



www.Estero-fl.gov

COVID-19 NOTICE:

The January 13, 2021, 5:30 p.m., Design Review Board Meeting will be conducted physically in Council Chambers at Village Hall, 9401 Corkscrew Palms Circle, with an opportunity to participate virtually. The meeting will be broadcast live via the Village of Estero website link: <https://estero-fl.gov/council/watch-meetings-online/>. Access in Council Chambers will be limited in order to comply with the safety instructions relating to COVID-19. Please see pages 2 of this agenda for further information and instructions for public participation.

AGENDA

DESIGN REVIEW BOARD MEETING

9401 Corkscrew Palms Circle, Estero, Florida

January 13, 2021

5:30 p.m.

Design Review Board: Chairman - Barry Jones; Vice Chairman - Michael Sheeley; William Glass; Barry Freedman, Kristin Jeannin and Jim Wallace

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

4. APPROVAL OF AGENDA

5. BUSINESS

Items on the agenda are generally treated in sequential order, and due to the length of the agenda any or all of the items listed for discussion may be rescheduled to a later date for consideration. **The public will have an opportunity to speak during each agenda item; each individual has one opportunity to speak for five minutes per agenda item.**

(a) Public Information Meetings

- (1) Estero Country Club Expansion (LDO 2020-E042) (District 3)
19504 Vintage Trace Circle, located in The Vines, north of Estero Parkway and east of US 41.

- Applicant is seeking; a 2,169 square foot expansion of the existing clubhouse, to construct 2 new bocce ball courts, replace the temporary pickle ball courts with permanent courts and to modify the parking and landscaping in the area.

- Public Information Meeting was held August 26, 2020

(2) Clean Machine Car Wash (District 3)

Located on the east side of US 41 at the intersection of US 41 and Vintage Parkway. The vacant parcel is approximately 200 feet north of Aldi Grocery Store and opposite Breckenridge Drive.

- Public Information Meeting was held August 12, 2020

- Applicant requests to construct a 3,610 square foot drive through car wash and associated infrastructure on a 1-acre vacant parcel.

(3) Corkscrew Crossing (DOS2020-E008) (District 7)

12840 Corkscrew Road located south of Corkscrew Road with the entrance directly opposite Wild Blue.

Corkscrew Crossing residential is a proposed community with 554 single family lots, clubhouse and recreational amenities.

The zoning was approved by Village Council on September 25, 2019.

6. PUBLIC INPUT (Each individual will be given five minutes to speak)

7. BOARD COMMUNICATIONS

- a. Next meeting January 27, 2021.

8. ADJOURNMENT

COVID-19 NOTICE:

To view and/or participate in the Design Review Board Meeting the following options are available:

- 1) View the meeting online, but not participate:

You may watch the meeting via the Village of Estero website link:

<https://estero-fl.gov/council/watch-meetings-online/>

- 2) View the meeting online as indicated above and provide public comment during the meeting by utilizing the eComment Card feature on the Village website: <https://estero-fl.gov/ecomment-cards/>
Please fill out all required information. Comments received during the agenda item being discussed will be read into the record.

- 3) The Council Chambers will be available for public comment, in accordance with social distancing orders. Participants are to wear their own-supplied mask.

For additional information or for special assistance prior to the meeting, please contact Carol Sacco, Executive Assistant, sacco@estero-fl.gov or 239-221-5035.

If you desire to address the Board, please complete a Public Comment Card and return it to the Village Clerk. Citizens desiring to speak must step up to the podium, state their full name and address and/or whom he or she represents.

ADA Assistance – Anyone needing special assistance at the Board meeting due to a disability or physical impairment should contact Executive Assistant, Carol Sacco 239-221-5035, at least 48 hours prior to the meeting.

Pursuant to Section 286.0105, Florida Statutes:

“If a person decides to appeal any decision made by the board, agency, or commission with respect to any matter considered at such meeting or hearing, he or she will need a recording of the proceeding, and that, for such purpose, he or she may need to ensure that a verbatim recording of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.”



**APPLICATION REQUEST FOR DESIGN REVIEW BOARD PUBLIC
INFORMATIONAL MEETING
IN THE VILLAGE OF ESTERO
[LDC Section 33-54]**

REQUEST IS FOR: Public Informational Meeting pursuant to LDC Section 33-54 (a) & (b)

- 1. Applicant: J.R. Evans Engineering, P.A.
- 2. Project Name: The Vines Country Club Expansion
- 3. Address: 19501 Vintage Trace Circle, Estero FL 33967
- 4. Strap Number: 21-46-25-E1-0100C.0000
- 5. Application Number: LDO2020-E042

6. Type of Application (check appropriate type(s)):
- | | |
|--|---|
| <input type="checkbox"/> Monument Sign | <input checked="" type="checkbox"/> Development Order |
| <input checked="" type="checkbox"/> Limited Review Development Order | <input checked="" type="checkbox"/> Landscaping & Buffers |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Other _____ (Specify) |

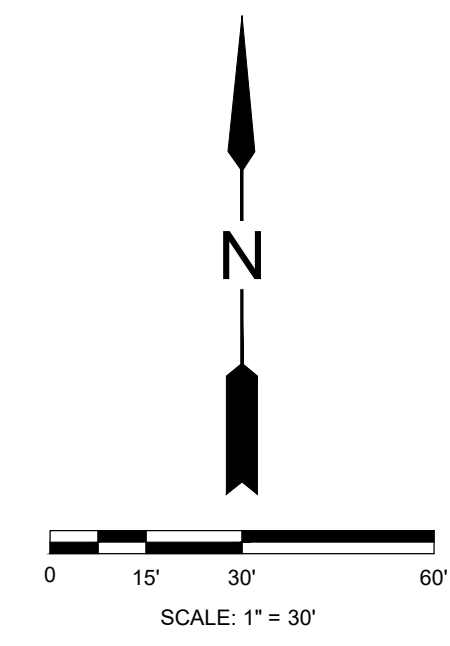
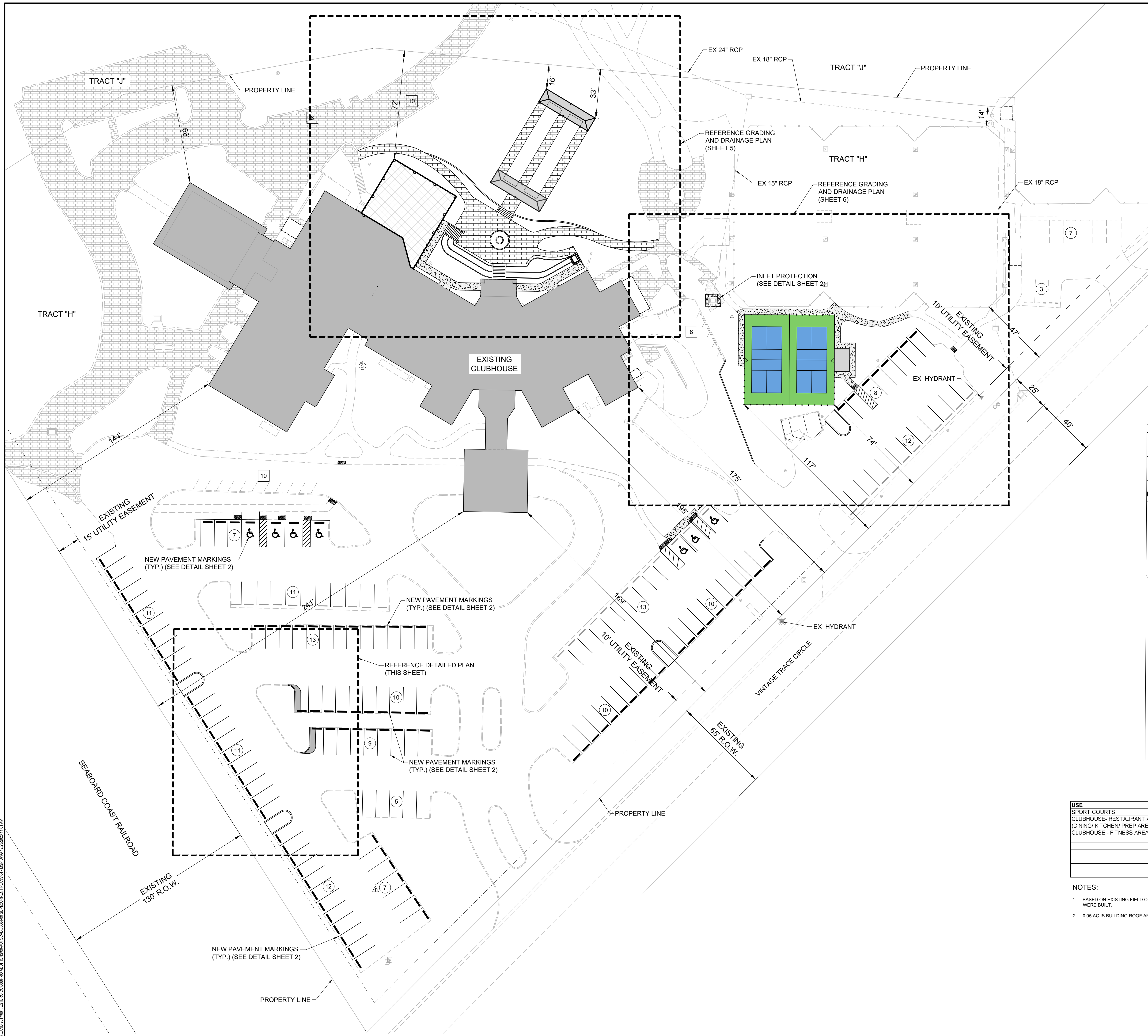
7. Project Description. (Brief description of project and reason for application.)

Project is proposing a clubhouse expansion, 2 new bocce ball courts, 2 pickleball courts that will replace the temporary pickleball courts, and associated site improvements including parking and landscape.

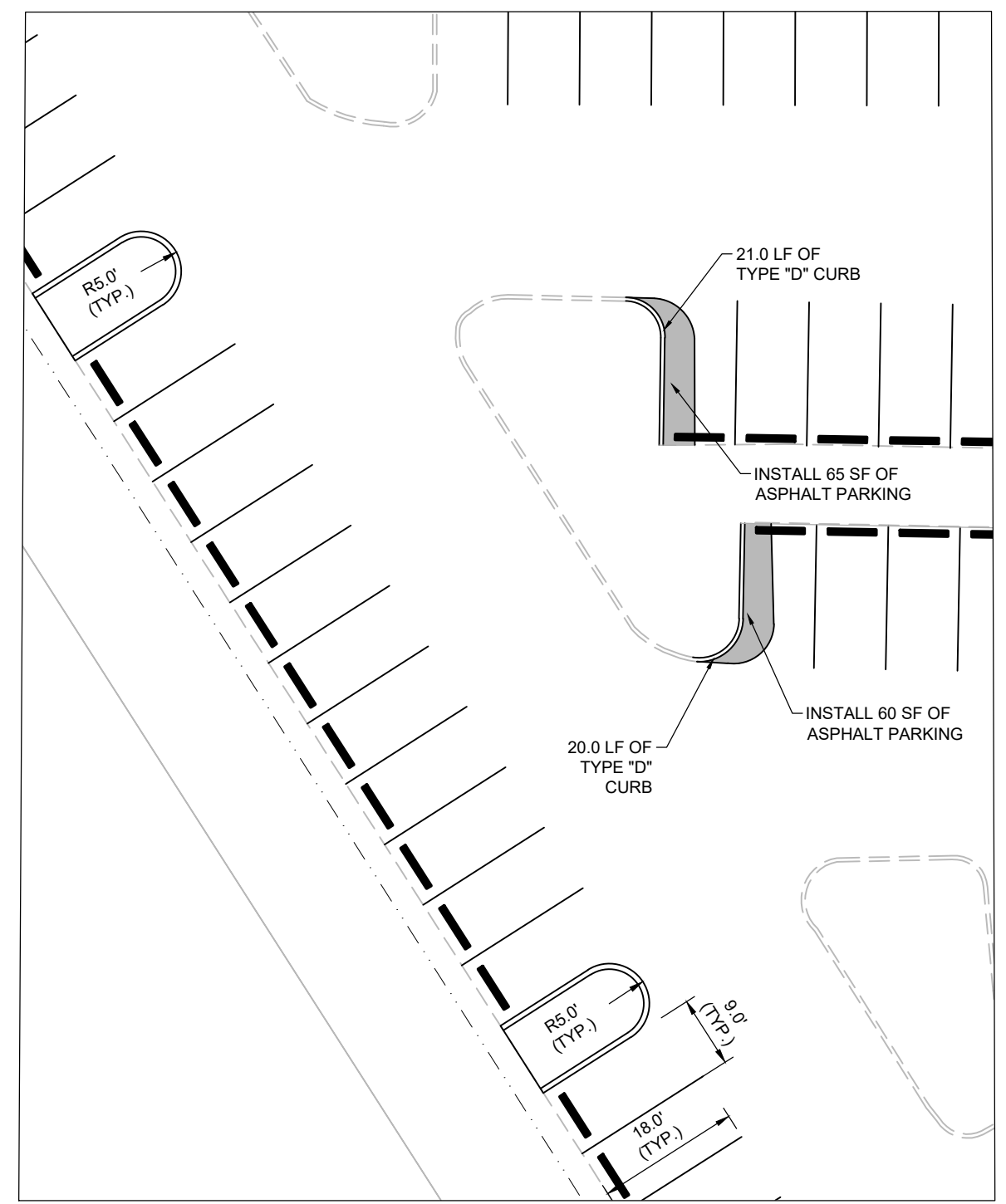
8. Application shall be accompanied by an electronic copy of the detail plans, illustrating the scope of the project including all four (4) sides of the building, easements, and landscape plans. The plans shall define what is being requested and the existing conditions. Pursuant to Ordinance 15-01, plans and specifications are to be prepared by a registered architect or registered engineer.

Signature 

Date 12/23/2020



LEGEND	
[X]	GOLF CART PARKING COUNT
(X)	VEHICLE PARKING COUNT



NEW CURB AND ASPHALT DETAIL
SCALE: 1" = 20'

PARKING CALCULATIONS				
USE	BASIS FOR CALCULATION	QTY/AREA	SPACES REQUIRED	SPACES PROVIDED
SPORT COURTS	3 SPACES / COURT	9	27.0	
CLUBHOUSE- RESTAURANT AREA (DINING/ KITCHEN/ PREP AREA)	12.5 SPACES/1,000 SF	11,378	142.2	
CLUBHOUSE - FITNESS AREA	3.5 SPACES/ 1,000 SF	2,180	7.6	
		Total	178.9	
		REGULAR PARKING SPACES	177	
		10% OF REQUIRED CAN BE GOLF CART	18	
		REGULAR PARKING SPACES	159	159 (6 H.C. REQUIRED 7 H.C. PROVIDED)

- NOTES:
- BASED ON EXISTING FIELD CONDITIONS THE PROPOSED GOLF CART PARKING WAS NOT BUILT PER PLAN. ONLY PORTION OF THE IMPROVEMENTS WERE BUILT.
 - 0.05 AC IS BUILDING ROOF AND 0.15 AC IS IMPERVIOUS SURFACE

DATUM NOTE:
ALL ELEVATIONS REFERENCE NAVD88 VERTICAL DATUM.
APPROXIMATE CONVERSION FOR PROJECT AREA: NAVD88 + 1.18' = NGVD29
ANY DATUM CONVERSIONS SHOULD BE CONFIRMED BY A LICENSED SURVEYOR PRIOR TO USE.

ESTERO COUNTRY CLUB
AMENITY ADDITIONS AND SITE IMPROVEMENTS
MASTER SITE PLAN

#	DATE	REVISIONS	1ST SUBMITTAL (0118-XXXX)
1	12/22/20	REVISED PER VILLAGE OF ESTERO COMMENTS	

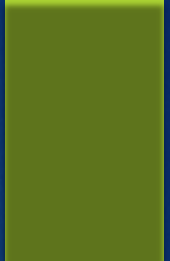
KRISTINA M. JOHNSON, P.E.
FL. LICENSE NO. 73793
FL. COA # 28226

PROJECT #: 00664-00
SHEET: 4

Estero Country Club

Design Review Board

January 14th 2021



Project Team:

Contractor:

Heatherwood Construction Company
Walter Crawford, LEED AP

Architect:

A Design Studio, LLC
Adrian Karapici, AIA

civil engineer:

J.R. Evans Engineering, P.A.
Kristina Johnson, PE

landscape architect:

Windham Studio, Inc.
Scott Windham, RA



Project Location

19501 Vintage Trace Circle, Estero, FL 33967



Existing Conditions Aerial



Applicant Request



Questions from DRB August 26th 2020

1. Will the existing pickleball area be re-striped for parking? → Yes
2. Will the courts be lit or have any lighting → No
3. Have you received complaints from any of the neighbors on noise from the existing pickleball courts? → No
4. Will there be any efforts made to buffer the noise from the courts? Are you proposing any noise mitigation equipment? → The Club will commit to using “green” paddles and balls. These are designed to help lessen the noise

Questions from drb August 26th 2020

5. Is there a wall or fence between the Del Lago community and the Estero Country Club Community? → Fence
6. Did you look at any alternate locations for the pickleball courts? → Yes we briefly looked at other locations around the clubhouse however the desire was to keep the tennis and pickleball courts in the same location. Please note the two (2) existing pickleball courts are in the same vicinity. Additionally the area on the north side of the clubhouse was recently remodeled with new golf cart parking, driving range area, and golf cart storage.
7. Did you consider replacing one (1) tennis court with two (2) pickleball courts? → Unfortunately it is not feasible for the club

questions?





**APPLICATION REQUEST FOR DESIGN REVIEW BOARD
PUBLIC INFORMATIONAL MEETING
IN THE VILLAGE OF ESTERO
[LDC Section 33-54]**

REQUEST IS FOR: Public Informational Meeting pursuant to LDC Section 33-54 (a) & (b)

- 1. Applicant: Vintage Corner 1.1 LLC, Colin Raskin
- Contact Information: Phone: 239-231-9682 Email: colin@cleanmachinecarwashes.com
- 2. Project Name: Clean Machine Car Wash
- 3. Address: Access Undetermined, Estero, FL 33967
- 4. Strap Number: 21-46-25-E4-0100E.0030
- 5. Application Number: N/A

6. Type of Application (check appropriate)
- | | |
|--|---|
| <input checked="" type="checkbox"/> Type(s)): Monument Sign | <input checked="" type="checkbox"/> Development Order |
| <input type="checkbox"/> Limited Review Development Order | <input checked="" type="checkbox"/> Landscaping & Buffers |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Other _____ |
- (Specify)

7. Project Description. (Brief description of project and reason for application.)

Construction of a 3,610 sf +/- drive-thru car wash, 1 story/45 ft, and associated infrastructure on a 1-acre parcel.

8. Application shall be accompanied by an electronic copy of the detail plans, illustrating the scope of the project including all four (4) sides of the building, easements, and landscape plans. The plans shall define what is being requested and the existing conditions. Pursuant to Ordinance 15-01, plans and specifications are to be prepared by a registered architect or registered engineer.

