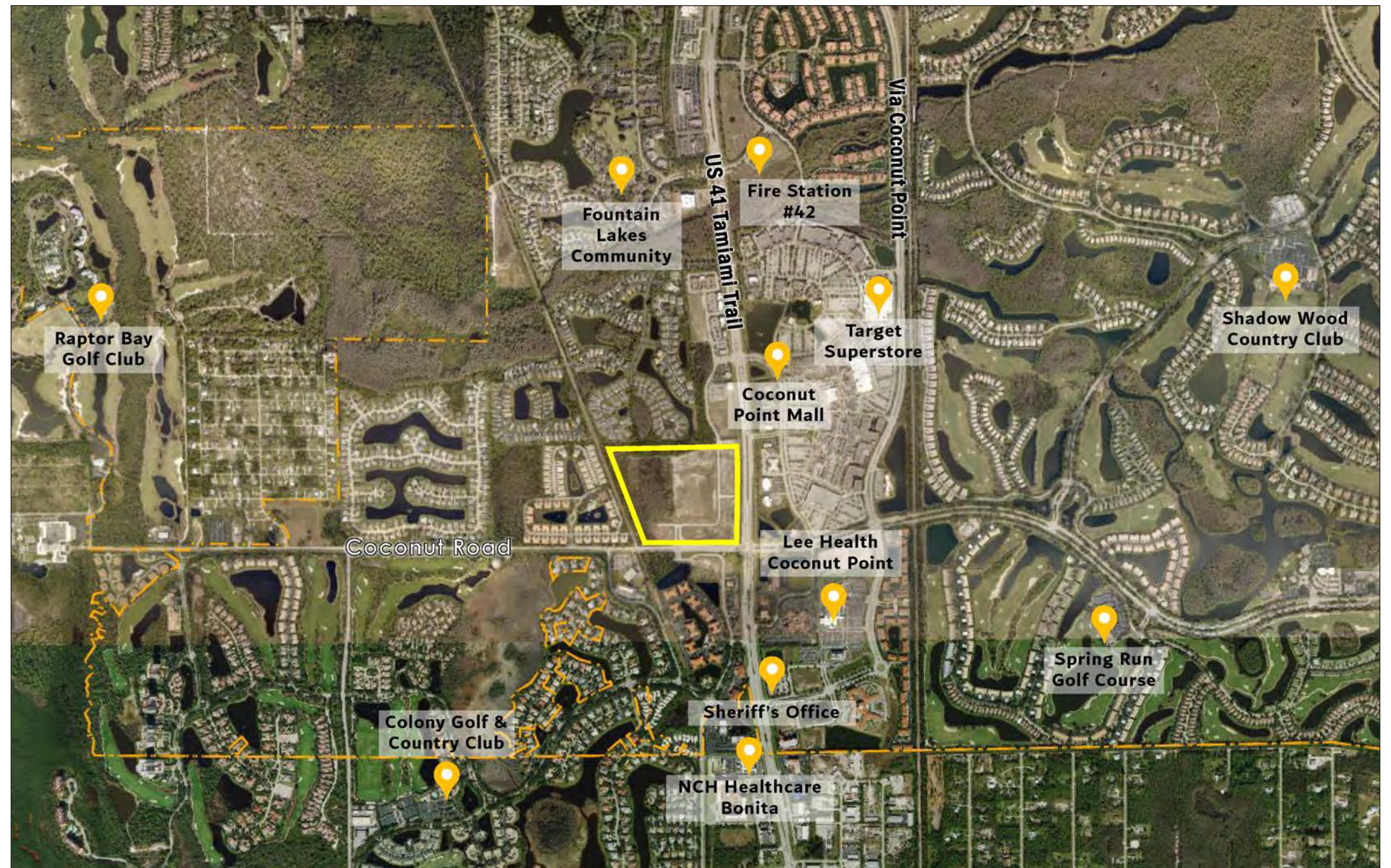


Figure 1: Site and Context Map

PROJECT DESCRIPTION

This pedestrian-friendly, mixed-use community is meant to align with the needs of the Village of Estero today and in the future, creating a village center for all of Estero's residents to enjoy outdoor and cultural activities, have an office, and gather with friends and visitors alike to shop and dine. The proposed development utilizes an overall design framework comprised of street-oriented buildings, generous public amenities, safe and multi-modal transportation facilities, and new and protected natural areas.

One of the ways the Woodfield Estero Planned Development conceptual master plan design encourages daily activity is by keeping the blocks small enough for people to walk around comfortably. Subtly tuning the geometry of the streets and blocks to increase the number of block edges and street corners, as well as orienting the buildings to face public spaces and streets, instead of facing parking lots or the backs of other buildings, is also key to enriching the character of the neighborhood and generating high value real-estate opportunities.

A Rambla street with a linear public space running down the center, a pedestrian street that serves as a restaurant row, a large central green with an outdoor stage that can host events, a neighborhood park with room for exercise equipment and playgrounds, as well as two retention lakes that create beautiful natural open spaces for people to enjoy, are all key features of the plan. Moreover, the provision of a 3,000

square foot civic building and a landmark hotel add to the diversity of attractions, sense of place, and economic vitality of the neighborhood.

The inclusion of multiple connected walking and biking trails, which include multi-use paths, sidewalks on every street, a natural trail, and a separated two-way bicycle track, as well the creation of a mobility hub, on-street parking, and lined parking garages, also help ensure that the Woodfield Estero Planned Development project will function effectively as a park-once environment for all and even possibly a car-optional neighborhood for some who live there.

This pattern book has been prepared to summarize and illustrate the key characteristics and design intent of the Woodfield Estero Planned Development. The ultimate goal is not to dictate overly prescriptive architectural design standards nor to restrict the exact location of future uses in such a way that makes it impossible for future phases of construction to adapt to changing market realities. Rather, the goal of this document is to establish an overall conceptual development program that defines the most important elements of the neighborhood plan, such as the network of blocks and streets and the location and size of public open spaces, and ensures a final built product that the whole community supports and values.

(Right) Rambla Street Aerial View:
On Coconut Road and Walden Center
Drive looking north







(Left) Overall Aerial View:
Looking northwest



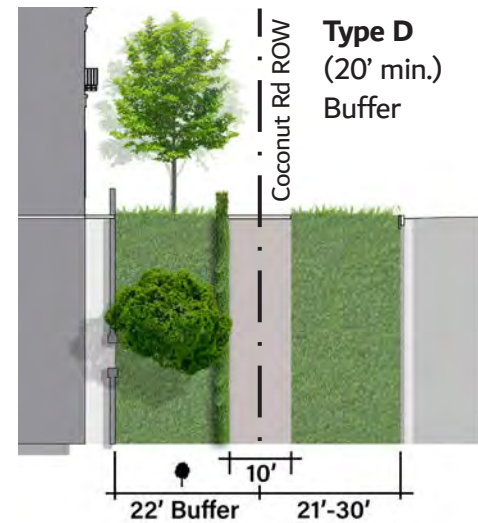
ILLUSTRATIVE PLAN

This Illustrative Plan demonstrates the overall neighborhood design for the Woodfield site, including the proposed building footprints, block and street network, landscaping, parking, and public open spaces. From this drawing it is easy to see the natural areas that have been preserved along the western and northern boundaries, as well as the tight network of blocks and streets that make it easy and comfortable for people to get around by car, bike, or on foot.