Megan Bishop

Signature

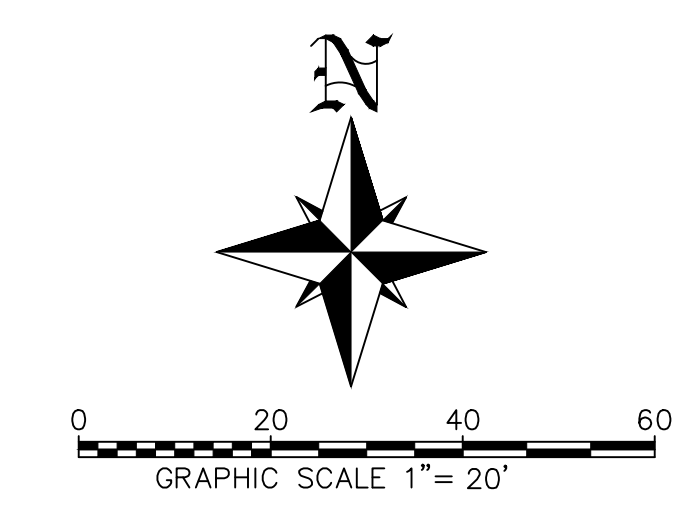
11/11/2020

Date

Print Name: _____

**THE VILLAGE OF ESTERO
DEPARTMENT OF COMMUNITY DEVELOPMENT
9401 Corkscrew Palms Circle**

Estero, Florida 33928
PHONE (239) 221-5036



S:\WORK\2020\ENGINEERING\8502\DWG 11/2/2020 8:21 AM NEW ORDALEZ

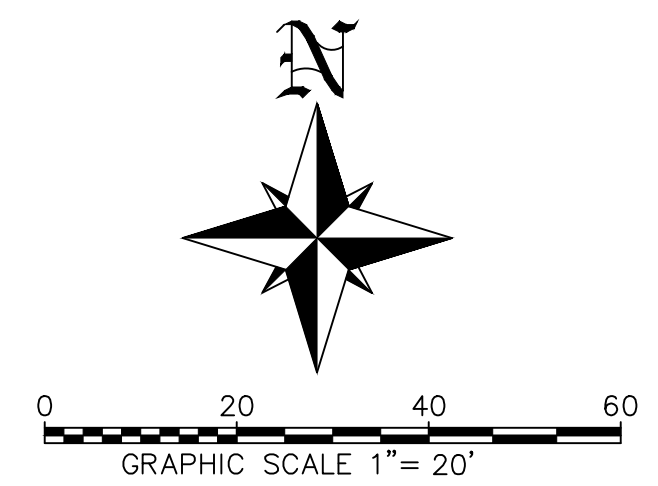
NO.	DATE	REVISION DESCRIPTION	BY

BANKS ENGINEERING
Professional Engineers, Planners, & Land Surveyors
Serving The State Of Florida

10511 SIX MILE CYPRESS PARKWAY
FORT MYERS, FLORIDA 33966
PHONE: (239) 939-5490 FAX: (239) 939-2523
ENGINEERING LICENSE # EB 6469
SURVEY LICENSE # LB 6690
WWW.BANKSENG.COM

D. BRENT ADDISON
P.E. LIC.#70611

PRELIMINARY SITE PLAN VINTAGE PARKWAY & US41 LEE COUNTY, FLORIDA							DATE	PROJECT	DRAWING	DESIGN	DRAWN	CHECKED	SCALE	SHEET
							03/20/2020	8502	AERIAL	-	-	DBA	1"=20'	1



S:\WORK\2020\ENGINEERING\8502\DWG 11/27/2020 2:49 PM AUPM 020423

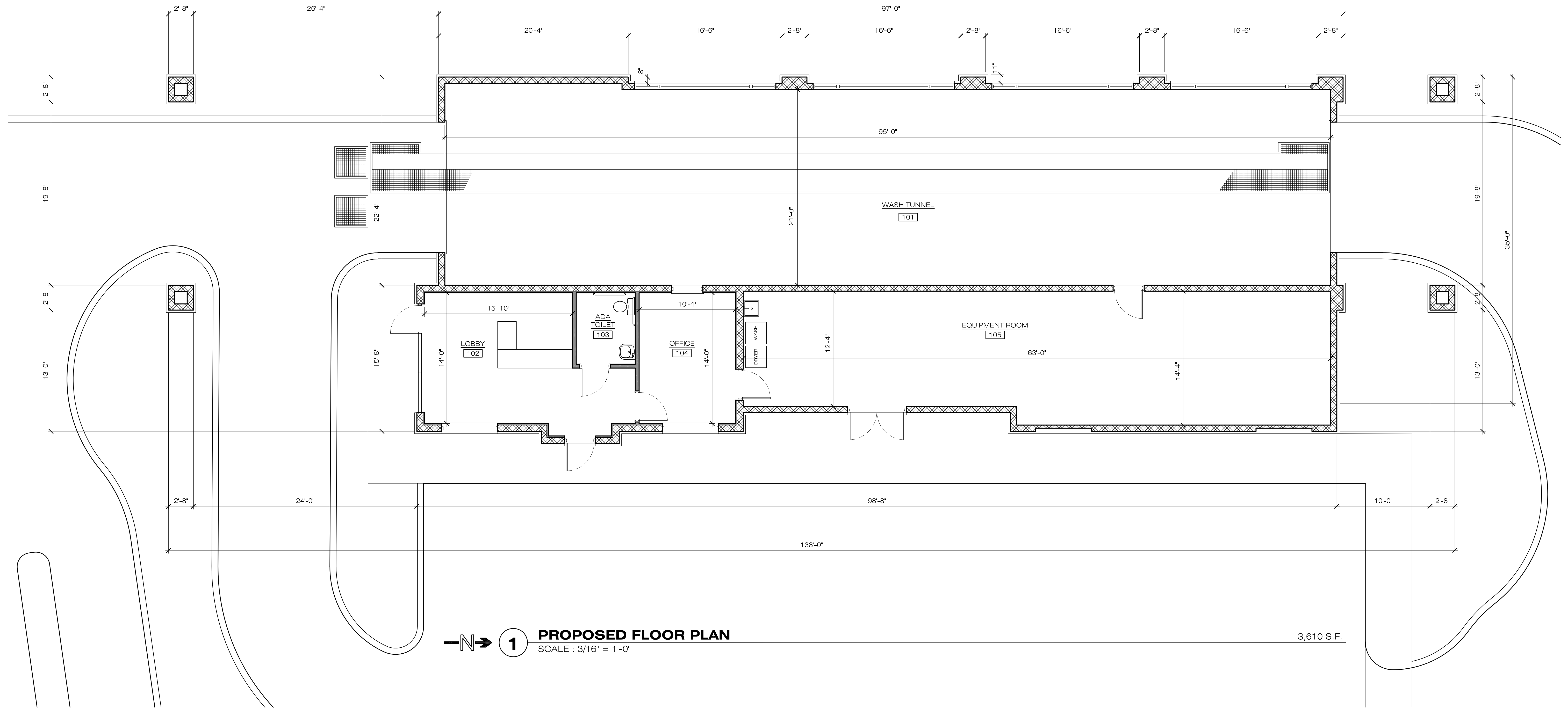
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SURVEY LICENSE # LB 6690
WWW.BANKSENG.COM

D. BRENT ADDISON
P.E. LIC.#70611

PRELIMINARY SITE PLAN VINTAGE PARKWAY & US41 LEE COUNTY, FLORIDA									
DATE	PROJECT	DRAWING	DESIGN	DRAWN	CHECKED	SCALE	SHEET		
03/20/2020	8502	AERIAL	-	-	DBA	1"=20'	1		




1 **PROPOSED FLOOR PLAN**
 SCALE : 3/16" = 1'-0"

3,610 S.F.



NORTH ELEVATION



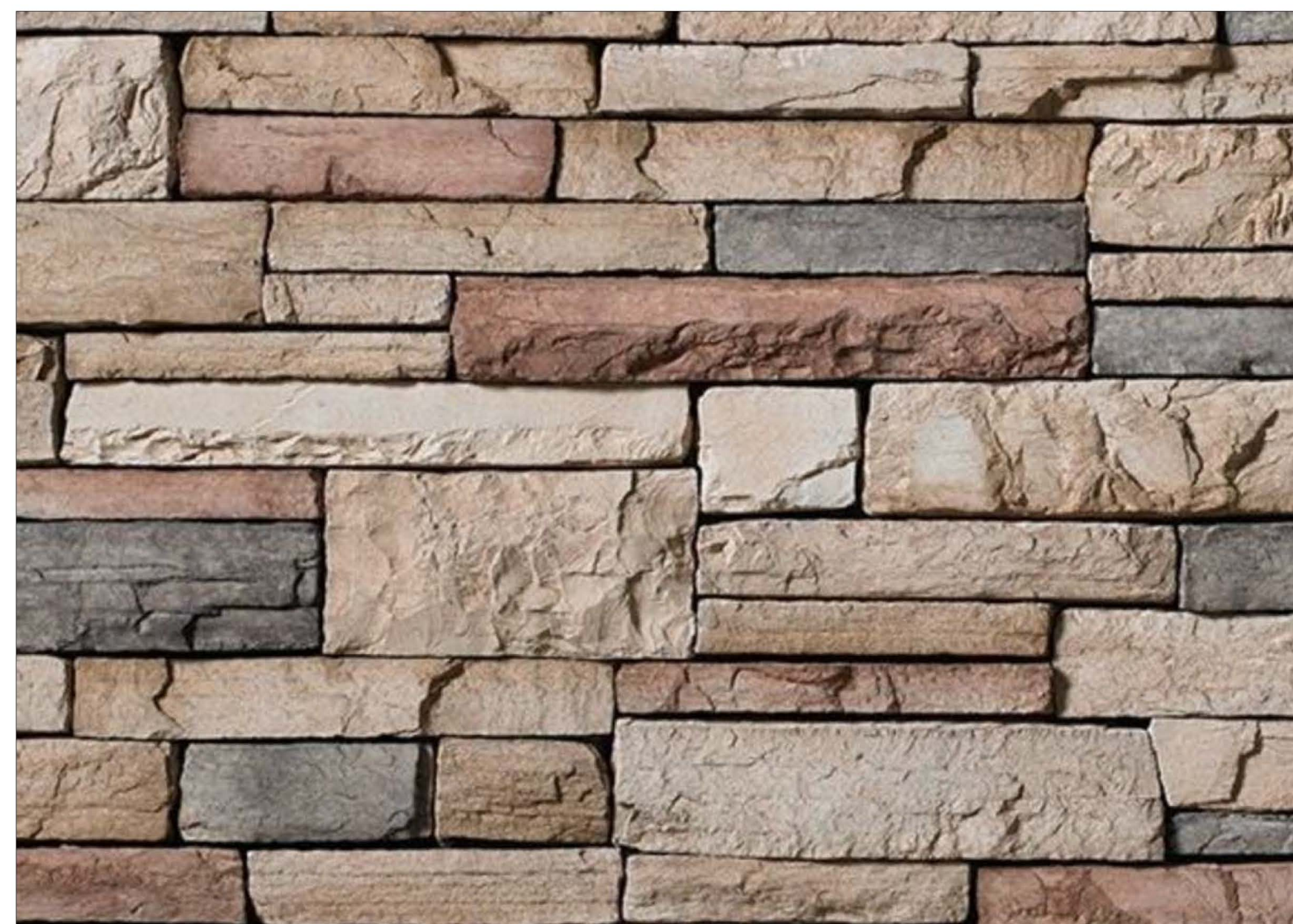
SOUTH ELEVATION





TRAVERTINE TILE
THIS SAMPLES MAY NOT REPRESENT
THE FINAL COLOR DEPENDING ON
THE MANUFACTURER OF THE STONE

STONE VENEER

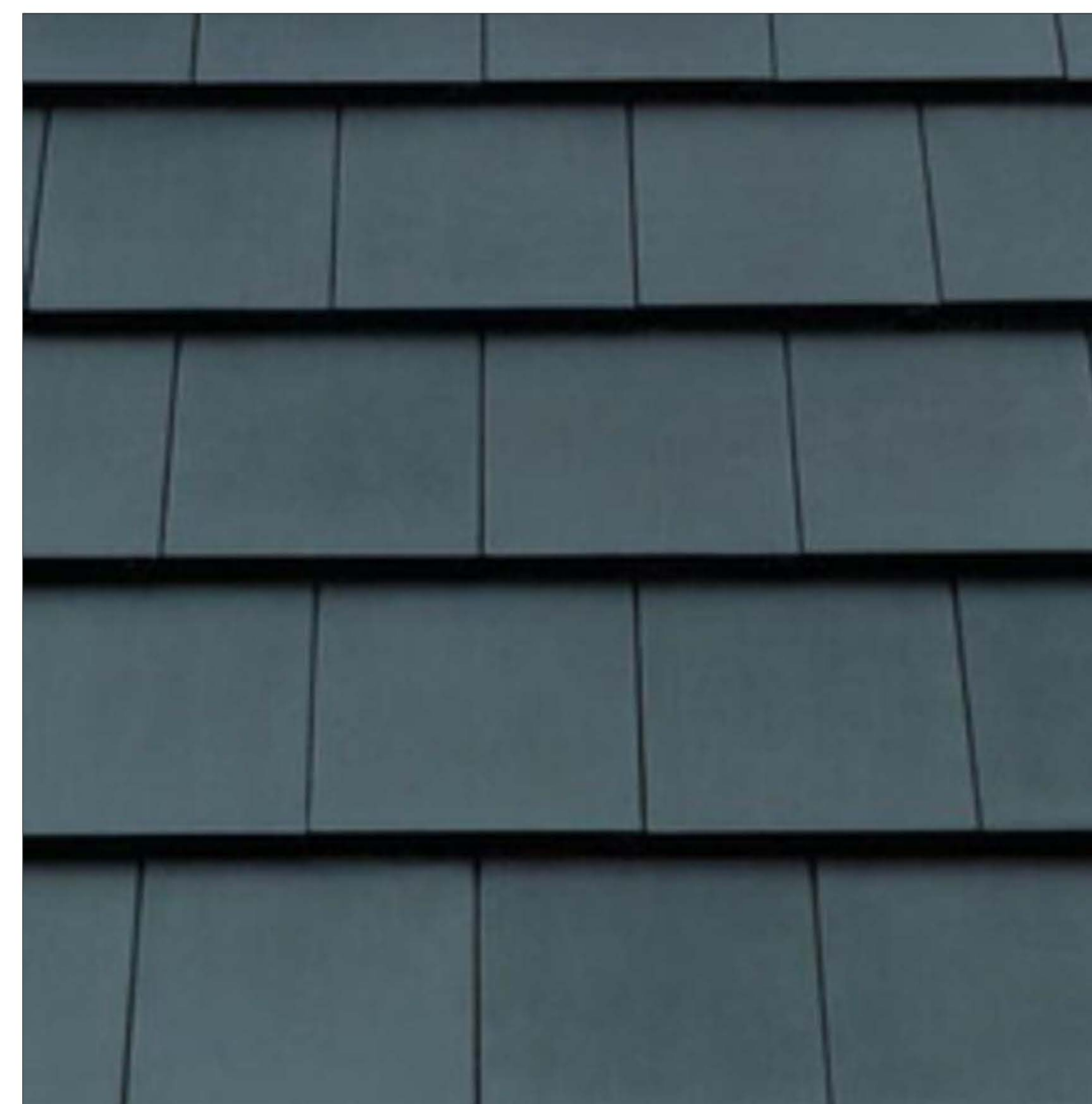


BORAL AMERICA, SERIES
"COUNTY LEDGESTONE MOJAVE"
THESE SAMPLES MAY NOT REPRESENT THE
FINAL COLOR DEPENDING ON THE
MANUFACTURER OF THE STONE

METAL ROOF FOR AWNING



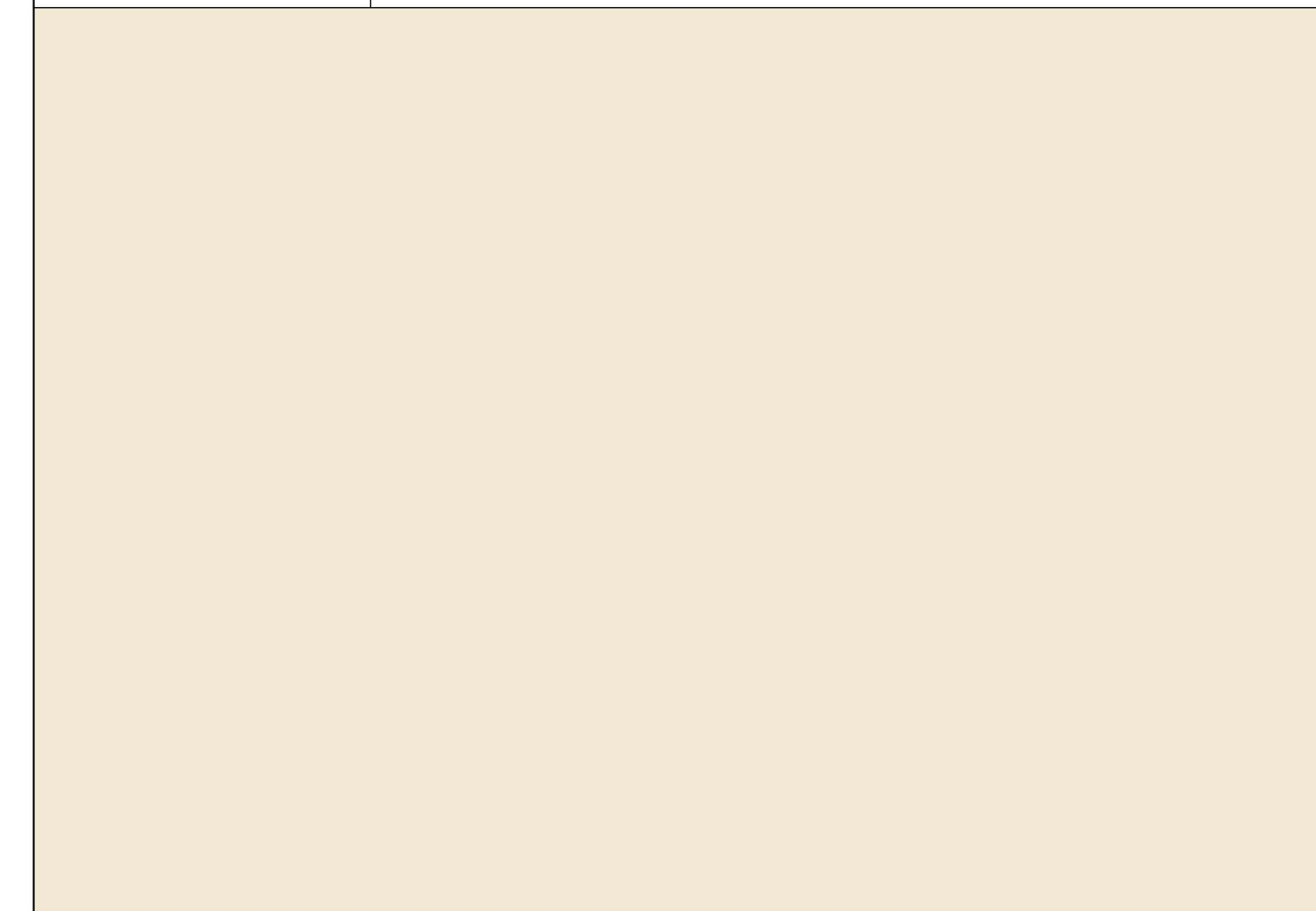
MAIN ROOF



THE ROOF WILL BE A FLAT CONCRETE
TILE WITH A CHARCOAL BLUE/GRAY
COLOR

COLOR 1

SHERWIN WILLIAMS
SW6378 "CRISP LINEN"



COLOR 2

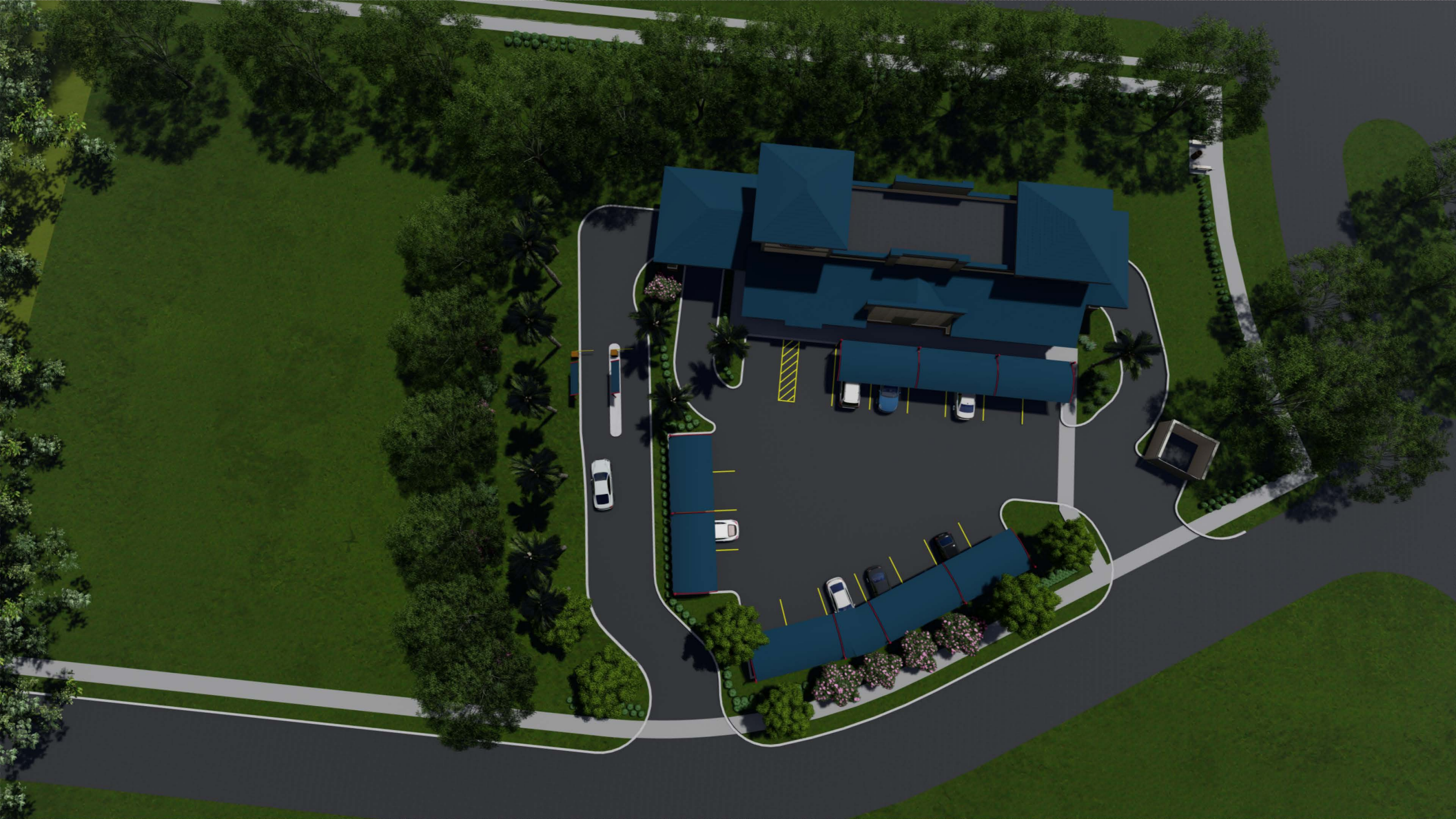
SHERWIN WILLIAMS
SW6199 "RARE GRAY"



CANOPY COLORS



COLORS & MATERIALS













Clean Machine
CARWASH

Clean Machine
CARWASH

Option #1



MANUFACTURE & INSTALL ONE (1) DOUBLE FACED, ILLUMINATED GROUND SIGN.

ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE SMOOTH. FACES TO BE ROUTED ALUMINUM WITH FACE ILLUMINATED CHANNEL LETTERS " CLEAN MACHINE" AND "CAR WASH". "FREE VACUUMS" COPY TO BE .5" PUSH THRU ACRYLIC LETTERS.

MOUNTING STRUCTURE/ ARCH. FEATURE - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE TEXTURED. CAP TO BE FABRICATED ALUMINUM WITH TEXTURED FINISH

TO BE ILLUMINATED USING WHITE (7000k) LED's.

BASE TO BE ALL ALUMINUM CONSTRUCTION WITH FAUX BRICK TO MATCH BUILDING (BY OTHERS). CAP AND BASE TO BE FABRICATED ALUM WITH TEXTURED FINISH. ADDRESS NUMBERS TO BE .25" NON ILLUMINATED FLAT CUT OUT DiBOND LETTERS.

PAINT COLOR SCHEDULE:

- A** METALLIC BLACK
- B** NA #301950 METALLIC SILVER
- C** NA #710600 METALLIC WINE

VINYL COLOR SCHEDULE:

- D** #8500 - 049 KING BLUE TRANSLUCENT



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70 - 11



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction

Max height is 24'-0" Max allowable Sq Ft is 1 Sq Ft per linear Ft of bldg frontage
 N.T.E. 200.0 Sq Ft. 75% To be sign copy, 25% to be Architectural detail. Sign
 base to be max 2'-0" in height. Sign width must be greater than sign height.

Sign is 8'-0" High Sign is utilizing 36.0 Sq Ft

CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:
 Ground Sign

PROJECT MANAGER:
 Elisha White

DESIGNER:
 MB

COMPANY:
 Clean Machine

DRAWING NUMBER:
 20-0653 01 B

INITIAL DRAWING DATE:
 11/3/2020

REVISION
 11/4 B

REVISION

REVISION

Rev B - Added roof to match bldg on ground sign Opt 2

CONTACT:

PHONE:

E-MAIL:

SCALE: 3/8" = 1'-0"

ADDRESS:
 Estero Fl

FILEPATH:

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SHEET 1 of 9

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

Option #2

MANUFACTURE & INSTALL ONE (1) DOUBLE FACED, ILLUMINATED GROUND SIGN.

MOUNTING AREA - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE TEXTURED. CABINETS TO BE ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE SMOOTH. FACES TO BE ROUTED ALUMINUM WITH FACE ILLUMINATED CHANNEL LETTERS " CLEAN MACHINE" AND "CAR WASH". "FREE VACUUMS" COPY TO BE .5" PUSH THRU ACRYLIC LETTERS.

TO BE ILLUMINATED USING WHITE (7000k) LED's.

COLUMNS TO BE ALUMINUM PIPE WITH FABRICATED ALUM.CAPS AND BASES, FINISH TO BE TEXTURED

ROOF - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE SMOOTH WITH TILE TO MATCH BLDG (BY OTHERS) CAP TO BE FABRICATED ALUMINUM WITH PVC SCONCES

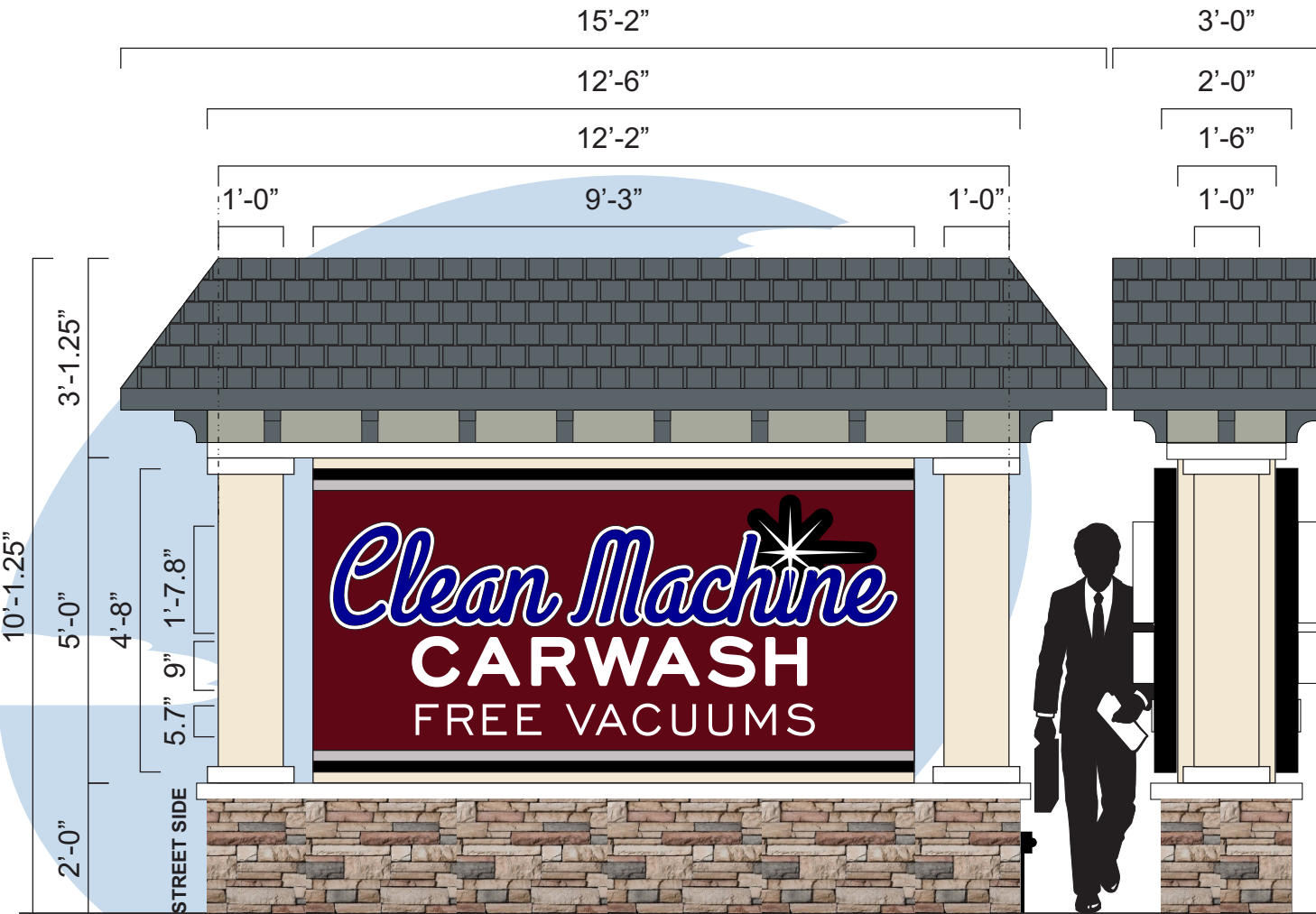
BASE TO BE ALL ALUMINUM CONSTRUCTION WITH FAUX BRICK TO MATCH BUILDING (BY OTHERS). CAP AND BASE TO BE FABRICATED ALUM WITH TEXTURED FINISH.

PAINT COLOR SCHEDULE:

- A** METALLIC BLACK
- B** NA #301950 METALLIC SILVER
- C** NA #710600 METALLIC WINE

VINYL COLOR SCHEDULE:

- D** #8500 - 049 KING BLUE TRANSLUCENT



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NFPA 70 - 11



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction

Max height is 24'-0" Max allowable Sq Ft is 1 Sq Ft per linear Ft of bldg frontage N.T.E. 200.0 Sq Ft. 75% To be sign copy, 25% to be Architectural detail. Sign base to be max 2'-0" in height. Sign width must be greater than sign height.

Sign is 8'-0" High Sign is utilizing 36.0 Sq Ft

CUSTOMER APPROVAL:

SIGNATURE _____ DATE _____

JOB DESCRIPTION:
Ground Sign Opt 2

PROJECT MANAGER: Elisha White
 DESIGNER: MB

COMPANY: Clean Machine	DRAWING NUMBER: 20-0653 02 B	INITIAL DRAWING DATE: 11/3/2020	REVISION 11/4 B	REVISION	REVISION	Rev B - Added roof to match bldg on ground sign Opt 2
CONTACT:	PHONE:	E-MAIL:	SCALE: 3/8" = 1'-0"			

ADDRESS: Estero FL FILEPATH: Z:\grfx\C Jobs\Clean Machine\Estero\20-0653_Package\Drawings\20-0653 01 B Clean Machine - Package.cdr SHEET 2 of 9

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18'-0"



7'-6"
1'-1.3"
3'-4"
1'-11"

PAINT COLOR SCHEDULE:

- A** METALLIC BLACK
- B** NA #301950 METALLIC SILVER
- C** NA #710600 METALLIC WINE

VINYL COLOR SCHEDULE:

- D** #8500 - 049 KING BLUE TRANSLUCENT

MANUFACTURE & INSTALL ONE (1) SINGLE FACED, ILLUMINATED WALL SIGN.

ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME. FACES TO BE ROUTED WITH .5" ACRYLIC PUSH THRU LETTERS "CARWASH" "CLEAN MACHINE" COPY TO BE 5" DEEP FACE ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO FACE OF CABINET. "STAR" TO BE ROUTED OUT OF FACES AND BACKED WITH PLEX.

TO BE ILLUMINATED USING WHITE (7000k) LED's.



3300 PALM AVENUE, FT. MYERS, FL 33901
PHONE: 239.278.4245
FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NFPA 70 - II



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:
Wall Sign

PROJECT MANAGER:
Elisha White

DESIGNER:
MB

COMPANY:
Clean Machine

DRAWING NUMBER:
20-0653 03 B

INITIAL DRAWING DATE:
11/3/2020

REVISION
11/4 B

REVISION

REVISION

Rev B - Added roof to match bldg on ground sign Opt 2

CONTACT:

PHONE:

E-MAIL:

SCALE: 1/4" = 1'-0"

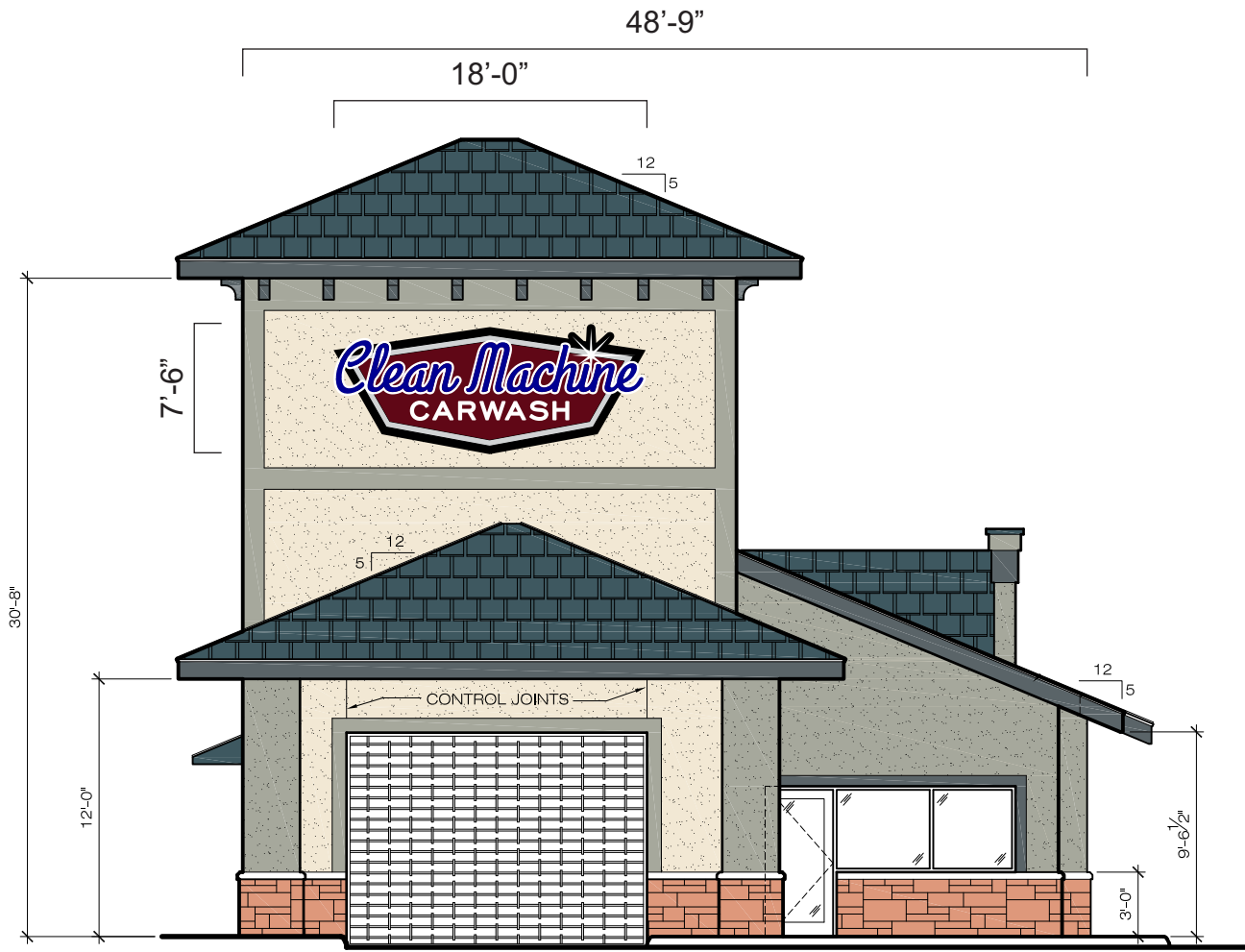
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Estero FI

FILEPATH:

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SHEET 3 of 9

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 PHONE: 239.278.4245
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ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70 - 11



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City of Estero Jurisdiction
 Max signage allowed is 10% of the total area of wall. N.T.E. 200.0 Sq Ft
 Sign is allowed 149.5 Sq Ft Sign is utilizing 135.0 Sq Ft

CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:
 Wall Sign

PROJECT MANAGER:
 Elisha White

DESIGNER:
 MB

COMPANY:
 Clean Machine

DRAWING NUMBER:
 20-0653 03 B

INITIAL DRAWING DATE:
 11/3/2020

REVISION
 11/4 B

REVISION

REVISION

Rev B - Added roof to match bldg on ground sign Opt 2

CONTACT:

PHONE:

E-MAIL:

SCALE: 3/32" = 1'-0"

ADDRESS:
 Estero FI

FILEPATH:

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SHEET 4 of 9

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

16'-0"



6'-8"
11.9"
2'-9.3"
1'-8.4"

PAINT COLOR SCHEDULE:

- A** METALLIC BLACK
- B** NA #301950 METALLIC SILVER
- C** NA #710600 METALLIC WINE

VINYL COLOR SCHEDULE:

- D** #8500 - 049 KING BLUE TRANSLUCENT

MANUFACTURE & INSTALL TWO (2) SINGLE FACED, ILLUMINATED WALL SIGNS.

ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME. FACES TO BE ROUTED WITH .5" ACRYLIC PUSH THRU LETTERS "CARWASH" "CLEAN MACHINE" COPY TO BE 5" DEEP FACE ILLUMINATED CHANNEL LETTERS MOUNTED FLUSH TO FACE OF CABINET. "STAR" TO BE ROUTED OUT OF FACES AND BACKED WITH PLEX.

TO BE ILLUMINATED USING WHITE (7000k) LED's.



3300 PALM AVENUE, FT. MYERS, FL 33901
PHONE: 239.278.4245
FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NFPA 70 - II



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:
Wall Sign 2

PROJECT MANAGER:
Elisha White

DESIGNER:
MB

COMPANY:
Clean Machine

DRAWING NUMBER:
20-0653 04 B

INITIAL DRAWING DATE:
11/3/2020

REVISION
11/4 B

REVISION

REVISION

Rev B - Added roof to match bldg on ground sign Opt 2

CONTACT:

PHONE:

E-MAIL:

SCALE: 1/4" = 1'-0"

ADDRESS:
Estero Fl

FILEPATH:

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SHEET 5 of 9

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

144'-2"

16'-0"



West Elevation



3300 PALM AVENUE, FT. MYERS, FL 33901
 PHONE: 239.278.4245
 FAX: 239.278.3912

**ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70 - 11**



This sign, including, but not limited to, all plastic or similar components thereof, has been designed in compliance with the 2017 Florida Building Code 6th Edition, 1609 Wind Loads, ASCE/SEI 7-10 Wind Loads, 3107, and NFPA 70-14

City of Estero Jurisdiction

Max signage allowed is 10% of the total area of wall. N.T.E. 200.0 Sq Ft

Sign is allowed 200.0 Sq Ft Sign is utilizing 106.7 Sq Ft

CUSTOMER APPROVAL:

SIGNATURE _____

DATE _____

JOB DESCRIPTION:
 Wall Sign 2

COMPANY:
 Clean Machine

DRAWING NUMBER:
 20-0653 04 B

INITIAL DRAWING DATE:
 11/3/2020

REVISION
 11/4 B

REVISION

REVISION

Rev B - Added roof to match bldg on ground sign Opt 2

PROJECT MANAGER:
 Elisha White

DESIGNER:
 MB

CONTACT:

PHONE:

E-MAIL:

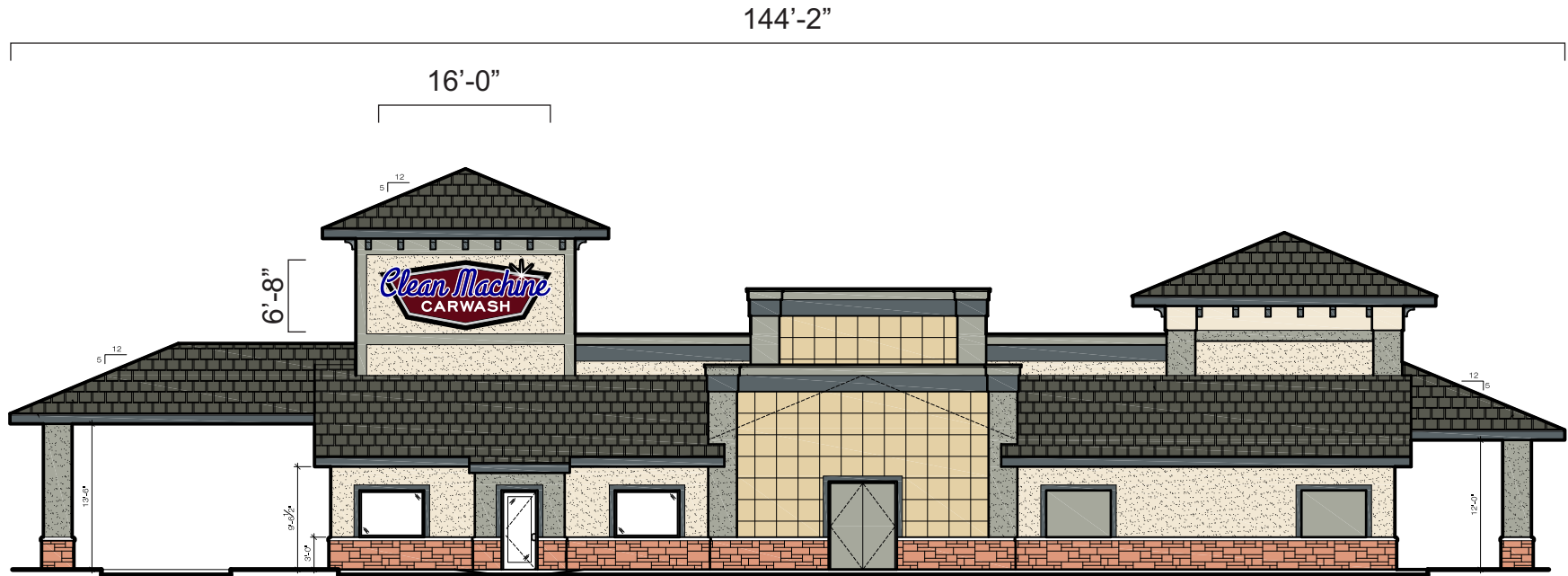
SCALE: 1/16" = 1'-0"