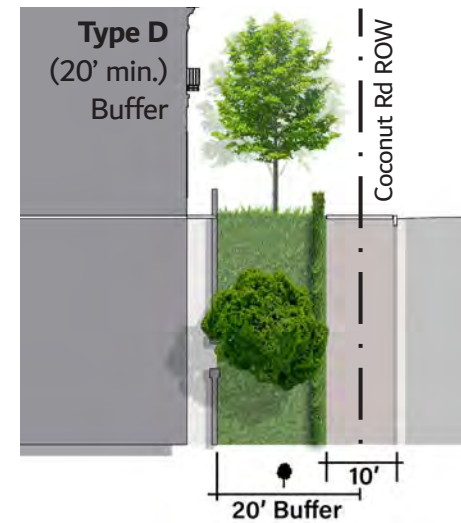
Figure 2: Illustrative Plan



Section L.1: Coconut Rd West



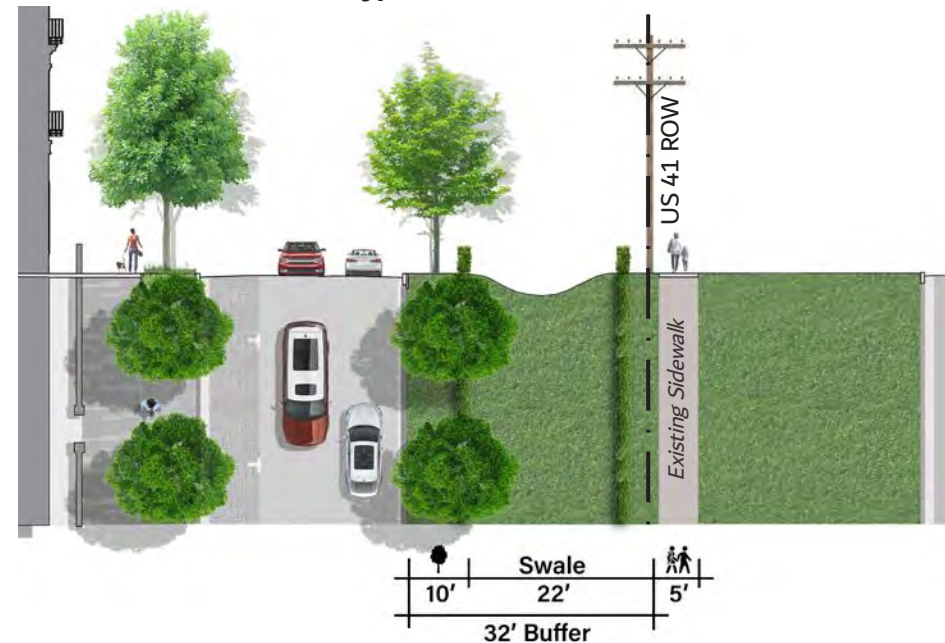
Section L.2: Coconut Rd East



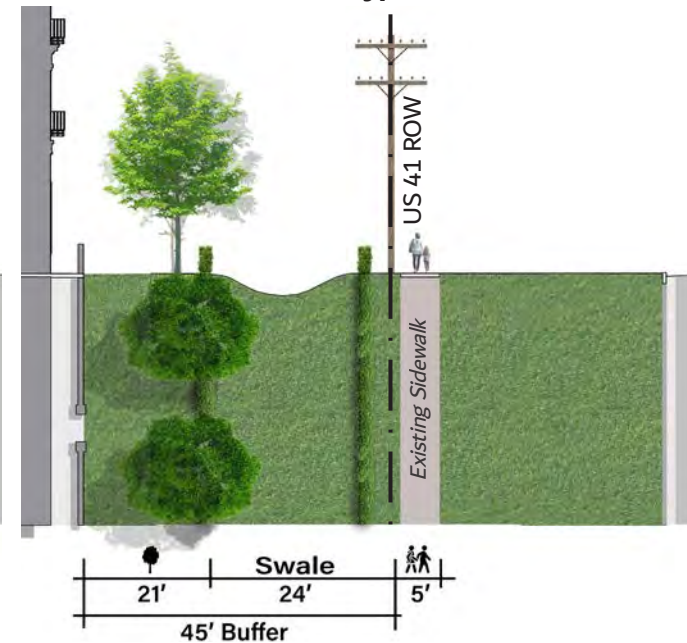
LANDSCAPE BUFFERS

The section diagrams on this page illustrate the landscaping buffers that shall be provided along the borders of the project. All of these buffers, except for Section L.1, exceed the minimum width requirements in the code. Hedge heights and tree spacing within these landscape buffers shall comply with all existing code requirements. The existing sidewalks along Coconut Road shall also be expanded to 10-feet in width.

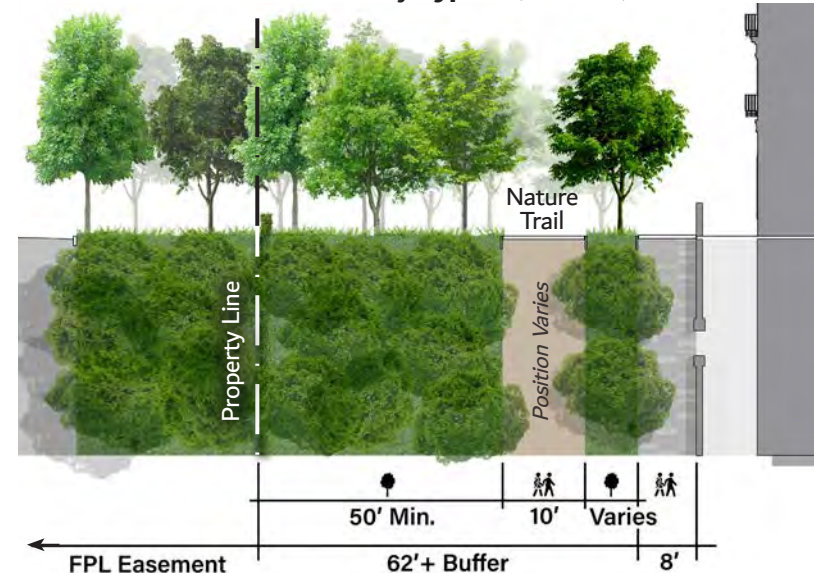
Section L.3: US 41 South Type D (20' min.) Buffer



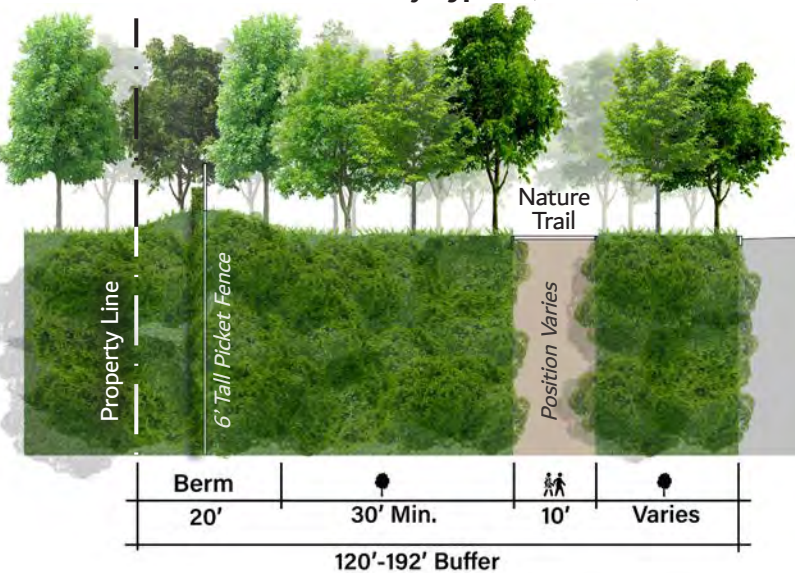
Section L.4: US 41 North Type D (20' min.) Buffer



Section L.5: Western Boundary Type F (50' min.) Buffer



Section L.6: Northern Boundary Type F (50' min.) Buffer



LANDSCAPING PLAN

1. Nature Trail

- 10' wide natural soil, woodchip, or crushed stone/shell path

2. Coconut Road Type D Landscape Buffer

- 20' wide min. buffer (Sections L.1 & L.2)
- Enhanced plantings: 14'-18' tall trees
- Hedge shrub 36" at installation

3. US 41 Type D Landscape Buffer

- Enhanced width buffer: 32'-45' wide buffer (Sections L.3 & L.4)
- Enhanced plantings: 14'-18' tall trees and two hedge shrubs 36" at installation

4. North Boundary Type F Landscape Buffer

- Type F landscape buffer: 50' required
- Type F landscape requirement: 15 trees per 100 linear feet, double staggered hedge row 48" tall at installation
- Enhanced width buffer: 120'-192' wide buffer (Section L.6) and a 6' tall picket fence
- Enhanced plantings: Existing 20' swale & existing mature tree canopy exceeding the 15 tree per 100' linear ft min.

5. West Boundary Type F Landscape Buffer

- Type F landscape buffer: 50' required
- Type F landscape requirement: 15 trees per 100 linear feet, double staggered hedge row 48" tall at installation
- Enhanced width buffer: 62'+ wide buffer (Section L.5)
- Enhanced plantings: Existing mature tree canopy exceeding the 15 tree per 100' linear ft min.

6. Western Lake Open Space

7. Crescent Lake Open Space

8. Enhanced Littoral Planting

9. Lake View Plaza

- Paved plaza with benches

10. Central Green

- 8' min. sidewalks & concrete paths
- Benches along the inner paths
- Open central lawn
- 14'-18' tall shade trees along perimeter
- Trees on axis with the Rambla Street shall be 12'-14' tall Royal/Date Palms to preserve views of the civic building

11. Public Stage/Pavilion & Plaza

- Specially paved plaza
- 1,200 - 1,800 sq. ft. pavilion/stage
- Lighting for special events

12. Neighborhood Park

- 8' min. sidewalks & concrete paths
- Benches along the inner paths
- 14'-18' tall trees along the perimeter and outside of the central dry retention area

13. Public Gazebo

14. Public Pavilion & Pergola

- Pavilion with attached pergola covering the sidewalk
- Small plaza space round the pavilion

15. Rambla Street South Median

- 28' wide median (Section S.2 on pg. 14)
- 8' wide concrete path down the center
- Two rows of shade trees, one on each side of the central path in the median
- Benches between the trees along path

16. Rambla Street North Median

- 28' wide median (Section S.1 on pg. 14)
- 5' wide concrete paths on both sides
- Two rows of 12'-14' tall Royal/Date Palms, one on each side of the median
- Benches between the palms along path

17. Civic Building Plaza

- Specially paved plaza
- 12'-14' tall Royal/Date Palms in front of the civic building
- Public seating (benches and cafe tables)
- Adjacent public restrooms