ADDRESS:
 Estero Fl

FILEPATH:
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SHEET 6 of 9

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 FAX: 239.278.3912

ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70 - 11



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City of Estero Jurisdiction
 Max signage allowed is 10% of the total area of wall. N.T.E. 200.0 Sq Ft
 Sign is allowed 200.0 Sq Ft Sign is utilizing 106.7 Sq Ft

CUSTOMER APPROVAL:

SIGNATURE _____

DATE _____

JOB DESCRIPTION:
 Wall Sign 2

PROJECT MANAGER:
 Elisha White

DESIGNER:
 MB

COMPANY:
 Clean Machine

DRAWING NUMBER:
 20-0653 04 B

INITIAL DRAWING DATE:
 11/3/2020

REVISION
 11/4 B

REVISION

REVISION

Rev B - Added roof to match bldg on ground sign Opt 2

CONTACT:

PHONE:

E-MAIL:

SCALE: 1/16" = 1'-0"

ADDRESS:
 Estero Fl

FILEPATH:

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SHEET 7 of 9

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TOTAL QUANTITY OF THREE (3) NON ILLUMINATED DIRECTIONAL SIGNS

EXACT LOCATION OF SIGNS ARE TO BE CONFIRMED

1. ONE (1) SINGLE SIDED SIGN - WITH ARROW POINTING RIGHT
2. TWO (2) DOUBLE SIDED SIGNS - (ARROWS SHOWN BELOW)

NOTE: CONFIRM ARROW DIRECTION PRIOR TO FABRICATION

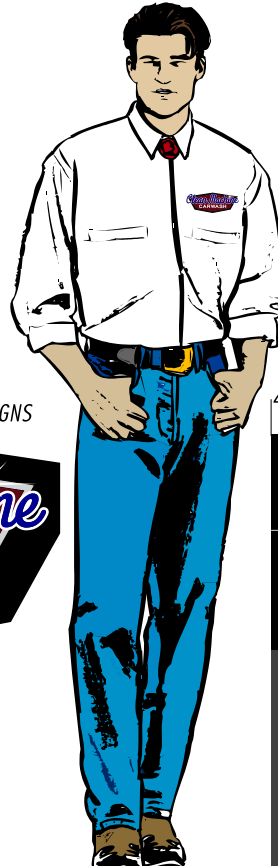
SIGN FACES: .090" THICK ROUTER CUT ALUMINUM
ALL WELDED TO 4" DEEP ALUMINUM RETURNS
POSTS, RETURNS & FACES PAINTED METALLIC BLACK
CLEAN MACHINE LOGO TO BE PAINT & VINYL

PAINT COLOR SCHEDULE:

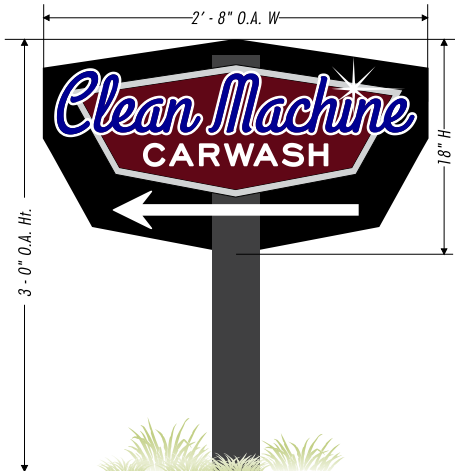
- A** METALLIC BLACK
- B** WHITE
- C** NA #301950 METALLIC SILVER
- D** NA #710600 METALLIC WINE

VINYL COLOR SCHEDULE:

- E** #651 - 049 KING BLUE OPAQUE



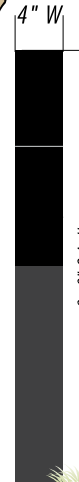
TOTAL QUANTITY OF TWO (2) DOUBLE SIDED SIGNS



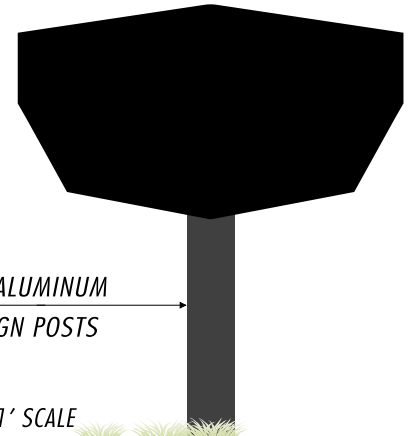
REVERSE SIDE OF DOUBLE SIDED SIGNS



TOTAL QUANTITY OF ONE (1) SINGLE SIDED SIGN



REVERSE SIDE OF SINGLE SIDED SIGN



4" x 4" ALUMINUM TUBE SIGN POSTS

3/4" = 1' SCALE



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ALL ELECTRICAL WORK TO BE DONE IN COMPLIANCE WITH NFPA 70 - 11



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CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:
Directionals

COMPANY:
Clean Machine

DRAWING NUMBER:
20-0653 05 B

INITIAL DRAWING DATE:
11/3/2020

REVISION
11/4 B

REVISION

REVISION

Rev B - Added roof to match bldg on ground sign Opt 2

PROJECT MANAGER:
Elisha White

DESIGNER:
MB

CONTACT:

PHONE:

E-MAIL:

SCALE: 3/4" = 1'-0"

ADDRESS:
Estero FI

FILEPATH:

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SHEET 8 of 9

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF LEE DESIGNS LLC AND IS NOT TO BE USED IN WHOLE OR PART BY ANY OTHER PARTIES WITHOUT WRITTEN PERMISSION BY LEE DESIGNS LLC DIMENSIONS AND COLORS MAY VARY SLIGHTLY DUE TO LIMITATIONS WITH FABRICATION MATERIALS

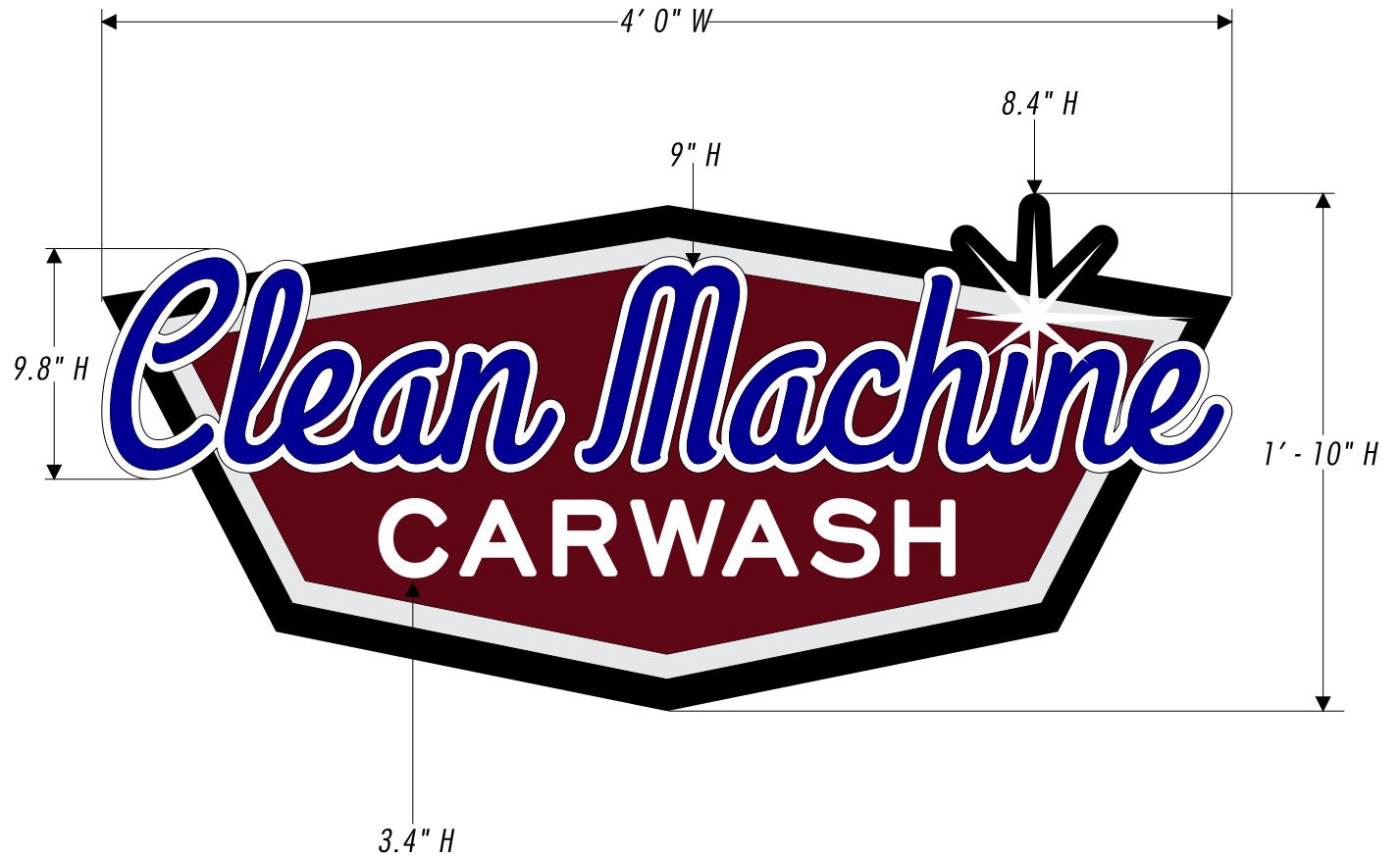
QUANTITY: TWO (2) SINGLE-SIDED
 INTERIOR WALL SIGN
 NON ILLUMINATED

BACKGROUND: 1/2" THICK WHITE PVC
 ROUTER CUT, PAINT COLORS TO MATCH
 EXISTING EXTERIOR WALL SIGN

"Clean Machine" LETTERS:
 1/4" THICK WHITE PVC, ROUTER CUT
 BLUE VINYL OVERLAY
 FLUSH MOUNTED TO BACKER

"CAR WASH" LETTERS:
 1/4" THICK WHITE PVC, ROUTER CUT
 FLUSH MOUNTED TO BACKER

"STAR": 1/4" THICK WHITE PVC, ROUTER CUT
 FLUSH MOUNTED TO BACKER
 INTERIOR SIGN TO BE MOUNTED TO LOBBY WALL



PAINT COLOR SCHEDULE:

- A** METALLIC BLACK
- B** NA #301950 METALLIC SILVER
- C** NA #710600 METALLIC WINE

VINYL COLOR SCHEDULE:

- D** #651 - 049 KING BLUE OPAQUE



3300 PALM AVENUE, FT. MYERS, FL 33901
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ALL ELECTRICAL WORK TO BE DONE
 IN COMPLIANCE WITH NFPA 70 - 11



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CUSTOMER APPROVAL:

SIGNATURE

DATE

JOB DESCRIPTION:
 Interior

PROJECT MANAGER:
 Elisha White

DESIGNER:
 MB

COMPANY:
 Clean Machine

DRAWING NUMBER:
 20-0653 06 B

INITIAL DRAWING DATE:
 11/3/2020

REVISION
 11/4 B

REVISION

REVISION

Rev B - Added roof to match bldg on ground sign Opt 2

CONTACT:

PHONE:

E-MAIL:

SCALE: 1.5" = 1'-0"

ADDRESS:
 Estero FI

FILEPATH:

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SHEET 9 of 9

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COCOPLUM



TRINETTE ARBICOLA



BOUGAINVILLEA SPP



CRINUM LILY



SIMPSON STOPPER



PITCH APPLE



MRS. SCHILLER'S DELIGHT VIBURNUM



WALTER'S VIBURNUM



MUHLY GRASS



GREEN ISLAND FICUS



GOLDEN CREEPER



SPARTINA / CORD GRASS

PRELIMINARY LISTING OF SHRUB SPECIES



**VILLAGE OF ESTERO
DESIGN REVIEW BOARD**

**PUBLIC INFORMATIONAL MEETING
JANUARY 13, 2021**

APPLICANT REPRESENTATIVES

Engineer:

D. Brent Addison, P.E.



Landscape
Architect:

Gregory J. Diserio, RLA



Architect:

Stephen Seaton, AIA



Traffic
Engineer:

Jim Banks, P.E.

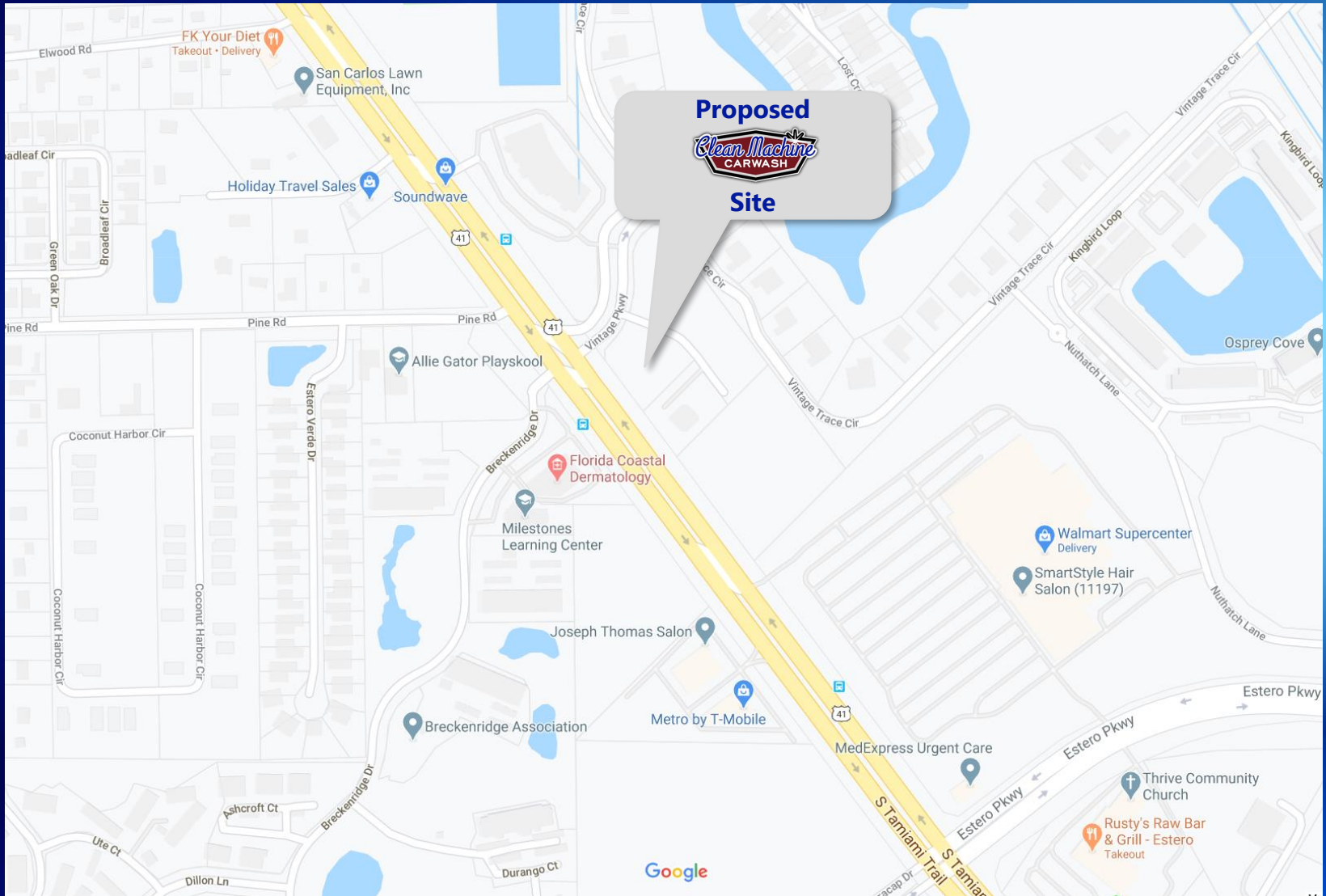


Acoustical
Consultant:

Sam Shroyer



SITE LOCATION MAP



Site at SE corner of US 41 and Vintage Parkway

PROJECT SUMMARY

Request: Site Plan, landscaping and architectural review in preparation of a Development Order application.

- 3,610 SF± Drive-thru car wash, 1 story/45 ft, and associated infrastructure on a 1-acre parcel.
- Proposed use and site plan is consistent with existing zoning which is (CC) Community Commercial.



ENGINEER

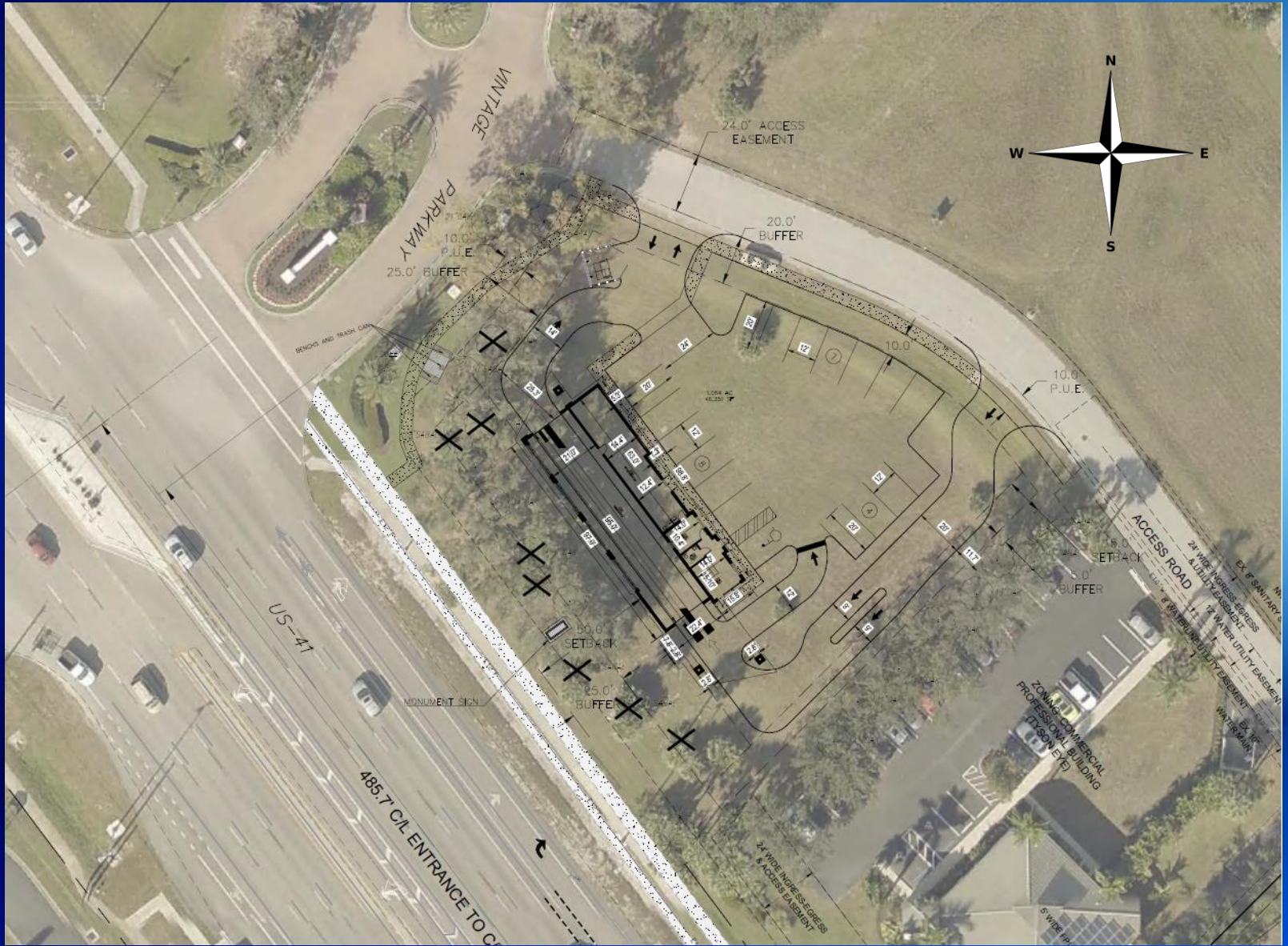
D. BRENT ADDISON, P.E



SITE PLAN WITH AERIAL



SITE PLAN – TREE SURVEY

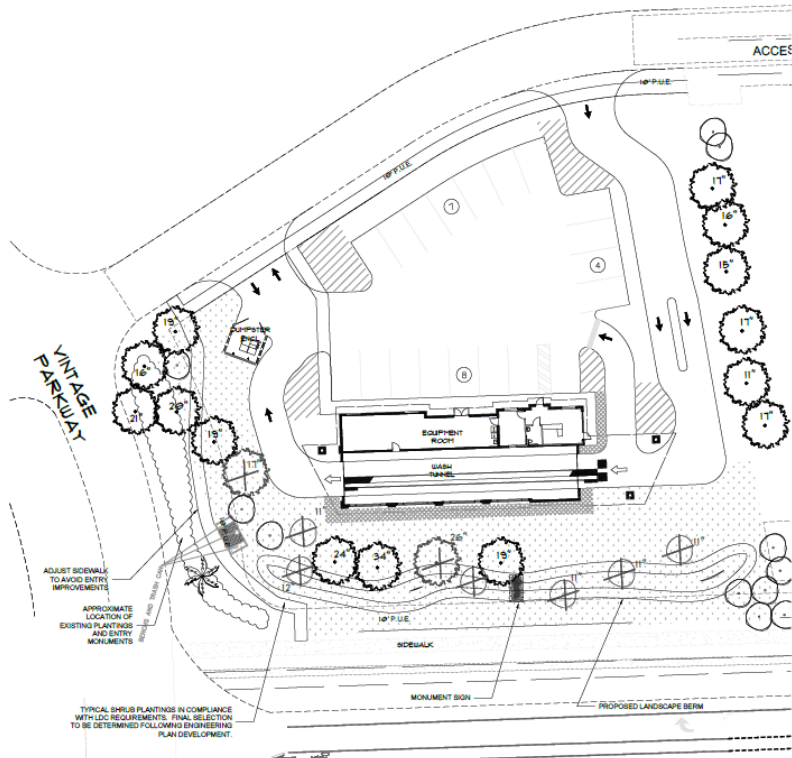


LANDSCAPE ARCHITECT

Gregory J. Diserio, RLA



SITE PLAN



GENERAL LANDSCAPE NOTES

1. THE QUALITY OF ALL PLANT MATERIAL WILL MEET THE STANDARDS FOR FLORIDA GRADE NO. 1 (or better), AS GOVERNED IN 'GRADES AND STANDARDS FOR NURSERY PLANTS'.
2. ALL PLANTED TREES AND PALMS WILL HAVE A 3" DEEP SAUCER CONSTRUCTED FROM THE TRUNK OF THE TREE OR PALM. MINIMUM OF 4" DIAMETER.
3. ALL PLANTING BEDS SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF MULCH AND SHALL BE WEED FREE. MULCH SHALL BE GRADE B OR BETTER. CONTRACTOR SHALL REMOVE ANY VEGETATIVE GROWTH AND APPLY A PRE-EMERGENT WEED KILLER PER SPECIFICATIONS PRIOR TO MULCHING.
4. CODE PLANTINGS SHALL BE REPLACED AT THE OPTION AND COST OF DEVELOPER SHOULD FUTURE UTILITY WORK REQUIRE REMOVAL.
5. ANY AND ALL EXOTIC VEGETATION INCLUDING: EARLEAF ACACIA, WOMANS TONGUE, BISHOPWOOD, AUSTRALIAN PINE, CARROTWOOD, ROSEWOOD, AIR POTATO, MURRAY RED GUM, WEEPING FIG, CURBAN LAUREL, FIG, JAPANESE CLIMBING FERN, OLD WORLD CLIMBING FERN, MELALEUCA, DOWNY ROSE MYRTLE, CHINESE TALLOW, BRAZILIAN PEPPER, FLORIDA HOLLY, TROPICAL SODA APPLE, JAVA PLUM, ROSE APPLE, CORN TREE AND WEDELIA, ON THE PROPERTY SHALL BE COMPLETELY REMOVED AND DISPOSED OF OFF SITE BY THE CONTRACTOR. THE SITE SHALL BE MAINTAINED FREE OF INVASIVE EXOTIC VEGETATION IN PERPETUITY.
6. TREES SHALL BE A MINIMUM OF 12-14" IN HEIGHT WITH A 3" CALIPER MEASURED AT 1' ABOVE GROUND LEVEL WITH A SIX FOOT CANOPY UNLESS SPECIFIED AS 20 TALL TREES PER PLAN AND PLANT LIST.
7. A MINIMUM OF 100% OF THE CODE BUFFER TREES AND SHRUBS SHALL BE OF A NATIVE SPECIES.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE LOCATIONS OF ALL UTILITIES AND ALL SITE CONDITIONS PRIOR TO THE START OF LANDSCAPE INSTALLATION.
9. FERTILIZER SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND VILLAGES OF ESTERO OR LOCAL ORDINANCES.
10. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINE GRADE ALL PLANTING AND SOODING AREAS PRIOR TO PLANT OR SOO INSTALLATION. CONTRACTOR SHALL OBTAIN OWNER APPROVAL OF FINAL GRADES.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE TAKEOFFS. PLANT LIST IS PROVIDED FOR REFERENCE ONLY.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE UNTIL FINAL ACCEPTANCE AND IN COMPLIANCE WITH SPECIFICATIONS.
13. CONTRACTOR SHALL REMOVE ALL TAGS, TAPE AND SUPPORTS (EXCEPT STAKING STUYS) FROM ALL PLANTINGS PRIOR TO FINAL ACCEPTANCE.
14. ALL AREAS OF THE SITE NOT PLANTED SHALL BE SOODED IN ACCORDANCE WITH PLANS. REFER TO ENGINEERING PLANS FOR ADDITIONAL SPECIFICATIONS.
15. THE REQUIRED PLANTINGS SHALL BE IRRIGATED IN ACCORDANCE WITH LDC REQUIREMENTS. REFER TO CONSTRUCTION DOCUMENTS FOR COMPLETE IRRIGATION PLANS.
16. THE PARKING LOTS SHALL BE SLEEVED FOR IRRIGATION BY THE LANDSCAPE CONTRACTOR. COORDINATE WITH CIVIL ENGINEERING PLANS.
17. ALL BASE ROCK SHALL BE REMOVED FROM LANDSCAPE PARKING ISLANDS.
18. PRIOR TO CERTIFICATE OF COMPLIANCE NO TREES SHALL BE PLANTED WHERE THEY INTERFERE WITH BUILDINGS, UTILITIES, SITE DRAINAGE, VIEWS, SIGNS, OR WHERE THEY WILL REQUIRE FREQUENT PRUNING TO AVOID POWER LINES AT MATURE HEIGHTS IN PERPETUITY UNLESS A WRITTEN STATEMENT IS PROVIDED PER LDC SEC. 10-421 A.5.
19. THE CONTRACTOR SHALL PROVIDE (PRESSURE COMPENSATING SCREENS) AS NECESSARY TO REDUCE OR ELIMINATE OVERSPRAY INTO STREETS, WALKS OR OTHER AREAS AS DICTATED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
20. PLANS PREPARED FOR DEVELOPMENT ORDER APPROVAL. REFER TO ADDITIONAL LANDSCAPE CONSTRUCTION DOCUMENTS FOR PLANTING SPECIFICATIONS.
21. ALL TREES PLANTED IN BSU EASEMENT SHALL BE LOCATED A MINIMUM OF 7.5' FROM ALL BSU SERVICE INFRASTRUCTURE.

VINTAGE PARKWAY

ADJUST SIDEWALK TO AVOID ENTRY IMPROVEMENTS

APPROXIMATE LOCATION OF EXISTING PLANTINGS AND ENTRY MONUMENTS

TYPICAL SHRUB PLANTINGS IN COMPLIANCE WITH LDC REQUIREMENTS. FINAL SELECTION TO BE DETERMINED FOLLOWING ENGINEERING PLAN DEVELOPMENT.

SITE LANDSCAPE CALCULATIONS

- EXISTING TREE LEGEND**
- OAK TO REMAIN
 - SABAL PALM TO REMAIN
 - QUEEN PALM TO REMAIN
 - OAK TO BE REMOVED
 - SABAL PALM TO BE REMOVED

SITE DEVELOPMENT DATA

- TOTAL SITE = 1.06 AC. (46,349 S.F.)
- OPEN SPACE REQUIREMENTS**
 26 % OPEN SPACE REQUIRED
 46,349 X 26% = 12,051 SF REQUIRED.
 OPEN SPACE (PER HATCHING) = 14,217 SF PROVIDED PER HATCHING.
- INDIGENOUS OPEN SPACE REQUIREMENTS**
 NOT APPLICABLE
- HERITAGE TREES**
 HERITAGE TREES EXIST ON THE SITE AS SHOWN
 1 HERITAGE TREE SCHEDULED FOR REMOVAL SHALL BE REPLACED WITH 20 TALL TREES OF SIMILAR SPECIES.
- GENERAL TREE CREDITS**
 2 OAKS @ 5:1 = 10 GENERAL CREDITS
 4 OAKS @ 1:1 = 4 BUFFER CREDITS
 5 PALMS @ 1:2 = 2.5 BUFFER CREDITS
 1 PALM @ 1:1 = 1 GENERAL TREE CREDITS
- GENERAL TREE REQUIREMENTS**
 1 TREE PER 3,000 SF OF SITE AREA
 46,349 / 3,000 = 15 TREES REQUIRED AND 13 PROVIDED.
 NOTE: 10 TREES MAY BE USED AT A 2:1 CREDIT FOR GENERAL TREES. GENERAL TREE REQUIREMENTS MAY NOT BE REDUCED MORE THAN 50%. A MAXIMUM OF 7-16 TREES MAY BE USED AT 2:1 CREDIT TOWARDS GENERAL TREES (CREDIT TREES, IF ANY, DEPICTED IN PLANT LIST)

- INTERNAL PARKING LANDSCAPE REQUIREMENTS**
 INTERNAL LANDSCAPE AREAS OF 10% OF THE PARKING AREA IS REQUIRED = 15,440 SF X 10% = 1,544 SF MINIMUM REQUIRED AND 1,680 SF PROVIDED PER HATCHING.
 MIN. 1 TREE PER 250 SF
 1,544 / 250 = 6 TREES REQUIRED AND 6 PROVIDED
 NO MORE THAN 10% OF PLANTING AREA TO BE IN TURF. APPROXIMATELY 195 SHRUBS OR GROUNDCOVERS ARE PROVIDED.

- WATER MANAGEMENT PLANTING REQUIREMENTS**
 PER SECTION 33-11(1) OF SUBDIVISION 1 OF ESTERO PLANNING COMMUNITY REGULATIONS:
 DETENTION BASINS MUST BE PLANTED WITH WETLAND SPECIES AT 36" OC THROUGHOUT THE BASIN.

- BUILDING PERIMETER PLANTING REQUIREMENTS**
 3,875 SF. BLDG X 10% = 387 SF OF BUILDING PERIMETER PLANTING REQUIRED AND 700 PROVIDED PER HATCHING.

BUFFER REQUIREMENTS:

- PROJECT EAST BUFFER**
 COM TO R.O.W.
 20' MINIMUM WIDTH, TYPE 'D' BUFFER REQUIRED, W/ 5 TREES AND 66 SHRUBS PER 100 LINEAL FOOT.
 185 LF. (EXCLUDING EASEMENTS) 100 X 5 = 9 TREES REQUIRED AND 9 PROVIDED.
 185 LF / 3 X 2 = 124 SHRUBS REQUIRED AND 124 PROVIDED.
 REQUIRED TREES AND SHRUBS LABELED AS (E.8.).
- PROJECT SOUTH BUFFER**
 COM TO COM
 5' TYPE 'N' BUFFER REQUIRED, W/ 4 TREES PER 100 LINEAL FOOT.
 190 LF. (EXCLUDING EASEMENTS) 100 X 5 = 8 TREES REQUIRED AND 8 PROVIDED.
 REQUIRED TREES AND SHRUBS LABELED AS (S.8.).
- PROJECT WEST BUFFER**
 COM TO R.O.W.
 20' MINIMUM WIDTH, TYPE 'D' BUFFER REQUIRED, W/ 5 TREES AND 66 SHRUBS PER 100 LINEAL FOOT.
 210 LF. (EXCLUDING EASEMENTS) 100 X 5 = 10 TREES REQUIRED AND 10 PROVIDED.
 210 LF / 3 X 2 = 140 SHRUBS REQUIRED AND 140 PROVIDED.
 REQUIRED TREES AND SHRUBS LABELED AS (W.8.).
- PROJECT NORTH BUFFER**
 COM TO R.O.W.
 20' MINIMUM WIDTH, TYPE 'D' BUFFER REQUIRED, W/ 5 TREES AND 66 SHRUBS PER 100 LINEAL FOOT.
 124 LF. (EXCLUDING EASEMENTS) 100 X 5 = 6 TREES REQUIRED AND 6 PROVIDED.
 124 LF / 3 X 2 = 83 SHRUBS REQUIRED AND 83 PROVIDED.
 REQUIRED TREES AND SHRUBS LABELED AS (N.8.).

DETENTION AREA PLANTING

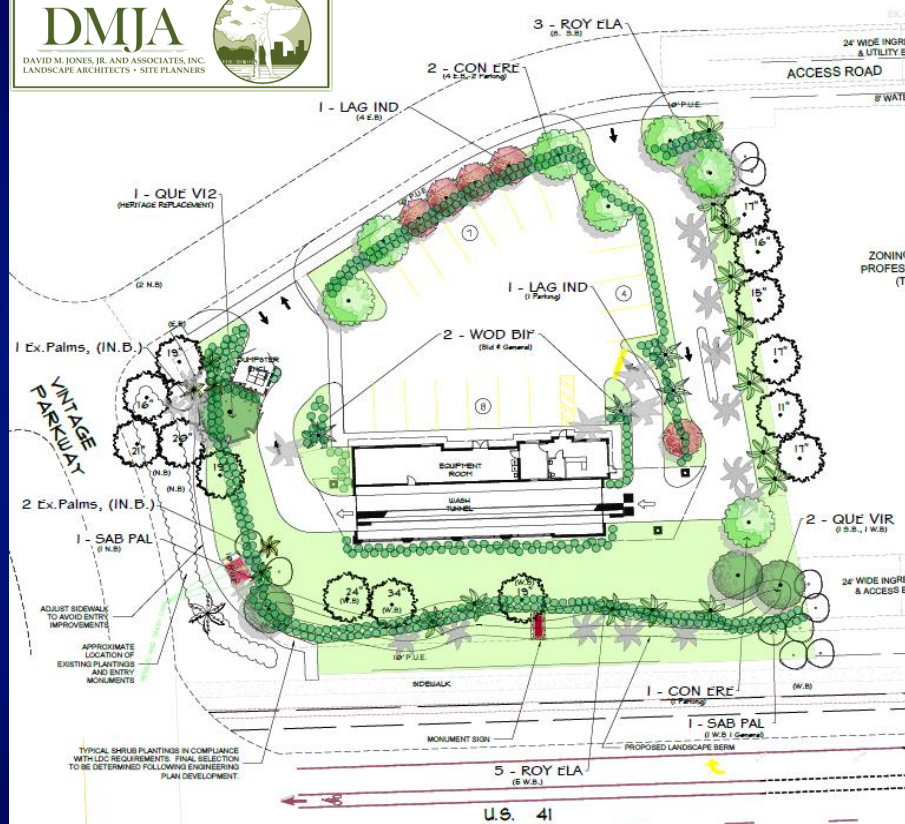
T.S.D.

TYPICAL EASEMENT AREA REFERS TO ENGINEERING PLANS FOR SPECIFIC EASEMENT INFORMATION

PRELIMINARY LANDSCAPE PLAN

DMJA

DAVID M. JONES, JR. AND ASSOCIATES, INC.
LANDSCAPE ARCHITECTS • SITE PLANNERS



PRELIMINARY LANDSCAPE PLAN

TYPICAL EASEMENT AREA REFER TO ENGINEERING PLANS FOR SPECIFIC EASEMENT INFORMATION

SCALE 1" = 20'



PLANT	CODE	QTY	Botanical Name	COMMON NAME	SIZE	PLANTING
	CON ERE	4	Conocarpus erectus	Shrub	14" in. S.P. with 8" Sp.	
	LAG IND	4	Lagerstroemia indica	Shrub	12" in. H. S.P. with 8" Sp. 40 gal.	
	QUE VIR	2	Roystonea elata	Palmetto	14" in. S.P. with 8" Sp.	
	QUE V12	1	Quercus virginiana	Shrub	14" in. S.P. with 8" Sp.	
	ROY ELA	20	Roystonea elata	Palmetto	12" in. H. S.P.	
	SAB PAL	2	Sabal palmetto	Palmetto	12" in. H. S.P.	
	WOD BIR	1	Wodyetia bifurcata	Palmetto	12" in. H. S.P.	