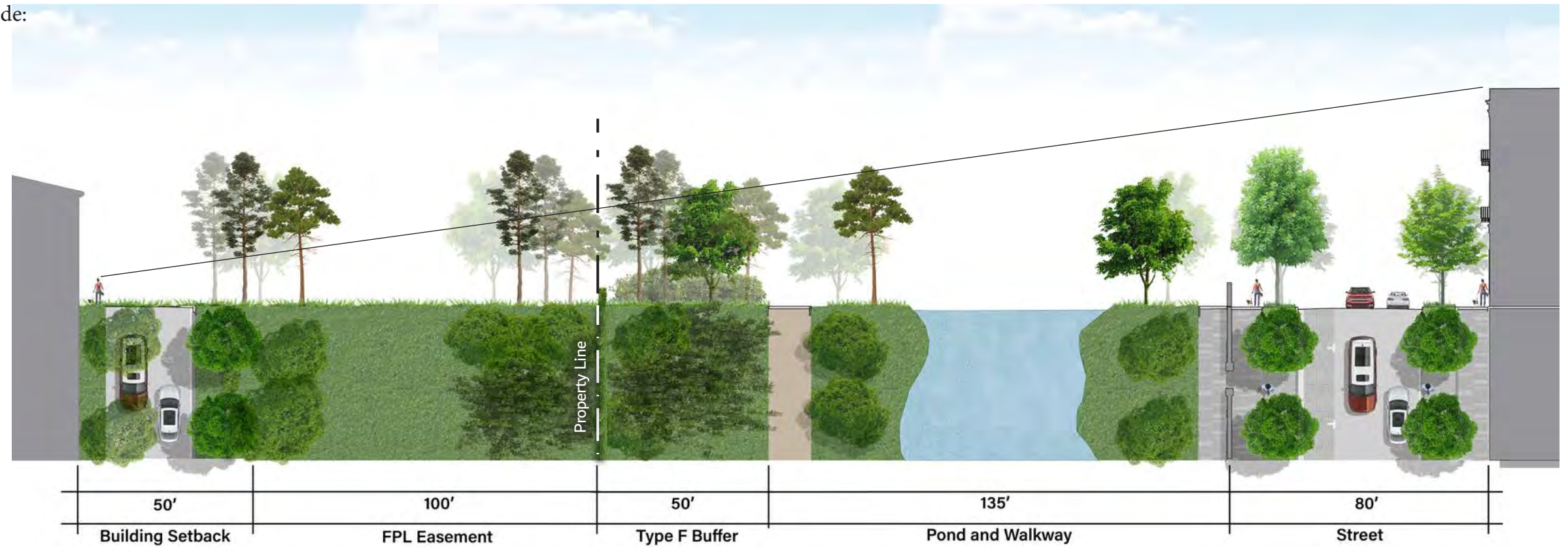
US 41/Tamiami Trail

Coconut Road

■ LINE OF SIGHT

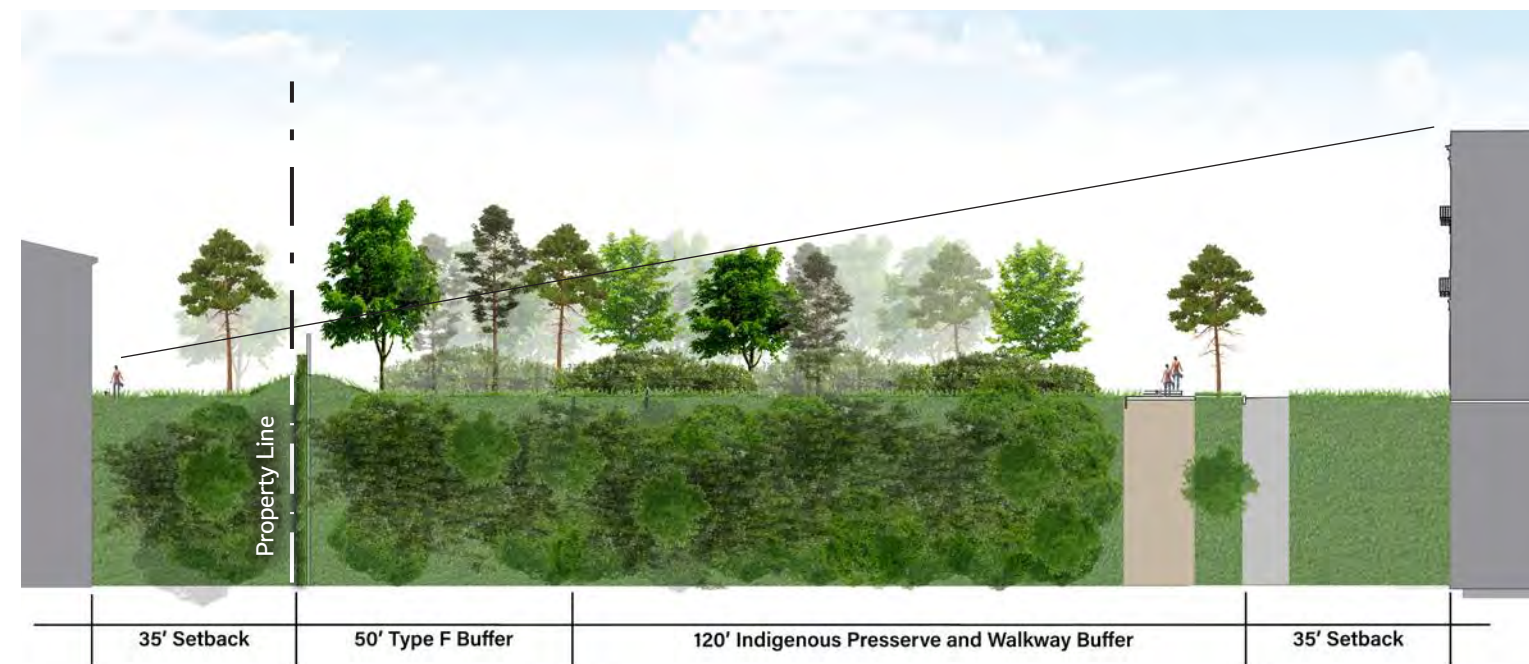
West Neighbor Line of Sight include:

- 50' Building Setback
- 100' FPL Easement
- 50' Type F Buffer
- 135' Pond and Walkway
- 80' Street



North Neighbor Line of Sight include:

- 35' Building Setback
- 50' Type F Buffer
- 120' Indigenous Preserve Area and Walkway Buffer
- 35' Building Setback





Building Setback: 35'

Type F Buffer: 50'

Indigenous Preserve Area
and Walkway Buffer: 120'

Building Setback: 35'

Building Setback: 50'

FPL Easement: 100'

Type F Buffer: 50'

Pond and Walkway: 135'

Street: 80'

Coconut Road

US 41/Tamiami Trail

PUBLIC OPEN SPACES

Roughly half of the 45.6 acre site is dedicated to public open spaces. These include a neighborhood park, lakes, indigenous preserve areas, multiple plazas, and a central green that features a pavilion for outdoor events. These spaces will be owned and maintained by Woodfield and will be open to the public for recreation and community events.

Land Cover	Acres	%
Total Open Space	23.7	52.0%
Wet Retention (Lakes)	3.1	6.8%
Dry Retention		
- Indigenous Preserve	7.6	16.6%
- Additional	2.1	4.6%
Public Parks/Green Spaces	5.5	12.1%
Public Plazas	0.8	1.7%
Public Sidewalks & Paths	3.1	6.8%
Private Open Spaces*	1.5	3.3%
Total Built-Up Area	16.8	36.8%
Total Streets	5.1	11.2%
Total Site	45.6	100%

* These are the private green courtyard areas for the hotel and multifamily residential buildings

- Public Open Space Types
- Preserve & Retention Areas

Neighborhood Park

Rambla Street Linear Park

Central Green

Plaza/Paseo



Figure 3: Public Open Space Plan

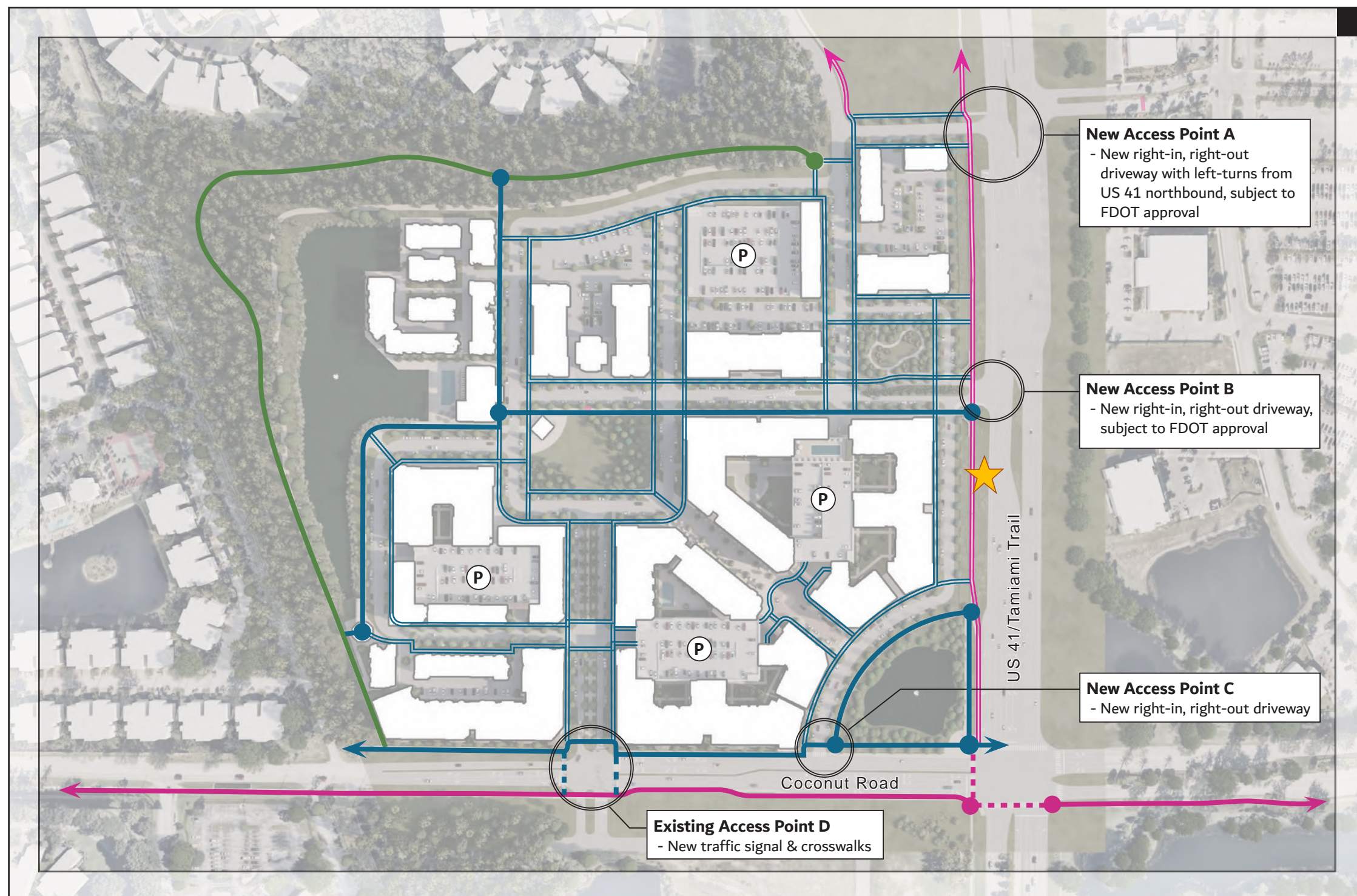


Figure 4: Mobility + Site Access Plan



MOBILITY+ ACCESS

One of the plan objectives is to facilitate multi-modal transportation within the neighborhood, as well as to and from it. There is a network of nature trails and multi-use paths running through the project, in addition to 8' minimum sidewalks on every street to promote safe and comfortable walking and biking. There is also an opportunity to locate a new southbound LeeTran bus station and pull-out area along US 41.

No access points exist today along US 41. Several new access points have also been proposed. The two along US 41 shall require FDOT approval. Any additional future access points would require coordination with FDOT in order to lower the speed along US 41 to 45 mph and re-classify the roadway context to C4 Urban General. These two measures would enable shorter distances between driveways and open up the possibility for a future access point by the southeastern retention lake along US 41.

Bike/Ped Trails

- New 10' Natural Trail
- New 10' Multi-Use Path
- Existing Multi-Use Path
- New 8' Sidewalk
- Existing Sidewalk

Multi-Modal Access

- Vehicular Access
- Potential Bus Station/Pull-Out
- Parking Garage

ACTIVE GROUND FLOOR USES + SPECIAL BUILDING SITES

Given the proximity to Coconut Point Mall and the overall decline in brick and mortar retail, which has accelerated due to the COVID-19 pandemic, the locations for active ground floor uses, including retail and dining, have been strategically concentrated along the key public spaces in the neighborhood, where the highest number of people walking and biking is expected.

In addition to the locations of active ground floor uses, this map also demonstrates special building sites. These represent ideal locations for future neighborhood anchors, including a civic building for public and private events center at the north end of the Central Green, a medical and traditional office complex with ground floor retail just the east of that, a residential amenity clubhouse overlooking the western lake, and a landmark hotel at the east side of the Central Green that stretches along the pedestrian restaurant row.

- Active Streets & Special Buildings
- Active Ground Floor Uses

Special Building Sites

Key View Corridors

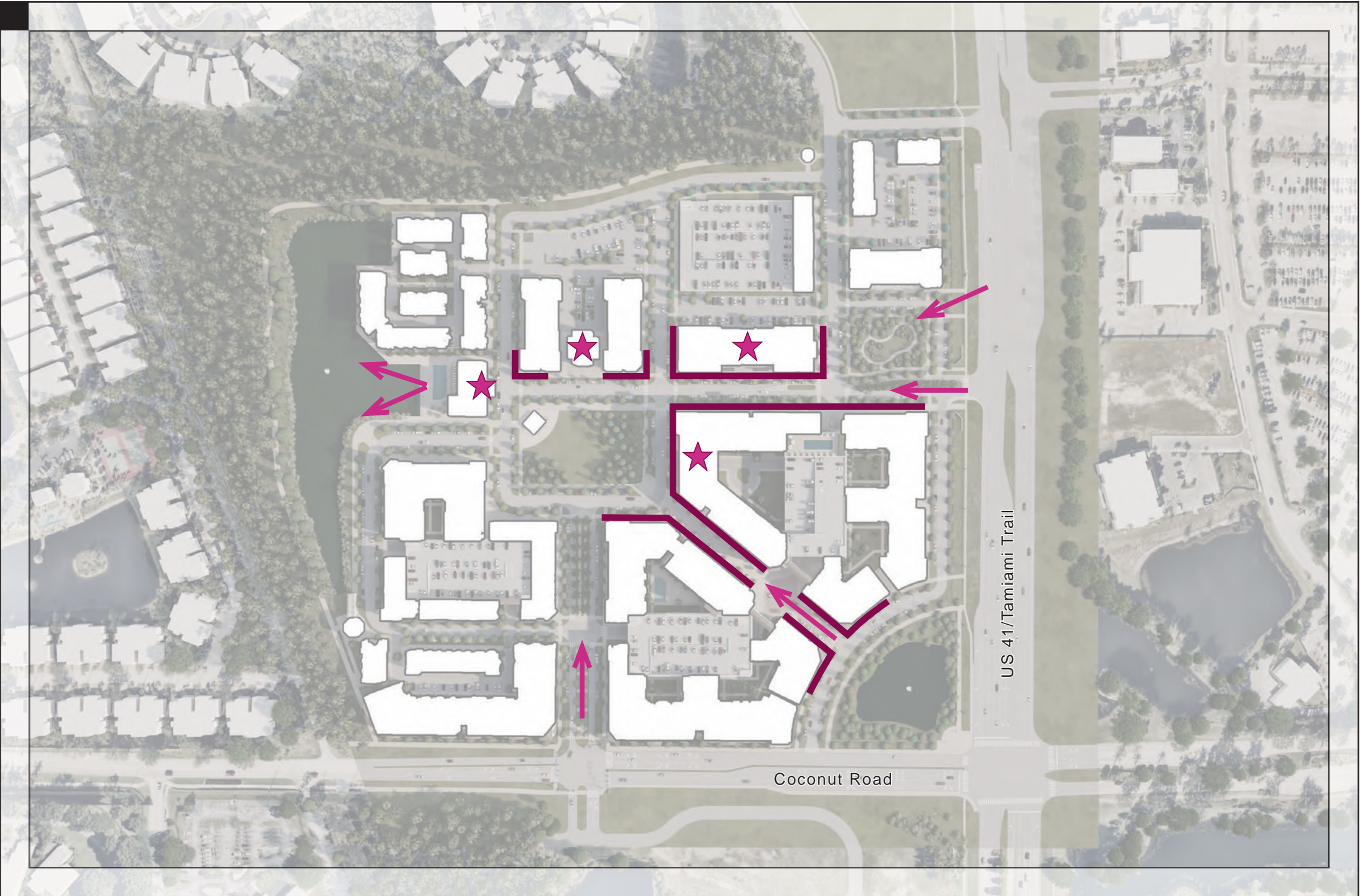


Figure 5: Plan of Active Ground Floor Uses + Special Building Sites



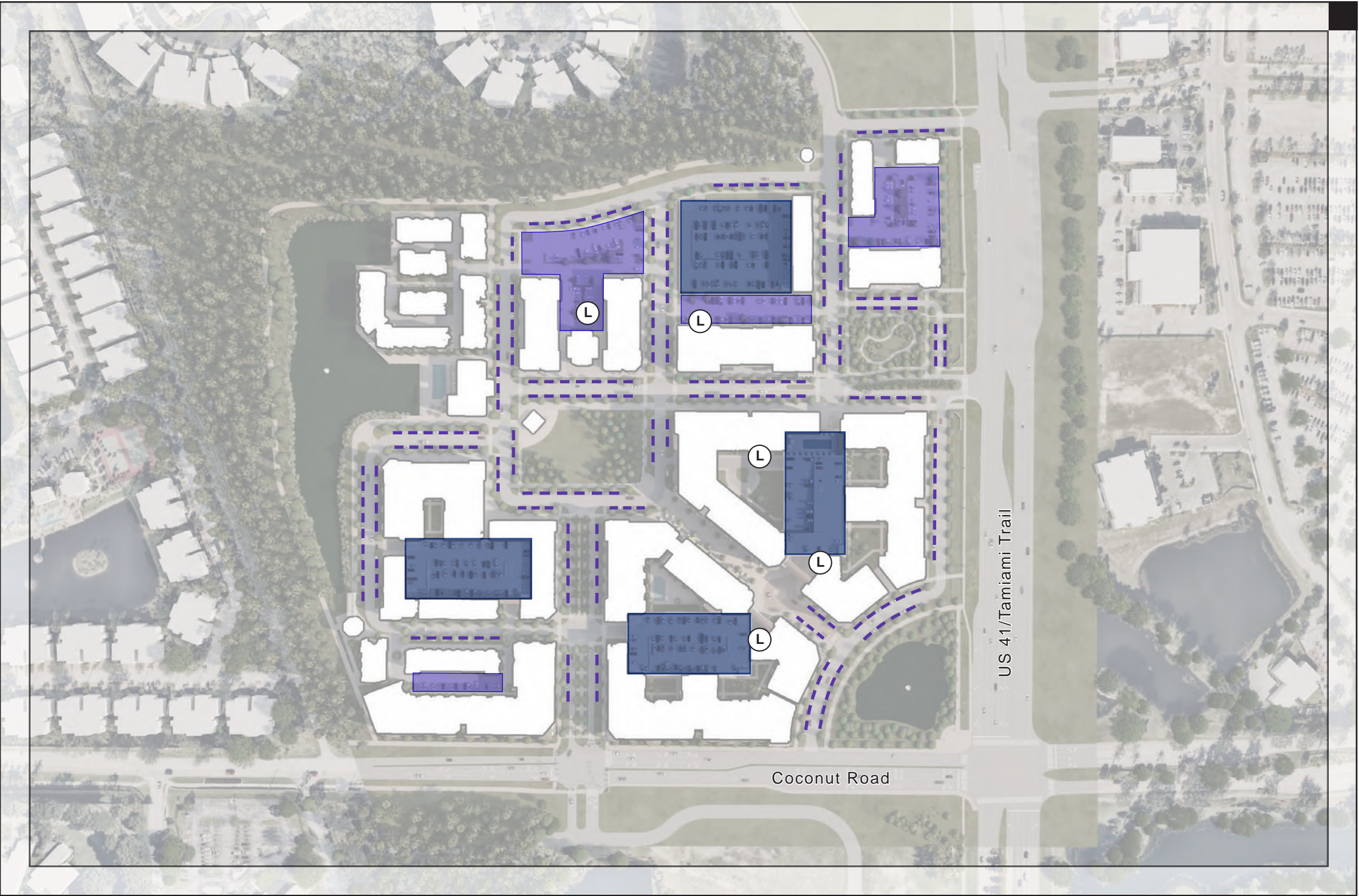


Figure 6: Parking Plan





PARKING AREAS

This map illustrates the different parking areas on the property. A majority of the parking is supplied in four structured parking garages located in the center of the blocks and lined with buildings wherever possible. There are also some surface parking lots in the center of the blocks, as well as on-street parking on most streets, and some building integrated parking. Required parking for retail and dining shall be provided throughout the site, both on-street and in dedicated sections of some parking garages.

Type of Parking	No. of Spaces
Parking Garage	1,375
Surface Parking	200
On-Street Parking	330
Building-Integrated Parking*	131
Total	2,036

*These are parking spaces that are integrated into the building type, like in the case of the townhouses and some multifamily buildings, which can have park under garages accessed from a rear lane or alley



Parking Types

-  Parking Garage
-  Surface Parking
-  On-Street Parking
-  Loading Zone

STREET CLASSIFICATIONS

Woodfield intends to own and maintain all of the streets on the property. With the exception of the private access road in the townhouse block on the northwest corner of the site, and potentially some of the garage access roads, all of the connecting streets throughout the neighborhood shall be accessible to the public. This map details the specific street types for the project according to Estero's Land Development Code classifications for projects in the Estero Planned Development District, which include:

- Type A - Semi-public street that will be privately owned and maintained through a recorded easement which grants the general public the right to travel by motor vehicle, bicycle, and by foot. Type A streets will not be dedicated to the Village.
- Type B - Private street that may or may not be accessible to the public; an easement for public use is not required. Type B will be privately maintained.