PLANT IMAGES



COCOPLUM



TRINETTE ARBICOLA



BOUGAINVILLEA SPP



CRINUM LILY



SIMPSON STOPPER



PITCH APPLE



MRS. SCHILLER'S DELIGHT VIBURNUM



WALTER'S VIBURNUM



FIREBUSH



MUHLY GRASS



GREEN ISLAND FICUS



GOLDEN CREEPER



SPARTINA / CORD GRASS



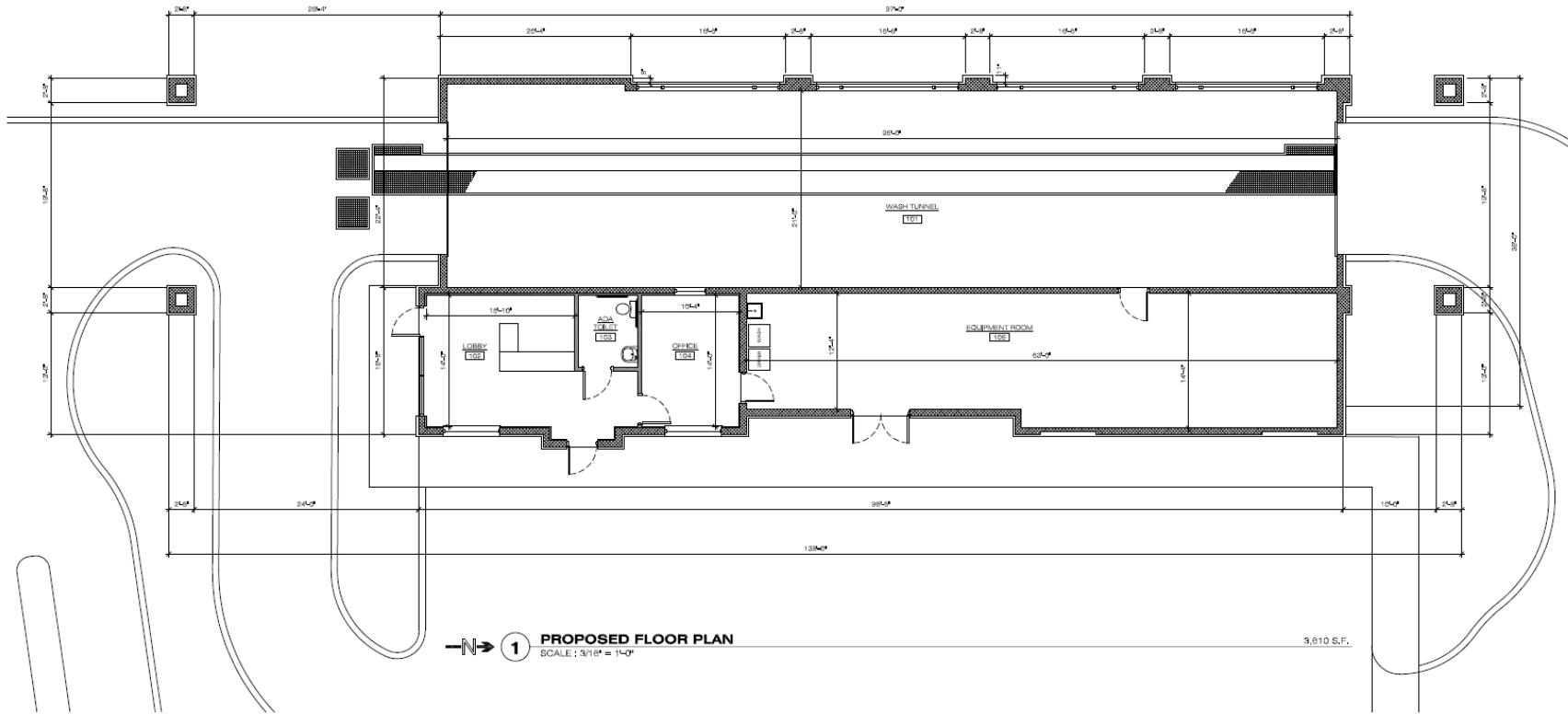
PRELIMINARY LISTING OF SHRUB SPECIES

ARCHITECT

Stephen Seaton, AIA



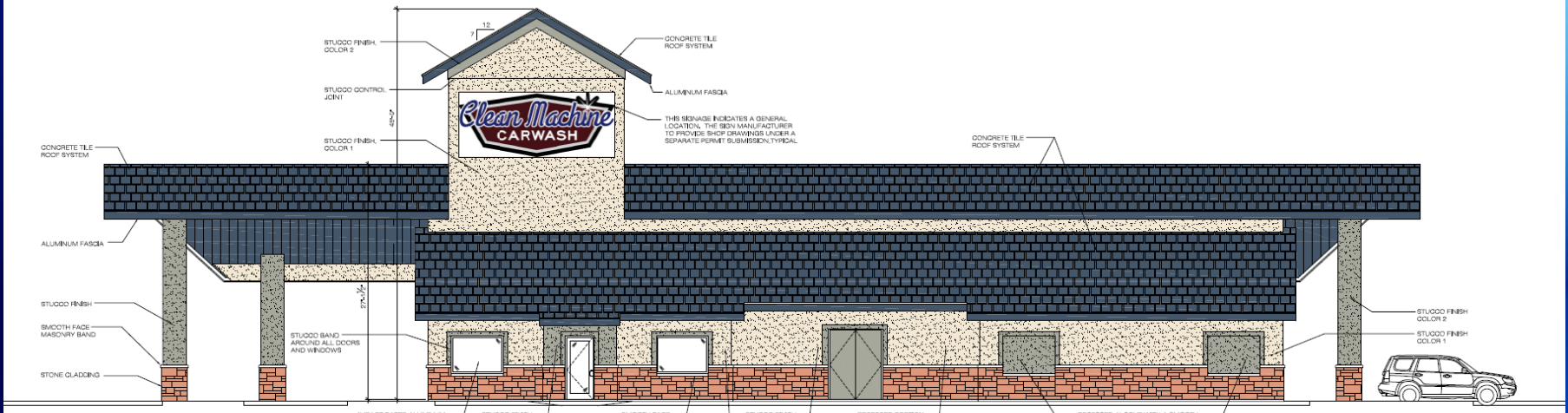
PROPOSED FLOOR PLAN



ORIGINAL WEST & EAST ELEVATIONS



WEST ELEVATION



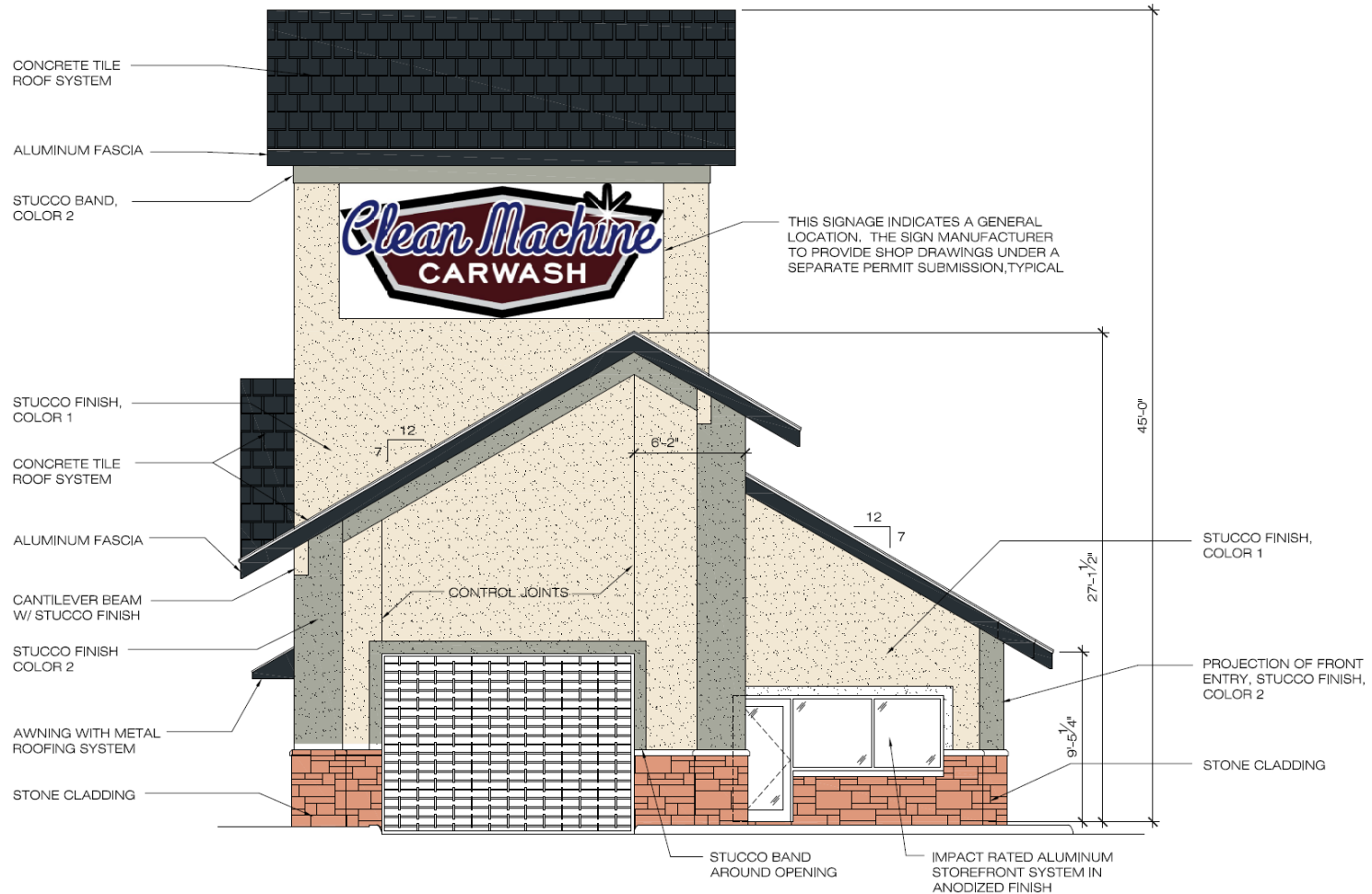
EAST ELEVATION

ORIGINAL NORTH ELEVATION



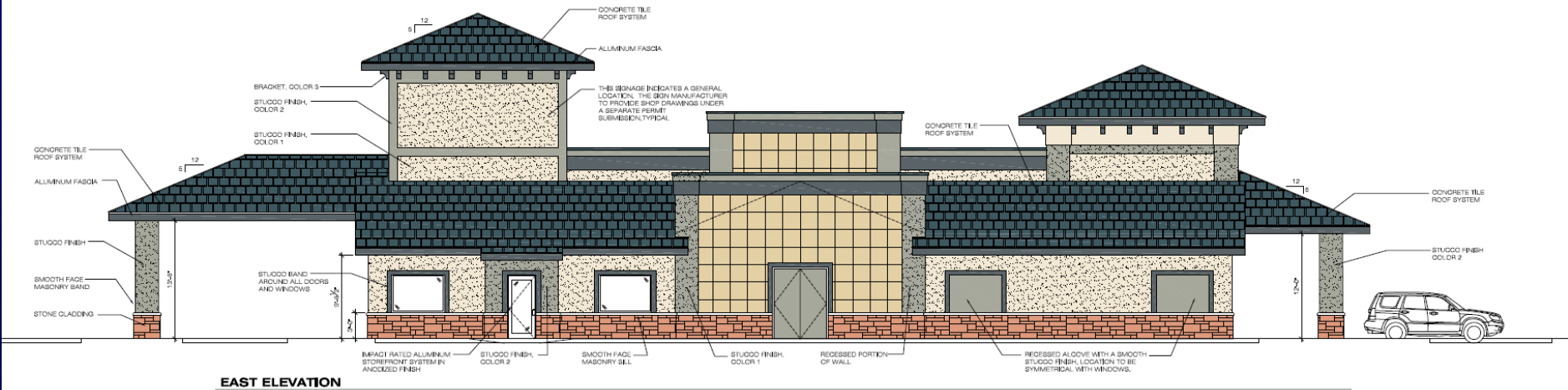
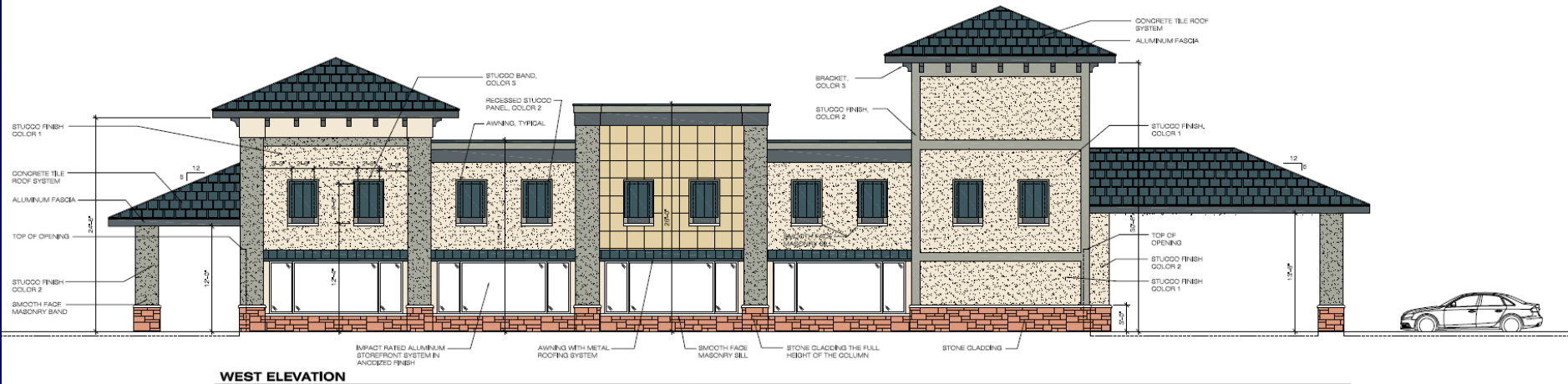
NORTH ELEVATION

ORIGINAL SOUTH ELEVATION

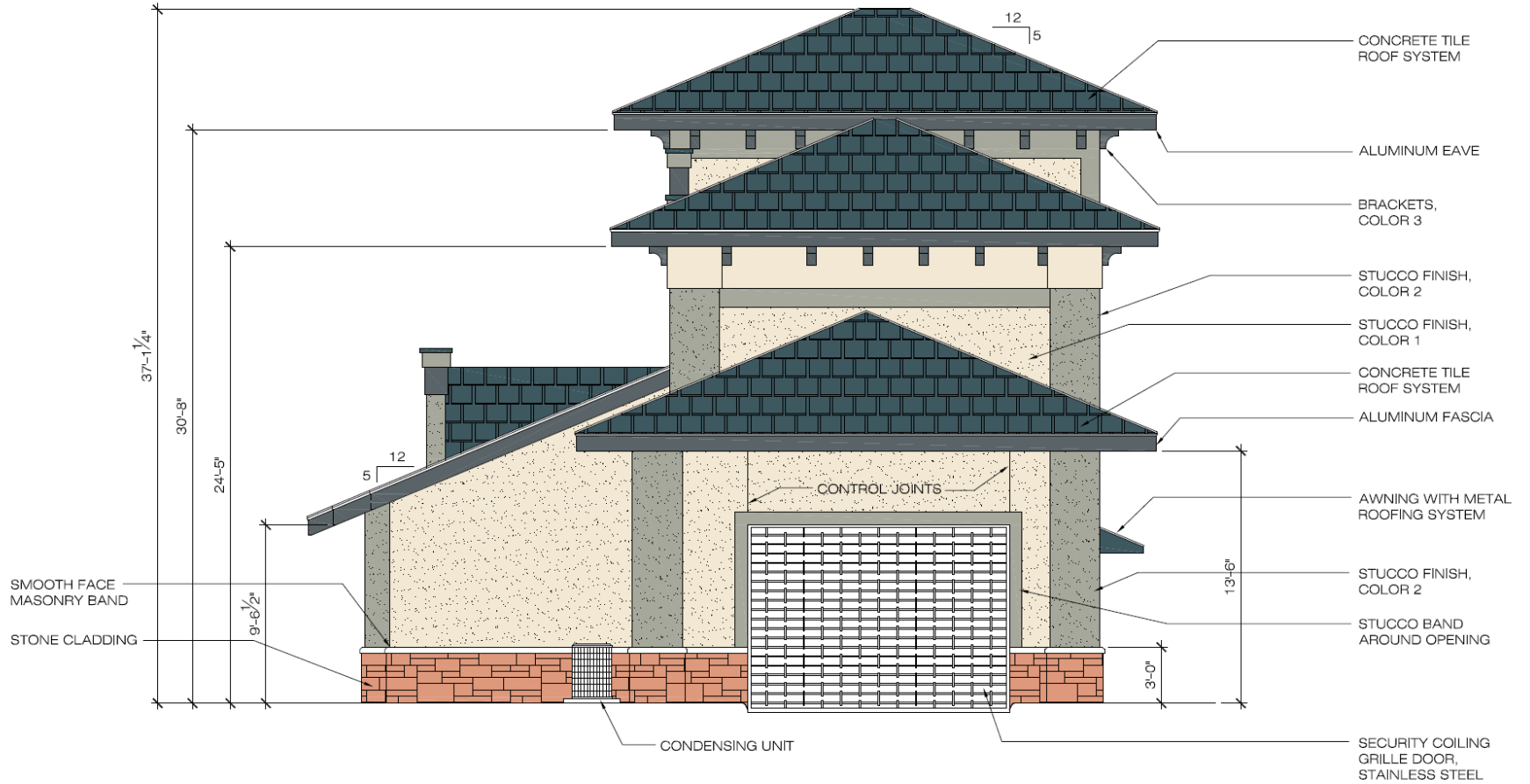


SOUTH ELEVATION

PROPOSED WEST & EAST ELEVATIONS

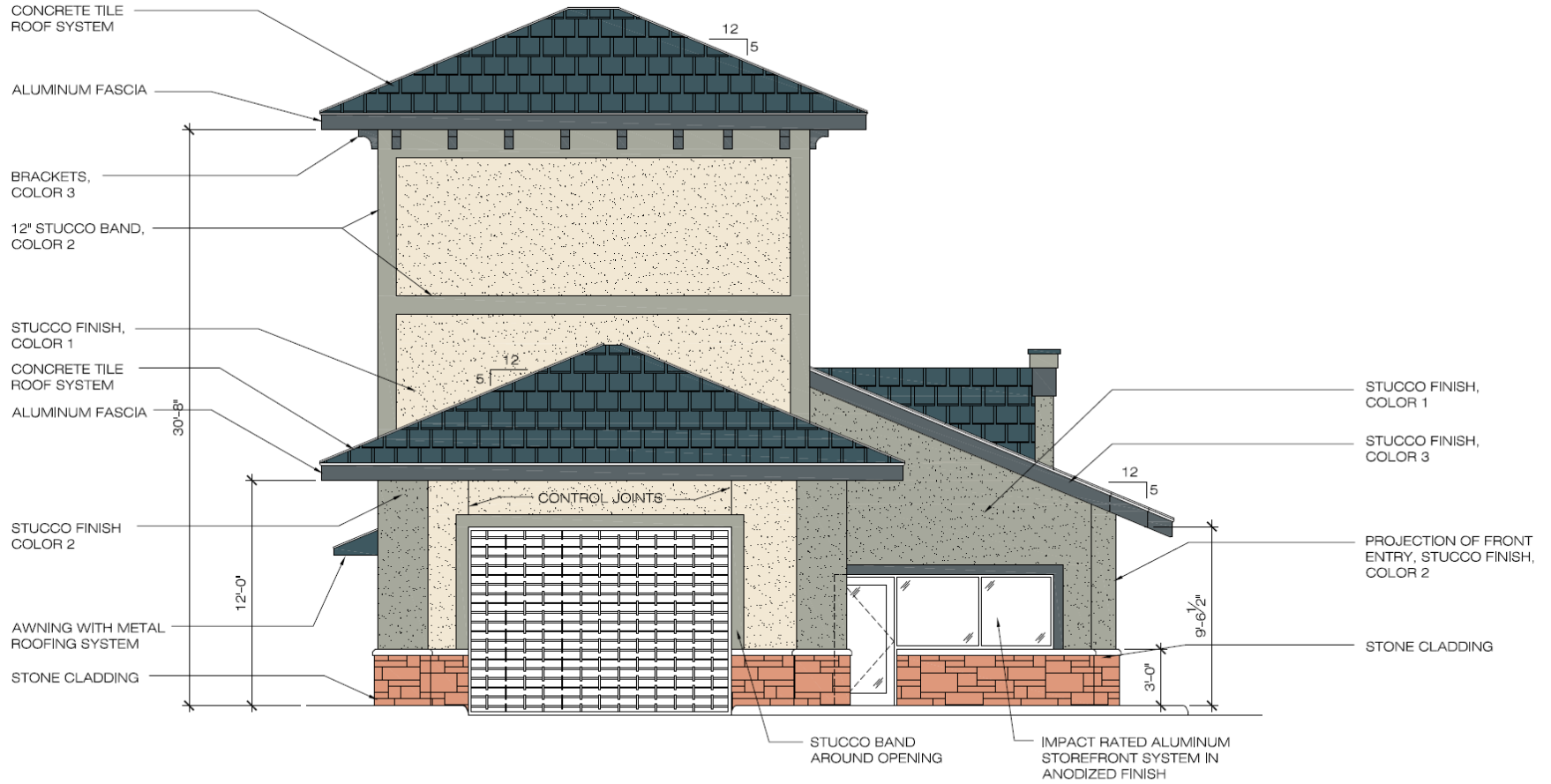


PROPOSED NORTH ELEVATION



NORTH ELEVATION

PROPOSED SOUTH ELEVATION



SOUTH ELEVATION

COLORS AND MATERIALS



TRAVERTINE TILE
THIS SAMPLES MAY NOT REPRESENT
THE FINAL COLOR DEPENDING ON
THE MANUFACTURER OF THE STONE

METAL ROOF FOR AWNING



COLOR 1

SHERWIN WILLIAMS
SW6378 "CRISP LINEN"



COLOR 2

SHERWIN WILLIAMS
SW6199 "RARE GRAY"



STONE VENEER



BORAL AMERICA, SERIES
"COUNTY LEDGESTONE MOJAVE"
THESE SAMPLES MAY NOT REPRESENT THE
FINAL COLOR DEPENDING ON THE
MANUFACTURER OF THE STONE

MAIN ROOF



THE ROOF WILL BE A FLAT CONCRETE
TILE WITH A CHARCOAL BLUE/GRAY
COLOR

CANOPY COLORS



COLORS & MATERIALS

RENDERINGS



RENDERINGS



RENDERINGS



RENDERINGS



RENDERINGS



RENDERINGS



MONUMENT SIGN OPTION 1

Option #1



MANUFACTURE & INSTALL ONE (1) DOUBLE FACED, ILLUMINATED GROUND SIGN.

ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE SMOOTH. FACES TO BE ROUTED ALUMINUM WITH FACE ILLUMINATED CHANNEL LETTERS "CLEAN MACHINE" AND "CAR WASH". "FREE VACUUMS" COPY TO BE .5" PUSH THRU ACRYLIC LETTERS.