Classification
 Type A Street 
 Type B Street 

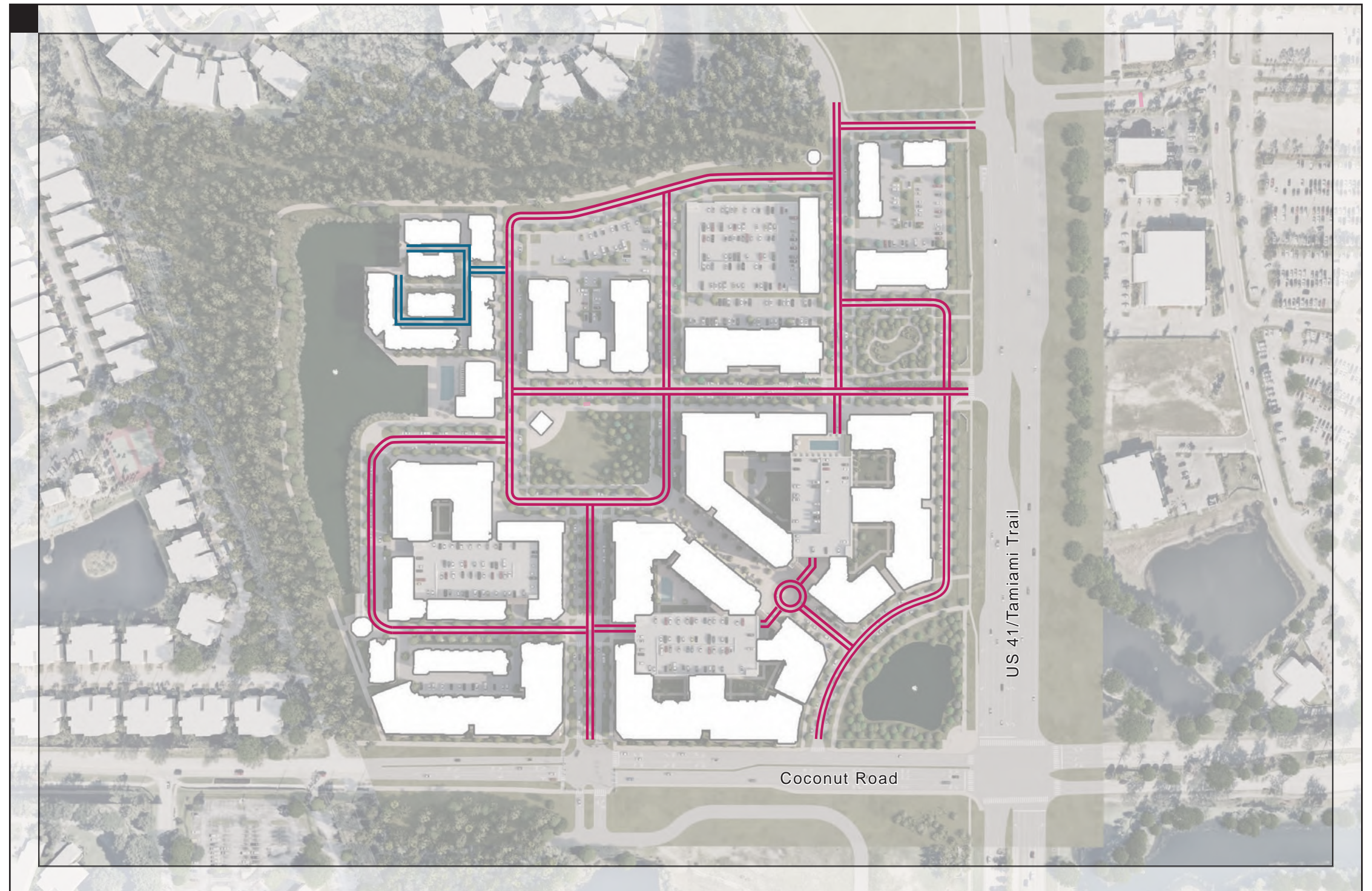


Figure 7: Street Classifications

STREET NETWORK

This map illustrates the internal network and hierarchy of street types provided throughout the neighborhood. These vary from the wide Rambla Street, with it's large central median that provides additional public open space, to narrower one-way streets and lanes, to streets that run along the lakeside or forested conservation area. With the exception of the Townhouse Lane, all of the streets feature sidewalks of at least 8 feet in width and all have on-street parking on at least one side.

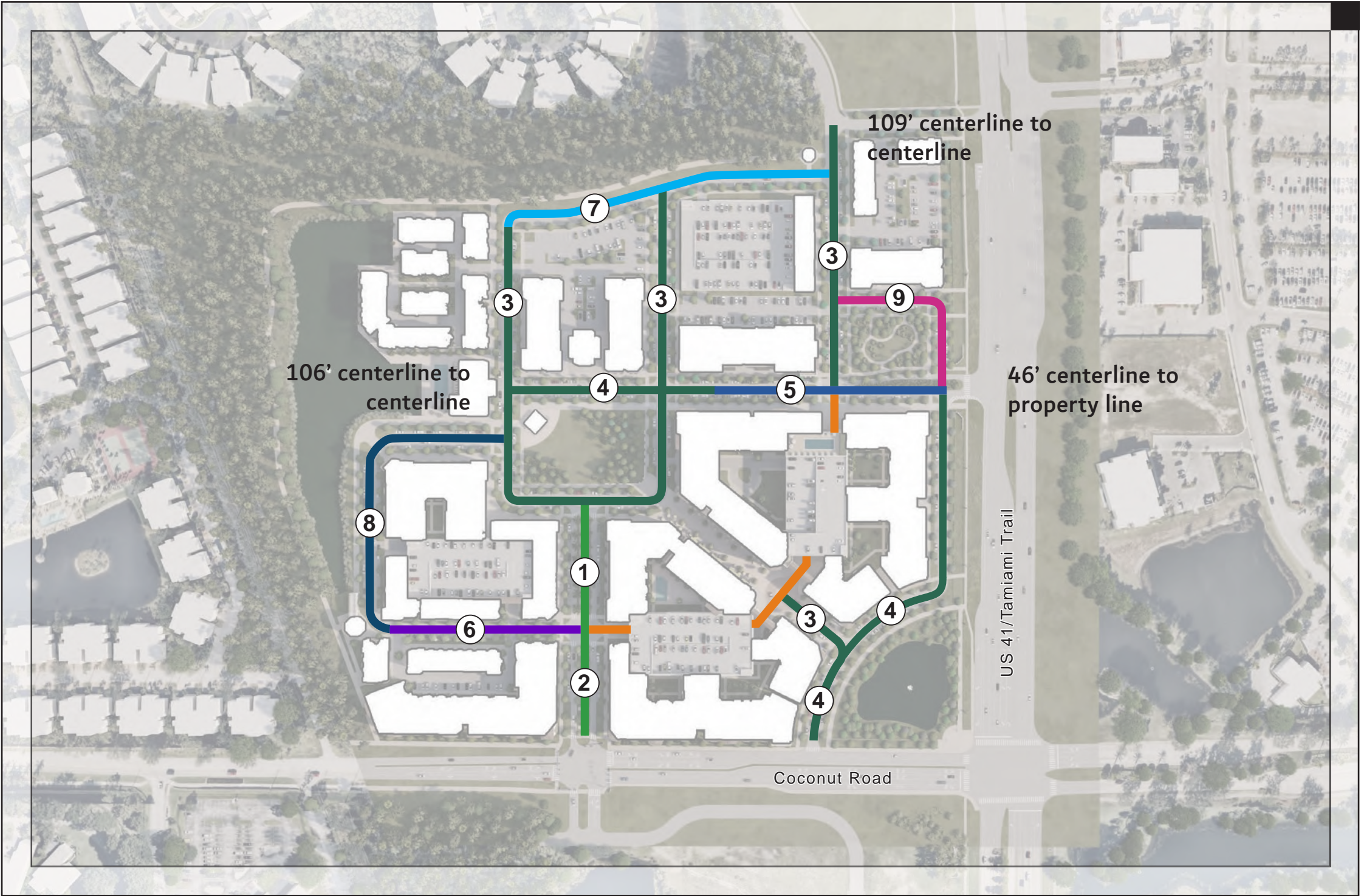
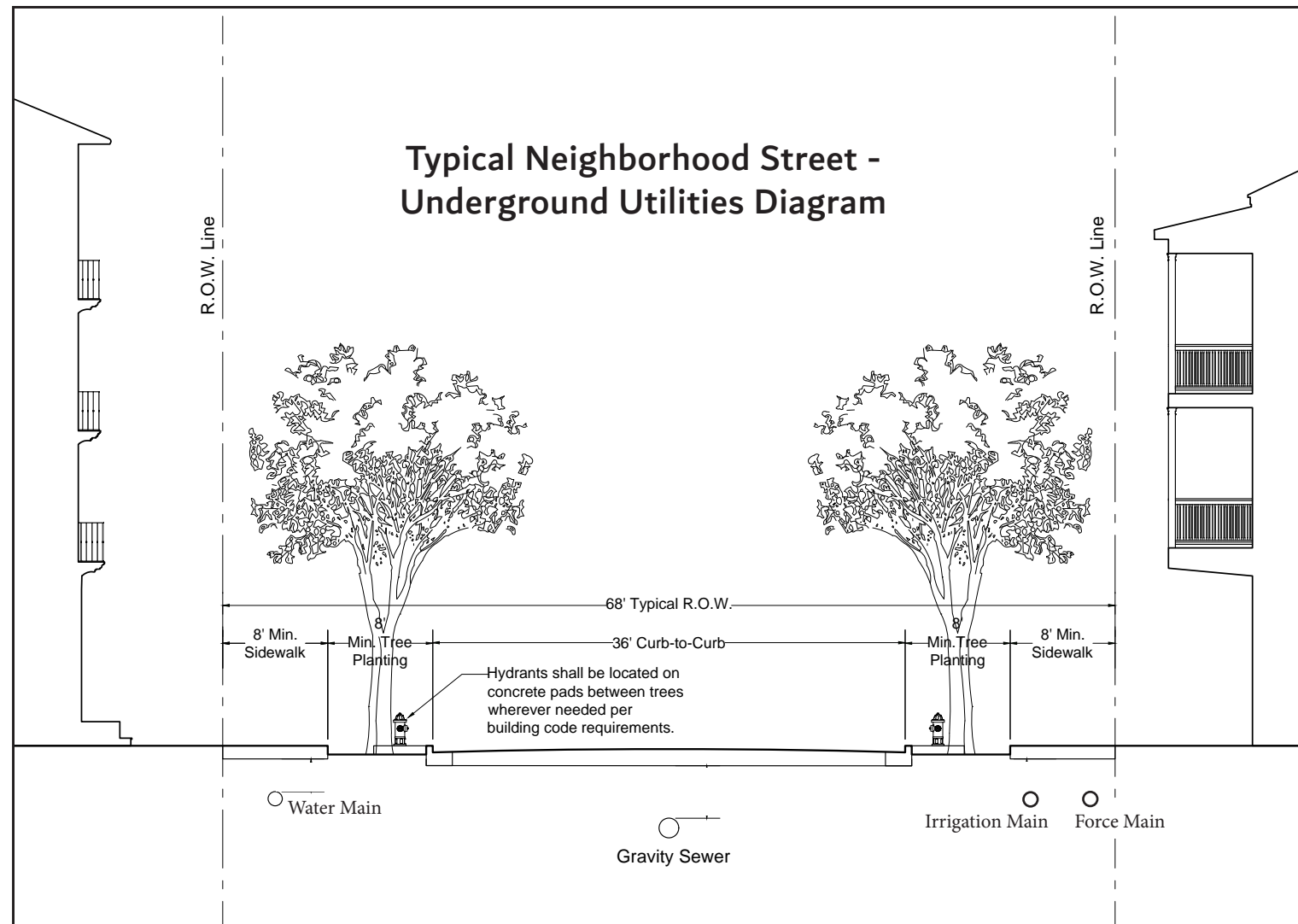


Figure 8: Internal Street Network Plan

■ TYPICAL STREET SECTIONS



Water and sewer utilities shall be located within the internal street rights-of-way. The diagram above depicts the location of utility lines on a typical neighborhood street with a 68' R.O.W. The exact location of underground utilities shall comply with all code requirements and will be further refined during engineering. This information shall be included in the Development Order Package.





■ TYPICAL STREET SECTIONS







S.9 One-Way Street

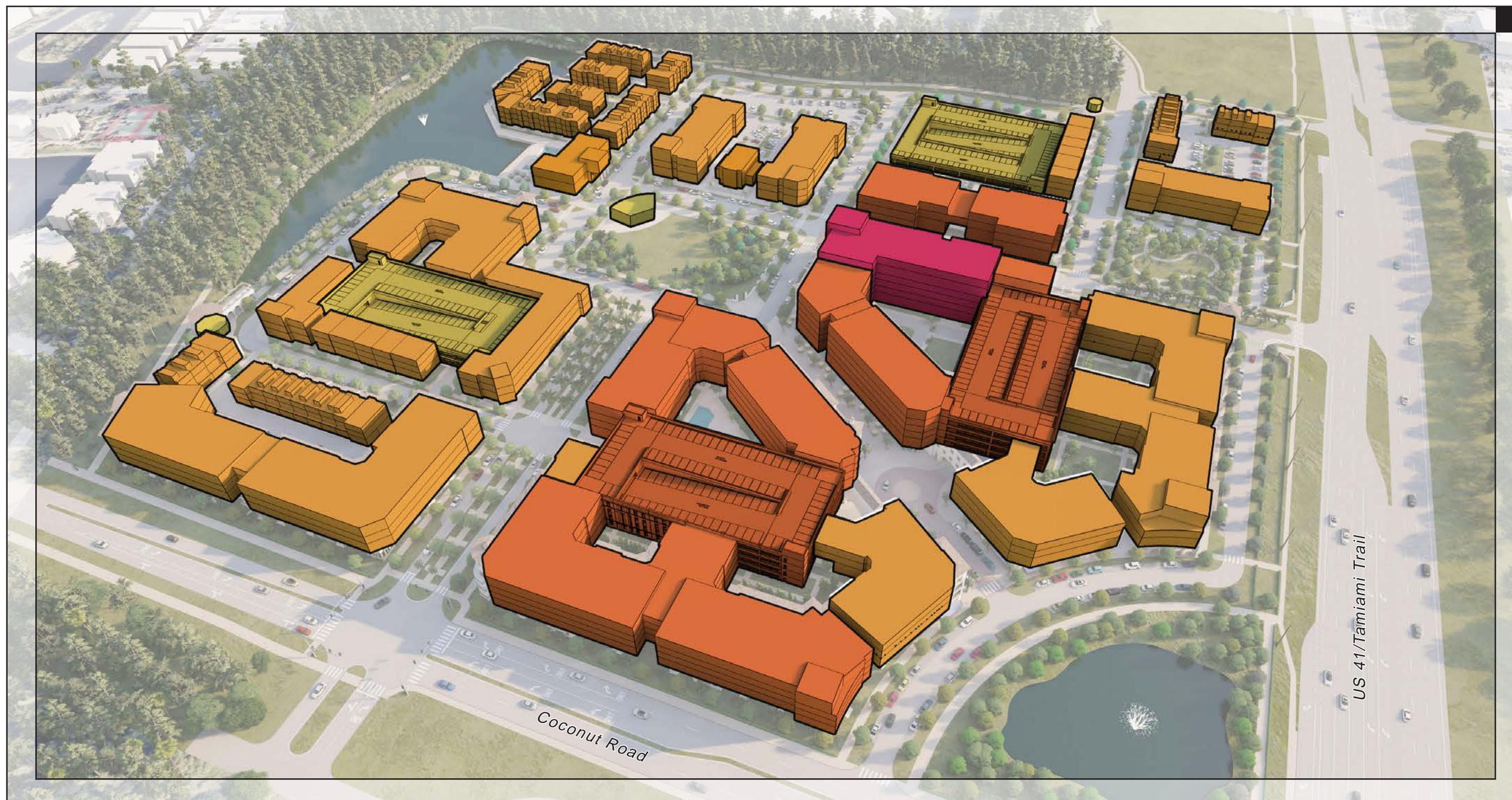


Figure 9: Aerial View with Building Heights (Looking Northwest)

BUILDING HEIGHT

This diagram illustrates the maximum building heights in the project by block, measured from the street-grade to the top of the parapet for flat roofs or the midpoint of pitched roofs. The buildings in the project are typically between three to four stories in height and all except a portion of the landmark hotel, which complies with the 70-foot height limit for Tier 3 Village Center projects.

Exceptions to this height limit exist for special architectural features such as chimneys, turrets, cupolas, and finials, provided they do not exceed 20% of the total roof area and 15 feet in height beyond the maximum building height.

Building Heights

- Under 35'
- 35' - 45'
- 45' - 60'
- 60' - 70'

Note: These heights do not include exceptions for special architectural features and mechanical equipment up to 15' above the maximum building height.



Rendering of the Landmark Hotel Tower from the northeast corner of the Central Green looking south.






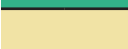
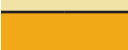



Figure 10: Aerial View with Development Program (Looking Northwest)

DEVELOPMENT PROGRAM

This diagram illustrates the proposed development program for the neighborhood. The project includes 596 residential units, resulting in a gross density of 13 du/a, as well as 324,400 square feet of commercial, office, and hotel uses and a 3,000 square-foot civic building including adjacent restrooms with public access, which can host public and private events.

While the locations for special building types, including the civic building, the hotel, and the mixed-use office building, as well as the locations for retail and dining on the ground floor, should generally remain where they have been illustrated, it is possible that other building uses such as residential amenity space and townhouses may shift in the next phases of design development.

DEVELOPMENT PROGRAM		
LAND USE		GROSS FLOOR AREA/UNITS
	Medical Office	20,000 sq. ft.
	Office	22,000 sq. ft.
	Retail/Dining ¹	82,000 sq. ft.
	Civic	3,000 sq. ft.
	Hotel (260 keys)	200,000 sq. ft.
	Multifamily	538 units
	Townhouse	58 units
	Residential Amenity	28,000 sq. ft.
Total Residential		596 units
Total Commercial/Office ²		324,000 sq. ft.
Total Civic ³		3,000 sq. ft.