MOUNTING STRUCTURE/ ARCH. FEATURE - ALL ALUMINUM CONSTRUCTION OVER INTERNAL ANGLE FRAME, FINISH TO BE TEXTURED. CAP TO BE FABRICATED ALUMINUM WITH TEXTURED FINISH

TO BE ILLUMINATED USING WHITE (7000k) LED's.

BASE TO BE ALL ALUMINUM CONSTRUCTION WITH FAUX BRICK TO MATCH BUILDING (BY OTHERS). CAP AND BASE TO BE FABRICATED ALUM WITH TEXTURED FINISH. ADDRESS NUMBERS TO BE .25" NON ILLUMINATED FLAT CUT OUT DIBOND LETTERS.

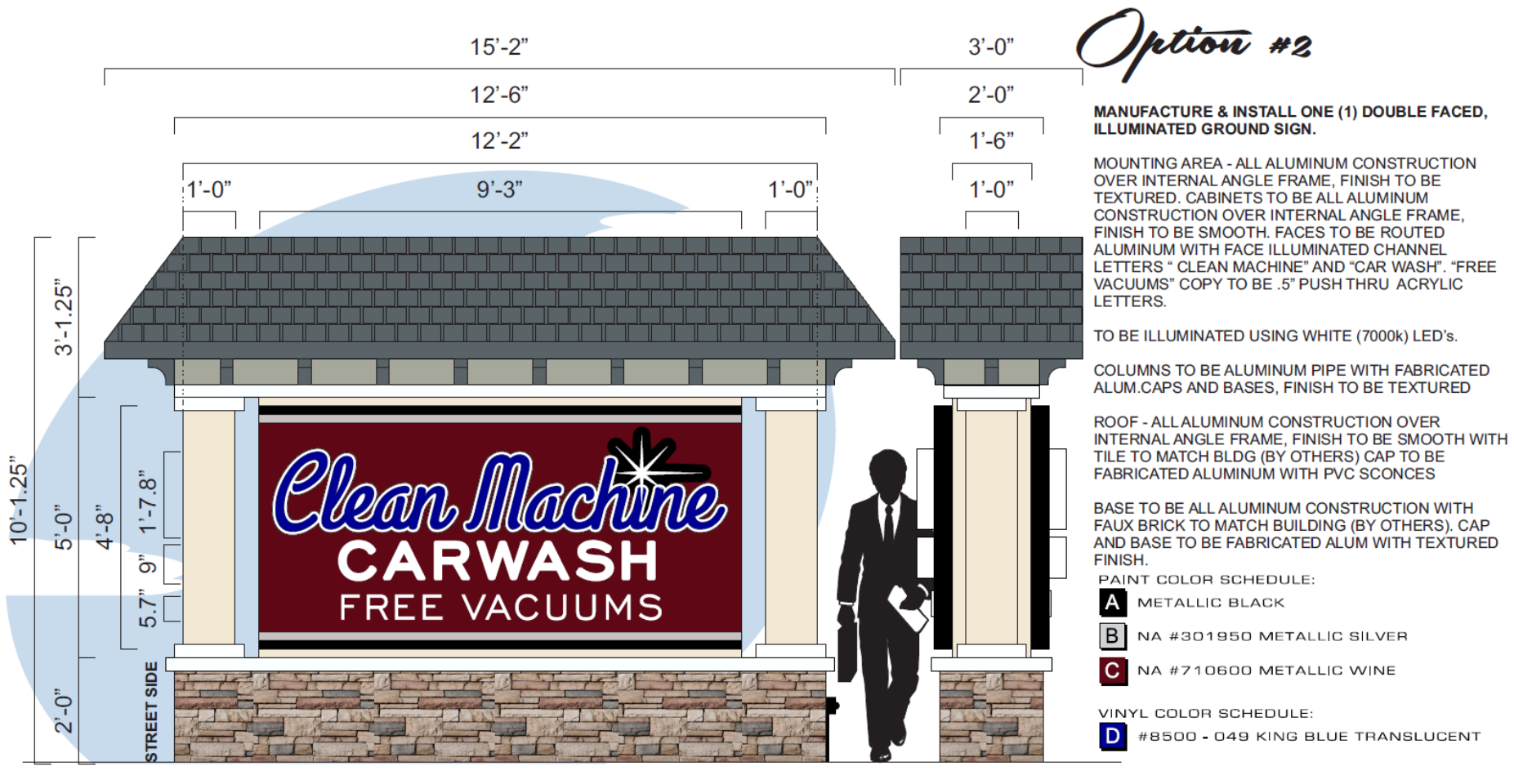
PAINT COLOR SCHEDULE:

- A** METALLIC BLACK
- B** NA #301950 METALLIC SILVER
- C** NA #710600 METALLIC WINE

VINYL COLOR SCHEDULE:

- D** #8500 - 049 KING BLUE TRANSLUCENT

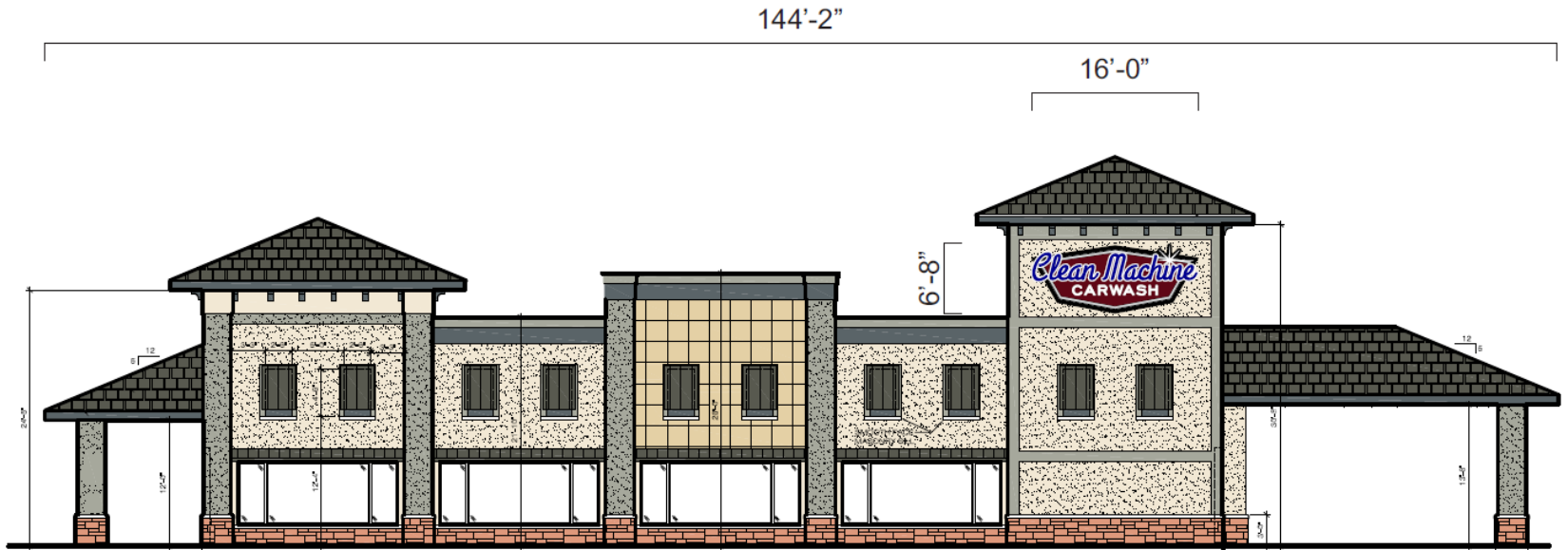
MONUMENT SIGN OPTION 2



WALL SIGN

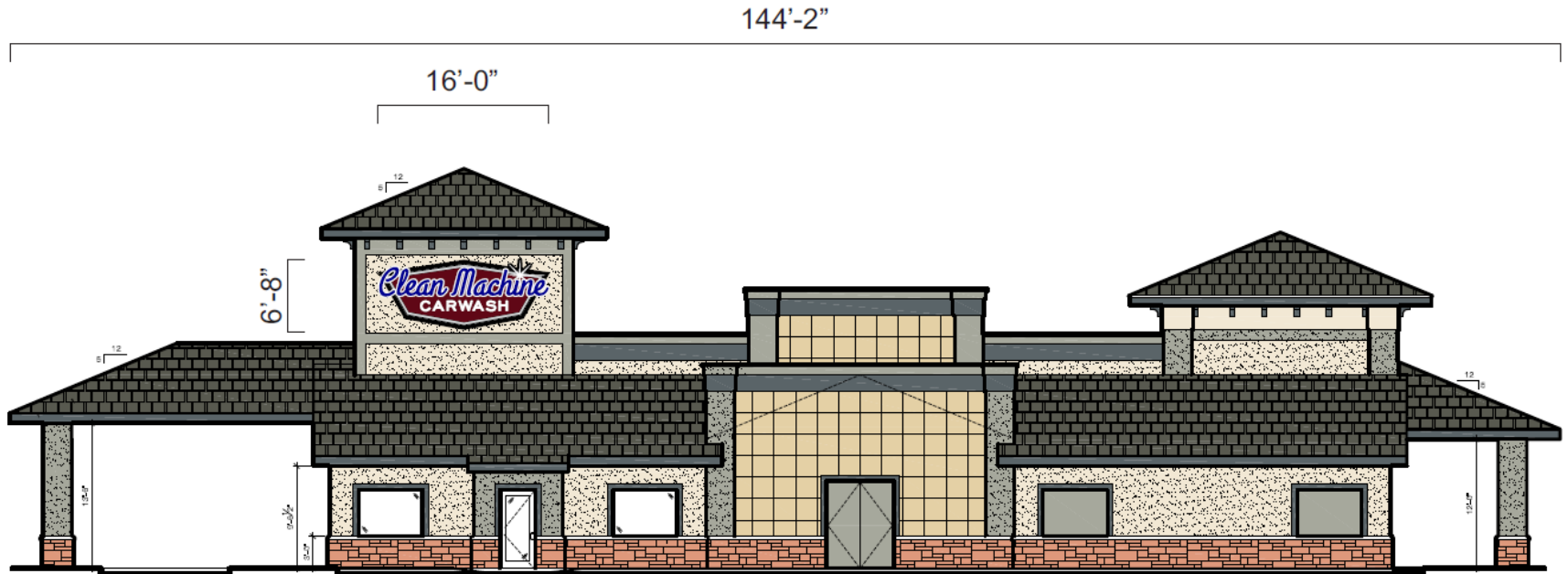


WALL SIGN



West Elevation

WALL SIGN



DIRECTIONALS

TOTAL QUANTITY OF THREE (3) NON ILLUMINATED DIRECTIONAL SIGNS

EXACT LOCATION OF SIGNS ARE TO BE CONFIRMED

1. ONE (1) SINGLE SIDED SIGN - WITH ARROW POINTING RIGHT
2. TWO (2) DOUBLE SIDED SIGNS - (ARROWS SHOWN BELOW)

NOTE: CONFIRM ARROW DIRECTION PRIOR TO FABRICATION

SIGN FACES: .090" THICK ROUTER CUT ALUMINUM
ALL WELDED TO 4" DEEP ALUMINUM RETURNS
POSTS, RETURNS & FACES PAINTED METALLIC BLACK
CLEAN MACHINE LOGO TO BE PAINT & VINYL

PAINT COLOR SCHEDULE:

- A** METALLIC BLACK
- B** WHITE
- C** NA #301950 METALLIC SILVER
- D** NA #710600 METALLIC WINE

VINYL COLOR SCHEDULE:

- E** #651 - 049 KING BLUE OPAQUE



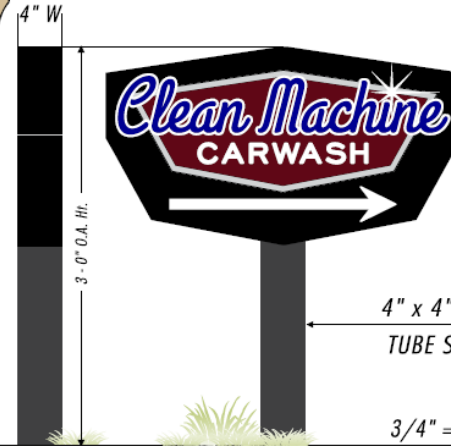
TOTAL QUANTITY OF TWO (2) DOUBLE SIDED SIGNS



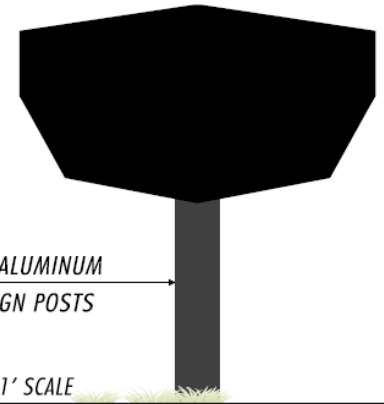
REVERSE SIDE OF DOUBLE SIDED SIGNS



TOTAL QUANTITY OF ONE (1) SINGLE SIDED SIGN



REVERSE SIDE OF SINGLE SIDED SIGN



4" x 4" ALUMINUM
TUBE SIGN POSTS

3/4" = 1' SCALE

QUESTIONS?





**APPLICATION REQUEST FOR DESIGN REVIEW BOARD PUBLIC
INFORMATIONAL MEETING
IN THE VILLAGE OF ESTERO
[LDC Section 33-54]**

REQUEST IS FOR: Public Informational Meeting pursuant to LDC Section 33-54 (a) & (b)

- 1. Applicant: Lee County Homes Associates IV, LLLP
- 2. Project Name: Corkscrew Crossing
- 3. Address: 12840 Corkscrew Road
- 4. Strap Number: 30-46-26-E3-U2598.2485 & 31-46-26-E3-U2585.2313
- 5. Application Number: TBD

6. Type of Application (check appropriate type(s)):

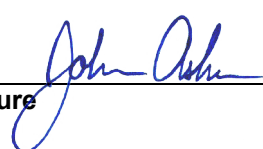
- | | |
|---|---|
| <input type="checkbox"/> Monument Sign | <input checked="" type="checkbox"/> Development Order |
| <input type="checkbox"/> Limited Review Development Order | <input type="checkbox"/> Landscaping & Buffers |
| <input type="checkbox"/> Architecture | <input type="checkbox"/> Other _____ |
- (Specify)

7. Project Description. (Brief description of project and reason for application.)

This application is for the Development Order for the first phase of the proposed residential community known as Corkscrew Crossing, with a total of 554 single family homes, a common recreation area.

The total project area is 395.6 Ac., including 31.1 Ac. of lake, 40.2 Ac. of open space, and 224.4 Ac. of preserve, and off-site flow way conveyances on the north, east and west sides of the property. The . project entrance will align with the entrance to Wild Blue and will include extensive tropical and native landscape where appropriate to blend with general look of the area, entry monuments and guardhouse.

8. Application shall be accompanied by an electronic copy of the detail plans, illustrating the scope of the project including all four (4) sides of the building, easements, and landscape plans. The plans shall define what is being requested and the existing conditions. Pursuant to Ordinance 15-01, plans and specifications are to be prepared by a registered architect or registered engineer.


Signature

12/16/2020
Date

CORKSCREW CROSSING

PUBLIC INFORMATION MEETING

January 13, 2021

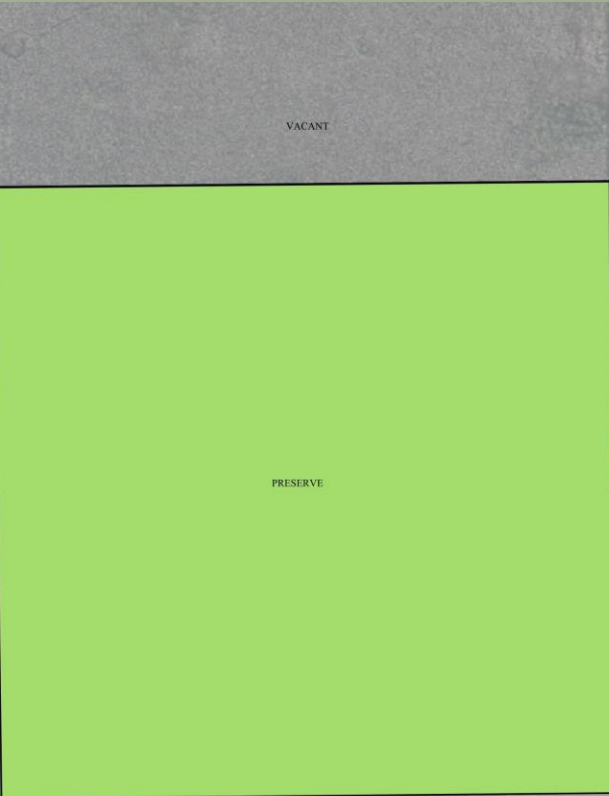
Lee County Homes Associates IV, LLLP

PROPOSED SITE PLAN



Wildcat Run

SITE PLAN FOR
CORKSCREW CROSSING



Bella Terra



Preserve at Corkscrew

SITE PLAN COMPARISON



Proposed Site Plan (554 Single Family Homes)



Zoning / Pattern Book Site Plan (590 DU w/ up to 70 Townhomes)