¹ Diagonal hatch is used to denote ground floor retail/dining in the plan diagram on the right, while the magenta color denotes retail/dinng in the perspective diagram on page 20 (left)

² Includes hotel gross floor area

³ Does not include outdoor stage/pavilion in the Central Green, nor other outdoor civic amenities

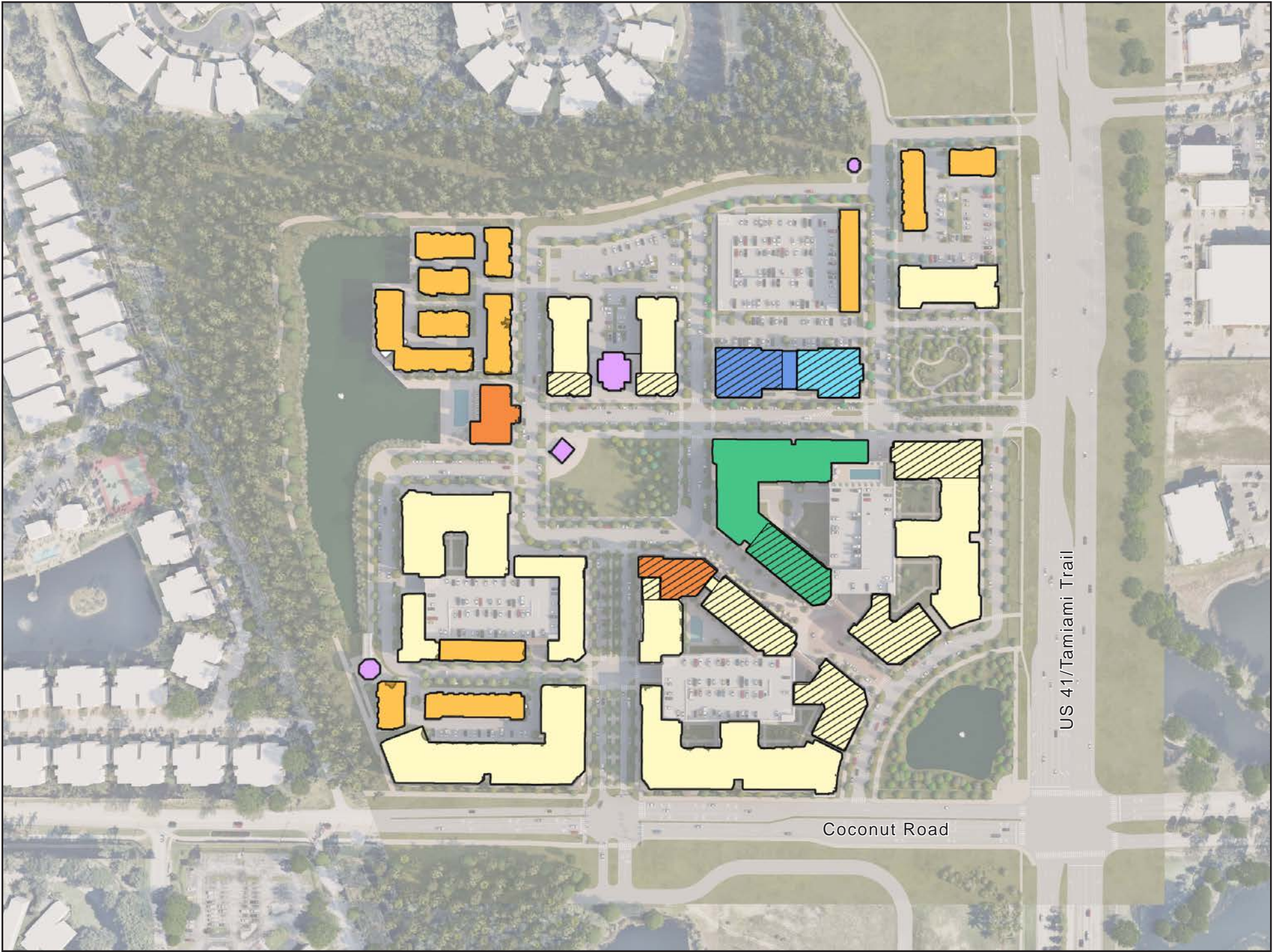


Figure 11: Development Program Plan

■ CONCEPTUAL PHASING

The following table and image series illustrate an idealized conceptual phasing for how the property will likely be constructed by Woodfield Development and their partners over time.

	Phase 1	Phase 2	Phase 3	Phase 4	Total
Conceptual Development Program					
Medical Office	-	20,000 sq. ft.	-	-	20,000 sq. ft.
Office	-	22,000 sq. ft.	-	-	22,000 sq. ft.
Retail/Dining	56,000 sq. ft.	21,000 sq. ft.	5,000 sq. ft.	-	82,000 sq. ft.
Civic*	-	-	3,000 sq. ft.	-	3,000 sq. ft.
Hotel (260 keys)	200,000 sq. ft.	-	-	-	200,000 sq. ft.
Multifamily	274 units	52 units	30 units	182 units	538 units
Townhouse	-	11 units	35 units	12 units	58 units
Residential Amenity	15,000 sq. ft.	-	13,000 sq. ft.	-	28,000 sq. ft.
Total Residential	274 units	63 units	65 units	194 units	596 units
Total Commercial/Office	256,000 sq. ft.	63,000 sq. ft.	5,000 sq. ft.	-	324,000 sq. ft.
Total Civic	-	-	3,000 sq. ft.	-	3,000 sq. ft.
Parking					
Structured Garage(s)	3	1	-	-	4
Total Spaces	1,300	1,640 (340 added)	1,770 (130 added)	1,872 (102 added)	1,872

¹ Includes hotel gross floor area

² Does not include outdoor stage/pavilion in the Central Green, nor other outdoor civic amenities



QUADRANT 1

In Quadrant 1, the complete network of blocks, streets, and public spaces will be completed, including both retention lakes, the Central Green, the Neighborhood Park, the Rambla Street, and the Restaurant Row paseo. Additionally, three parking garages and all of the site's above and below ground infrastructure will be constructed in this quadrant.

In terms of development, all of the buildings in the southeastern quadrant of the property will be completed, including a 260-key hotel, a large proportion of the ground floor retail and dining space of the entire project, and 274 apartment units.

Land Use	Gross Area/ Units
Medical Office	-
Office	-
Retail/Dining	56,000 sq. ft.
Civic	-
Hotel	200,000 sq. ft.
Multifamily	274 units
Townhouse	-
Residential Amenity	15,000 sq. ft.
Total Parking	1,300 spaces



QUADRANT 2

In Quadrant 2, the northeastern quadrant will be developed, including the construction of rowhomes, a three-story apartment building, and a mixed-use office building with ground floor retail and upper-level office and medical office. In this quadrant, the fourth and final parking garage will also be constructed. This single level deck will be lined along Lyden Drive with stacked flats that are designed as rowhomes to create a more inviting street into the project.

Land Use	Gross Area/ Units
Medical Office	20,000 sq. ft.
Office	22,000 sq. ft.
Retail/Dining	21,000 sq. ft.
Civic	-
Hotel	-
Multifamily	52 units
Townhouse	11 units
Residential Amenity	-
Total Parking	1,640 spaces

QUADRANT 3

Land Use	Gross Area/ Units
Medical Office	-
Office	-
Retail/Dining	5,000 sq. ft.
Civic	3,000 sq. ft.
Hotel	-
Multifamily	30 units
Townhouse	35 units
Residential Amenity	13,000 sq. ft.
Total Parking	1,770 spaces

In Quadrant 3, a 3,000 square-foot civic building that terminates the view of the Rambla Street, shall be constructed on the north end of the Central Green. This building will serve as a community gathering and event space with outdoor plazas between that central building and mixed-use apartment buildings on either side. This quadrant also includes the development of rowhomes and a residential clubhouse along the Western Lake in the northwest quadrant of the site.



QUADRANT 4

Land Use	Gross Area/ Units
Medical Office	-
Office	-
Retail/Dining	-
Civic	-
Hotel	-
Multifamily	182 units
Townhouse	12 units
Residential Amenity	-
Total Parking	1,872 spaces

In Quadrant 4 development will be exclusively residential and will include the construction of 12 townhouses, 182 apartments units, and stacked flats that line the southern edge of the parking garage that was built as a part of Quadrant 1.



■ KEY AREAS + ILLUSTRATIONS

This diagram illustrates some of the key buildings, streets, and public spaces that define the Woodfield Development project. On the following pages, there are a series of street level and aerial renderings, which help to explain each of these key areas in more detail and which also begin to establish the overall neighborhood character and architectural language of the project. These renderings serve both as an inspiration and a guide for future development partners to help bring this neighborhood to life as has been envisioned in this Pattern Book.



Figure 12: Aerial View with Key Areas Highlighted (Looking Northwest)



AERIAL ILLUSTRATIONS

Rambla Street Aerial View: At Walden Center Dr. and Coconut Rd. looking north



Overall Aerial View: On Coconut Rd. looking northeast



AERIAL ILLUSTRATIONS

Neighborhood Park Aerial View: On US 41 looking southwest



Central Green Aerial View: At the Civic Building site looking southwest



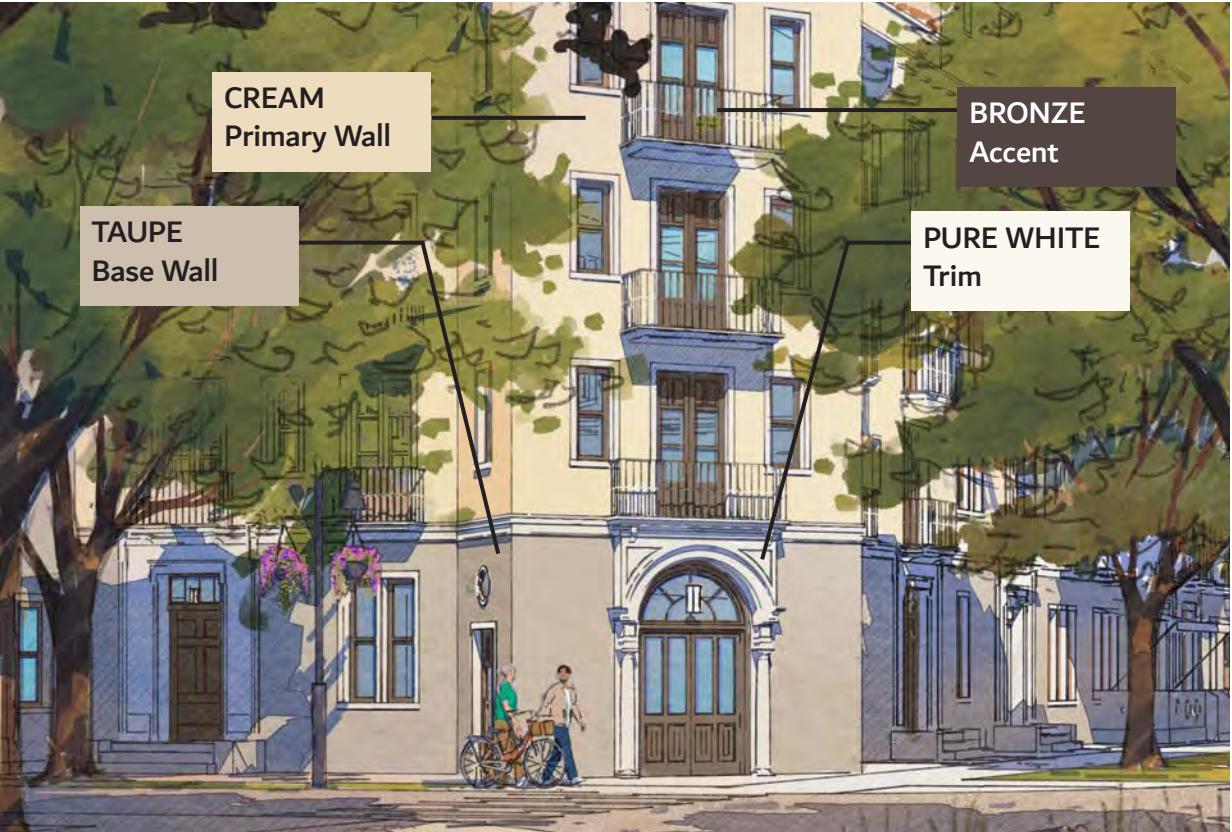
ILLUSTRATIONS

Western Lake + Townhouses View: Looking southeast from the Western Lake and preserve area

COLOR PALETTE

The following color palette shall guide the wall and trim paints for the project. These colors have been selected to match the Spanish Colonial Revival style and the architectural precedents shown on pages 32 and 33. Warm, natural tones with hints of limestone will set this project apart and create the timeless aesthetic that Spanish Colonial Architecture is known for.

Example of Color Selection on a Spanish Colonial Revival Building



SECONDARY WALL COLOR & ACCENT

- Smooth Stucco
- Appropriate for building base only
- Paired with Pure White Architectural Trims

PRIMARY WALL COLOR

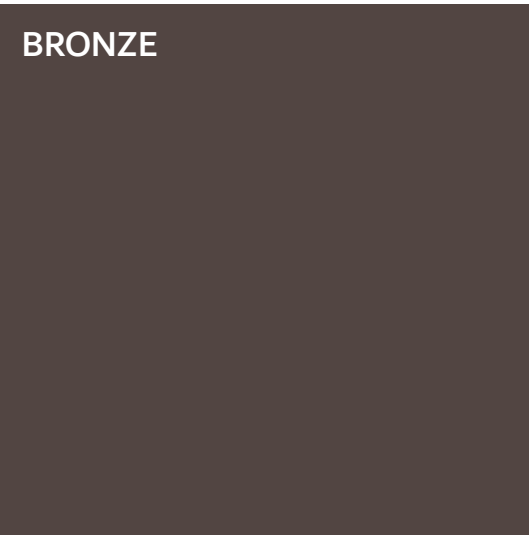
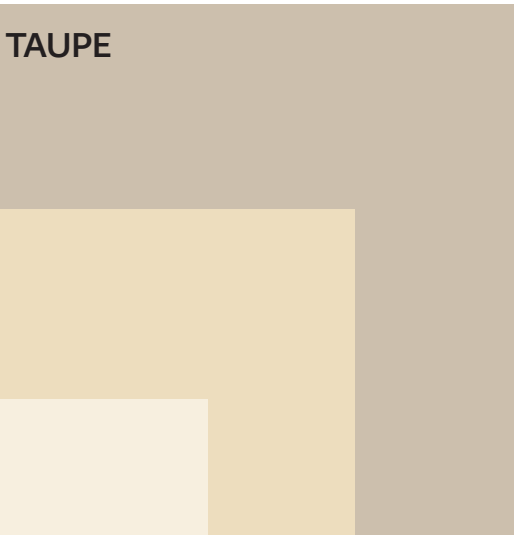
- Smooth Stucco
- Paired with Pure White or Taupe Architectural Trims

PRIMARY WALL COLOR

- Smooth Stucco
- Paired with Taupe, Pure White, and/or Limestone Architectural Trims

ACCENT COLOR

- Architectural Trim
- Columns & Niches



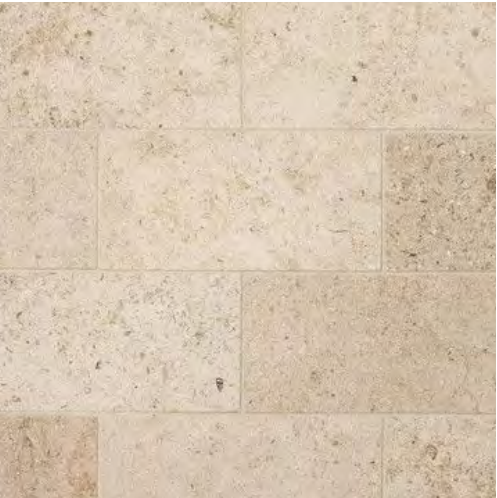
ACCENT COLOR

- Balcony Railings & Columns
- Corbels
- Window & Door Frames



STONE-FINISH TILE

- May include real stone and/or concrete, ceramic, and stucco applications with a stone finish
- Architectural Trim
- Columns & Niches
- Appropriate as a wall finish for building base/ground floor
- To be used for special buildings (civic building, hotel, club house, etc.)



CONCRETE BARREL TILE ROOF

- Blend of terracotta and taupe tones



■ ARCHITECTURAL STYLE PRECEDENTS

The architectural precedents studied for the conceptual design of this project are the Spanish Colonial Revival styles found in Palm Beach, Florida and Santa Barbara, California. These were selected for their enduring popularity and timeless elegance, both of which are achieved through their use of natural and local materials, muted color palettes, and simplified building forms and ornamentation.

Palm Beach & Mizner Mediterranean

Addison Mizner, one of the most famous American Architects of the early 20th century, is responsible for popularizing Spanish Colonial and Mediterranean Revival architecture in South Florida and is the father of Palm Beach's unique "Mizner Mediterranean" aesthetic.

Until his arrival in Palm Beach in 1918, the small resort town had more colorful wood versions of buildings found up the north. Realizing that this imported wooden, shingle-style resort architecture was inappropriate for the climate and threat of hurricanes in Florida, Mizner looked to the styles found in places like Guatemala and Spain, constructed with stone, tile, and stucco, to make a name for himself.

Mizner's designs feature elements like courtyards, lofty arcades and galleries, the loggia room (now known widely as a Florida Room), french doors, casement windows, barrel tile roofs, and decorative ironwork. While his work was clearly inspired by traditional Mediterranean, Spanish, and Moorish architecture, he pulled design

elements from many different styles. His most famous projects include the Everglades Club in Palm Beach, as well as a number of estate homes there, the Gulfstream Club in Delray Beach, and the Cloister in Boca Raton.

Santa Barbara Spanish Colonial

Spanish Colonial architecture kicked off in California thanks in part to the work of Bertram Goodhue for the Panama-California Expo in San Diego in 1916 and the work of famed architect George Washington Smith in Santa Barbara. Until the 1920s most Spanish architecture in California was based on the Mission style.

Today the City of Santa Barbara owes much of its charm to the Spanish Colonial Revival architecture it preserves and continues to foster. While the details of this architectural style can vary greatly depending on which period is referenced, in Santa Barbara it is the Andalusian vernacular and the Southern-Spanish farmhouse that have resulted in the signature simplicity and timelessness of the local Spanish Colonial Style.

Key elements in Santa Barbara's Spanish Colonial style are well-defined cubic volumes, patios, pergolas, verandas, plain washed walls, and exposed wood and tiling. Unlike other Mediterranean Revival styles found across South Florida that feature candy-colors and an excess of faux-ornamentation, Santa Barbara's iconic white and cream tone buildings, with their minimal ornamentation, have a simple sophistication that can withstand changing tastes and styles.



Via Mizner on Worth Avenue in Palm Beach, FL



Paseo Chapala Mixed-Use Development in Santa Barbara, CA



Hotel Californian (121 rooms) in Santa Barbara, CA



Renato's Restaurant Courtyard on Via Mizner in Palm Beach, FL



Santa Barbara County Courthouse in Santa Barbara, CA



Public Library in Calabasas, CA



Palm Beach Historic Inn (13-room Boutique Hotel) in Palm Beach, FL

SPANISH COLONIAL REVIVAL STYLE GUIDE

This section summarizes some of the key architectural elements that define the Spanish Colonial Revival architecture that is referenced in the Conceptual Master Plan for the Woodfield Development project. This information can be used to supplement the Architectural Styles and Characteristics found in the Village of Estero’s Land Development Code, Section 5-703.

Spanish Tile

The style is characterized by having red clay Spanish Tile roof tops that give buildings a warm, earthy, and rustic look. Most of the roof elements are low-pitched, most commonly gable, and have a short overhang or no overhang at all. Often, roof elements are multi-level to create hierarchy, complex massing, and asymmetry.

Wrought Iron Work

Finely crafted, ornamental wrought iron work is usually included in exterior elements such as stairs, balcony railings, gates, window grilles, and lanterns. Also, wooden doors, columns, lintels, beams, and gates often feature iron details that can be decorative or function as part of the overall assembly and structure.

Stucco Exterior Finishes

Exterior walls are usually undecorated, white or tan, and may include terracotta foundations. Exterior elements are covered with either rough or smooth textured stucco.

Paneled Doors and Windows

The style also contains multi-pane, wooden windows and doors. Grilled, casement windows

are also typical. Focal windows with surrounding elaboration are also common and focal elements are usually located in places that accentuate facades for asymmetry.

Decorative Vents and Rondels

Simple decorative elements may adorn the exterior, including objects such as tower-like chimneys, stucco vents, rondels, multicolored tile accents, arched niches, etc. No detail is too small. Many, if not all, functional chimneys are given special treatment with moldings, little windows, or decorative caps, often using the same tile from the roof. Chimneys are typically located on the front or side façades and may have ledges.

Arcades

A series of arches, as part of the walls or supported by columns, may surround the entry way or an outdoor space. This architectural feature shelters walkways or patios. Arcades may includes impressive woodwork above and can serve as gathering spaces.

Exterior Spaces

Balconies are frequently incorporated, which are designed so that one could step out from a room to enjoy the fresh air and views. Also, balconies and terraces add to the asymmetry of the building design. Moreover, courtyards and patios encourage outdoor living.



Exterior elements are covered with roughly textured stucco



Multi-pane, wooden windows and doors



Finely crafted, ornamental wrought iron work



Roof elements are multi-level, asymmetrical



Figure 13: Examples of Spanish Colonial Architectural Detailing - Civic and Residential Types

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