Entry

Conceptual Rendering



Entry / Guardhouse

Conceptual Rendering



Conceptual Rendering

Guardhouse

Guardhouse



Conceptual Rendering

Sample of Conceptual vs. Construction

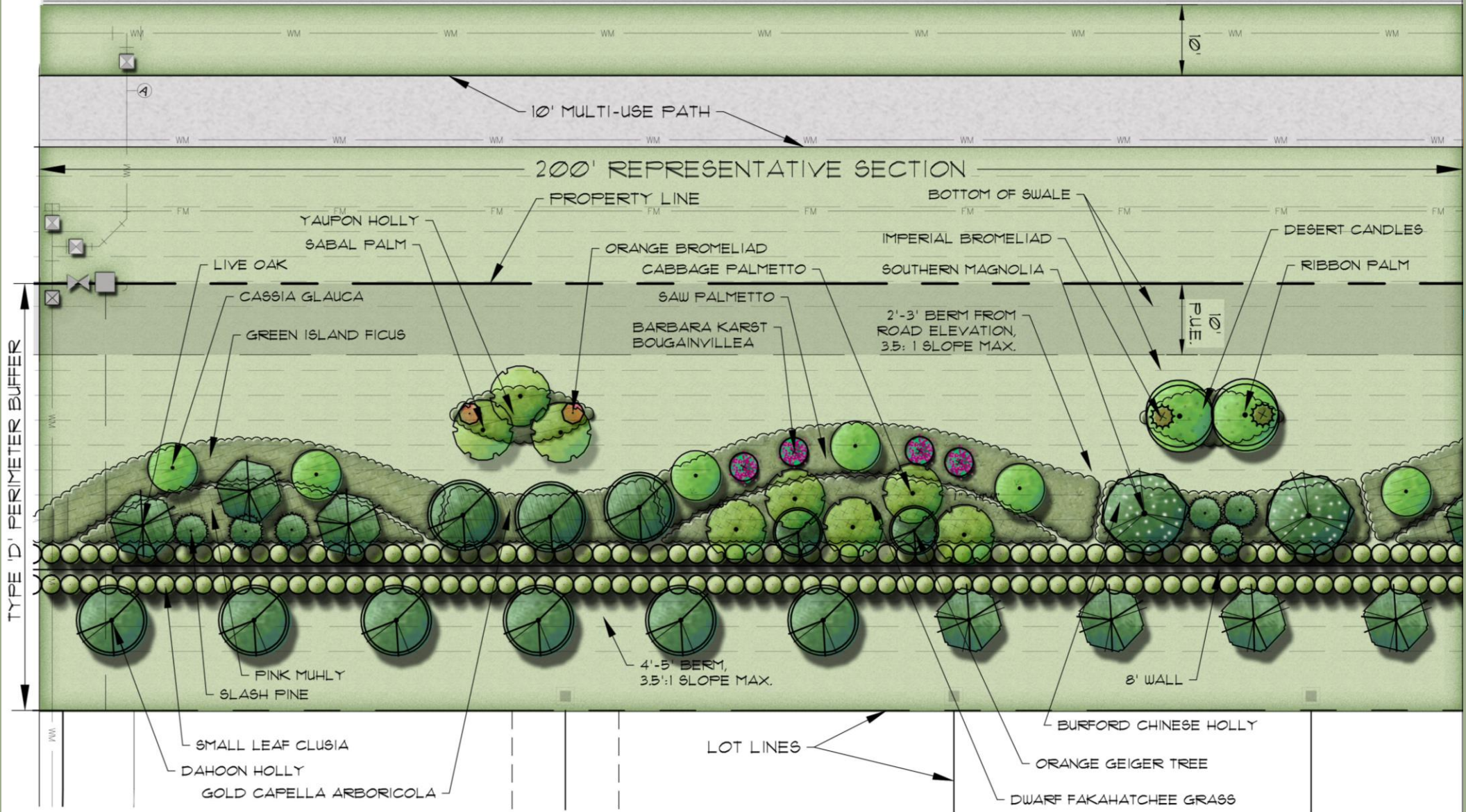


Conceptual Design

Actual Drone Photo

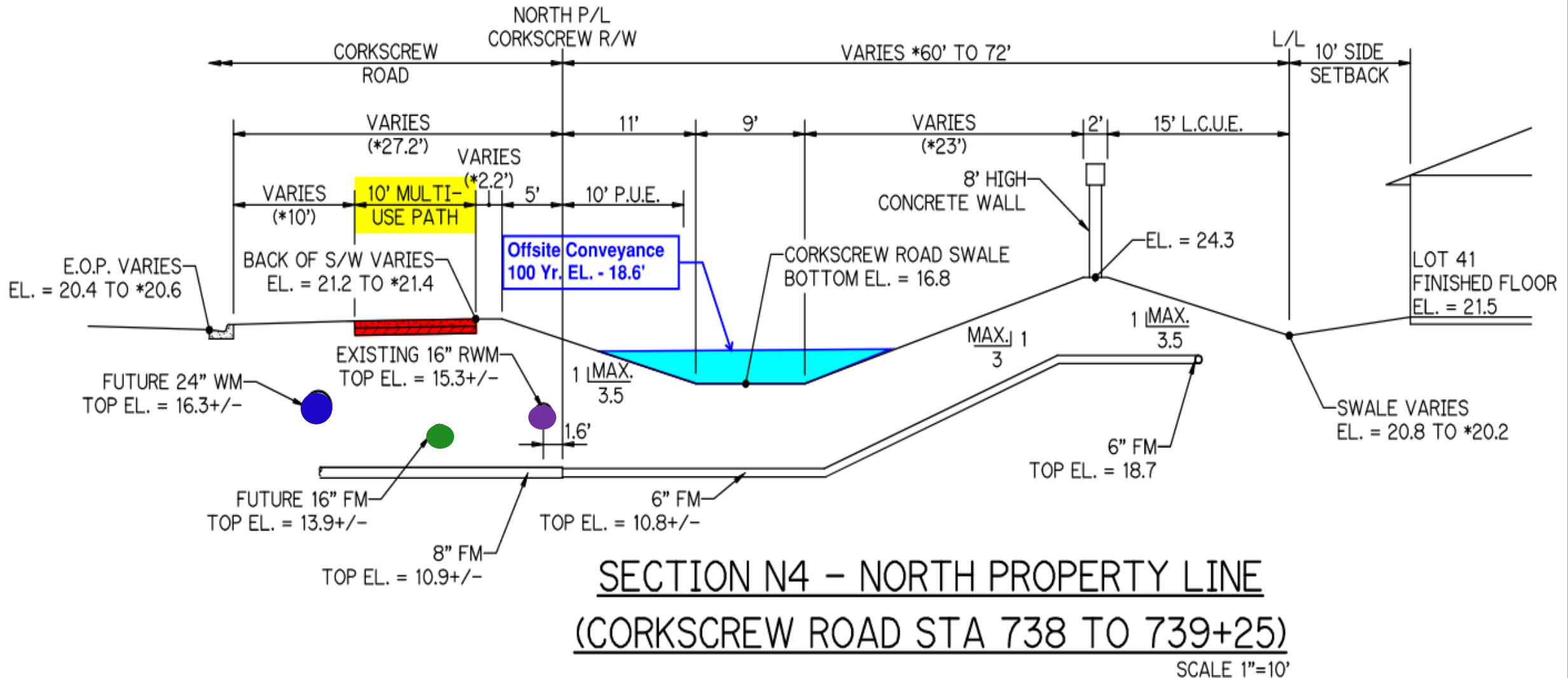


CORKSCREW ROAD



NORTH BUFFER PLAN GRAPHIC

Corkscrew Rd. / Drainage Conveyance / Buffer Design Cross-Section

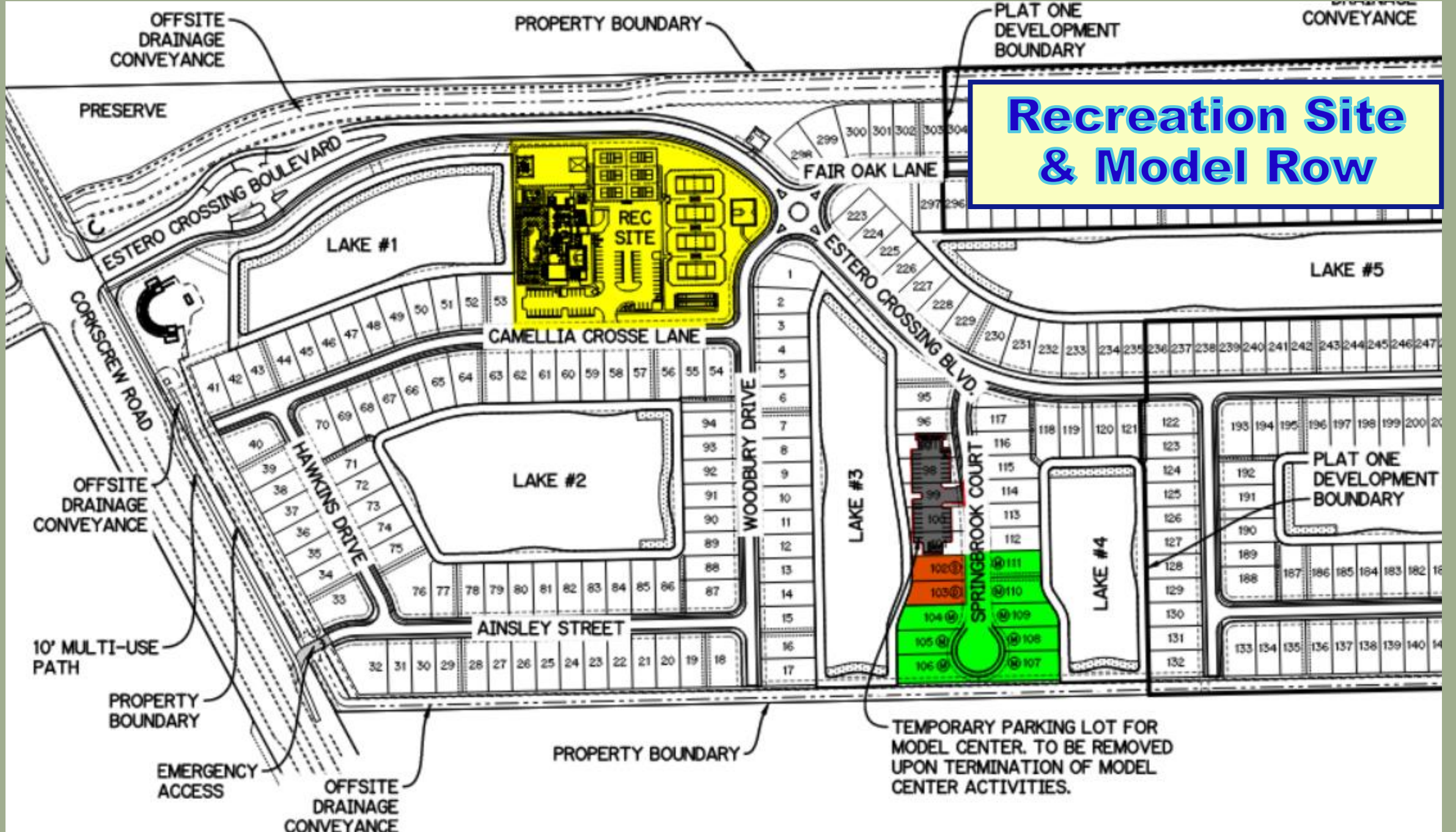


North Buffer Elevation – View from Corkscrew Rd.

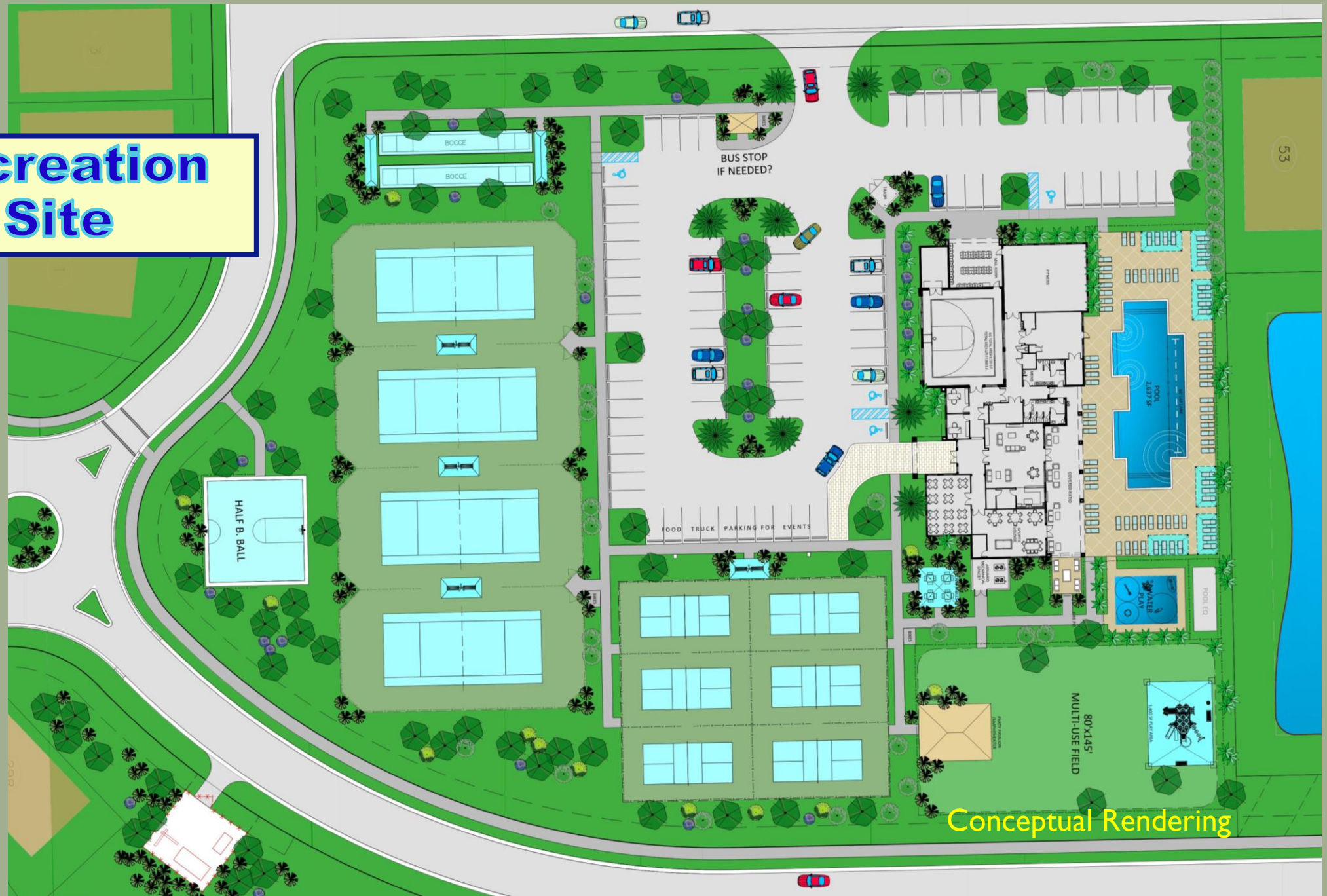


Conceptual Rendering

Typical 200' Section



Recreation Site



Conceptual Rendering

Architecture - Clubhouse



Conceptual Rendering

Architecture - Clubhouse



Conceptual Rendering

Architecture - Clubhouse



Conceptual Rendering

Architecture - Clubhouse



Conceptual Rendering



**Typical
Model Row**



**Typical
Model Row**

Architecture - Homes



Conceptual Rendering

Architecture - Homes



Conceptual Rendering

Architecture - Homes

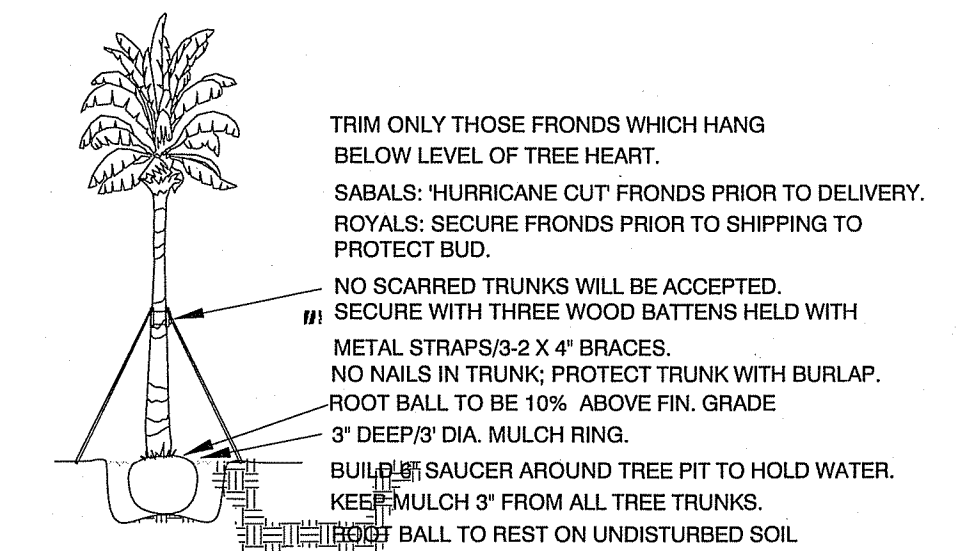


Conceptual Rendering

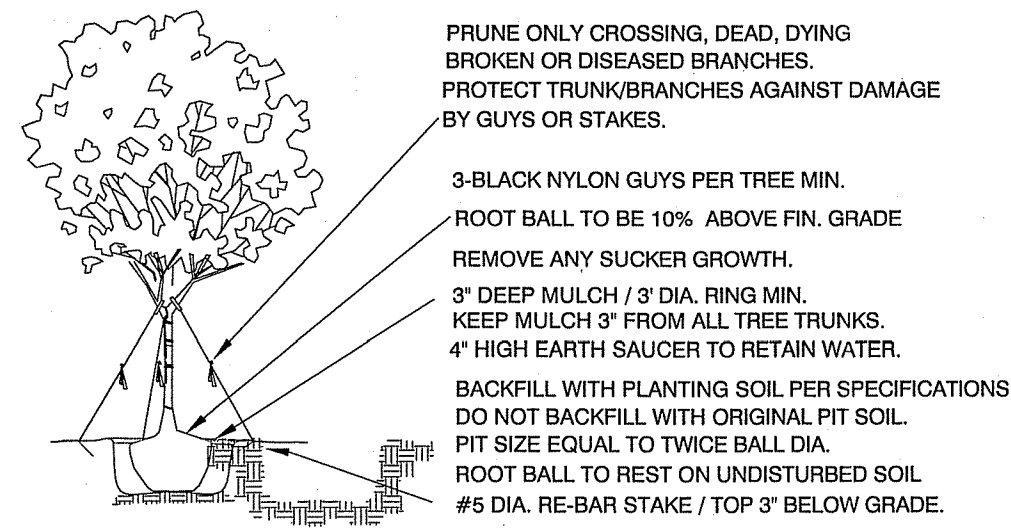
PLANT MATERIAL SCHEDULE

Code	Quantity	Botanical	Common	Cont/Cal	Size	Native	Remarks	
CS10	26	CASSIA SURATTENSIS	CASSIA GLAUCA		10' HT X 8' SPR			
IC	55	ILEX CASSINE	DAHOON HOLLY		14' OAH	NATIVE	4' c.t.	
COR	45	CORDIA SEBESTENA	ORANGE GEIGER TREE		10' HT X 5' SPR			
PE12	31	PINUS ELLIOTTI 'DENSE'	SLASH PINE		12', 14', 16' o.a.	NATIVE	staggered hts	
QV14	103	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK		14' HT X 7' SPR	NATIVE		
QV20	10	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK		20' HT	NATIVE		
MG	28	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA		16' HT	NATIVE		
CV	4	CALLISTEMON VIMINALIS	WEEPING BOTTLE BRUSH		10' HT X 5' SPR		4' ct	
Code	Quantity	Botanical	Common	Cont/Cal	Size	Native	Remarks	
SP	143	SABAL PALMETTO	CABBAGE PALMETTO		14' - 18' OAH	NATIVE	staggered	
VM	13	VEITCHIA MONTGOMERYANA	MONTGOMERY PALM		16' CT			
LN	41	LIVISTONIA NITIDA	RIBBON PALM		12' CT			
PS	26	PHOENIX SYLVESTRIS	WILD DATE PALM		12' CT			
Code	Quantity	Botanical	Common	Cont	Size	Native	Spacing	Remarks
BSK	29	BOUGAINVILLEA SPECTABILIS 'BARBARA KARST'	BARBARA KARST BOUGAINVILLEA	25 GAL	7' OA			
AGC	31	AGAVE AMERICANA	CENTURY PLANT		48" OA			
CHR	245	CHRYSOBALANUS ICACO	COCO PLUM	7 GAL	24" HT X 24" SPR	NATIVE	24" o.c.	
DIO	19	DIOON SPINULOSUM	CYCAD	25 GAL	4' HT		42" o.c.	
AI	50	ALCANTAREA IMPERIALIS	IMPERIAL BROMELIAD	15 GAL	30" HT			
MY	48	RAPANEA PUNCTATA	MYRSINE	15 GAL	36" HT			
ABO	28	AECHEA BLANCHETIANA	ORANGE BROMELIAD	15 GAL	36" OVERALL			
CGS	662	CLUSIA GUTTIFERA	SMALL-LEAF CLUSIA	7 GAL	24" HT X 24" SPR	NATIVE	30" o.c.	
Code	Quantity	Botanical	Common	Cont	Size	Native	Spacing	Remarks
ICB	1072	ILEX CORNUTA 'BURFORDII'	BURFORD CHINESE HOLLY	3 GAL	16"-18" HT		24" o.c.	
PEN	433	PENTAS LANCEOLATA	CRANBERRY PENTAS	1 GAL	10" HT X 8" SPR		12" o.c.	
AGP	72	AGAPANTHUS AFRICANUS 'PETER PAN'	DWARF BLUE LILY OF THE NILE	3 GAL	18" HT X 18" SPR		24" o.c.	
TFD	612	TRIPSACUM FLORIDANUM	DWARF FAKAHATCHEE GRASS	3 GAL	18" HT	NATIVE	24" o.c.	
NBG	630	NEPHROLEPIS BISERRATA	GIANT SWORDFERN	3 GAL	18" HT X 18" SPR	NATIVE	30" o.c.	
SG	385	SCHFFELERA ARBORICOLA 'GOLD CAPELLA'	GOLD CAPELLA ARBORICOLA	3 GAL	18" HT X 18" SPR		24" o.c.	
CHI	1337	CHRYSOBALANUS HORIZONTALIS	GREEN COCOPLUM	3 GAL	18" HT X 18" SPR	NATIVE	24" o.c.	
FGI	3388	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	3 GAL	18" HT X 18" SPR		18" o.c.	
RIH	498	RAPHIOLEPIS INDICA	INDIAN HAWTHORN	3 GAL	12" HT X 12" SPR		18" o.c.	
MU	1271	MUHLENBERGIA CAPILLARIS	PINK MUHLY	3 GAL	16"-18" HT	NATIVE	30" o.c.	
OCF	113	ODONTONEMA CALLISTACHYUM	PURPLE FIRESPIKE	3 GAL	18" HT X 14" SPR		18" o.c.	
PENN	164	PENNISSETUM SETACEUM 'RUBRUM'	PURPLE FOUNTAIN GRASS	3 GAL	18" HT X 12" SPR		24" o.c.	
PEN2	191	PENTAS LANCEOLATA 'RUBY RED'	RED PENTAS	1 GAL	10" HT X 8" SPR		12" o.c.	
SR	682	SERENOA REPENS	SAW PALMETTO	3 GAL	16"-18" HT	NATIVE	24" o.c.	
GGL	217	GALPHIMIA GLAUCA	THRYSALIS	3 GAL	24" HT X 24" SPR		24" o.c.	
IVY	721	ILEX VOMITORIA	YAUPOON HOLLY	3 GAL	18" HT X 18" SPR	NATIVE	18" o.c.	
BFD	727	BULBINE FRUTESCENS	'DESERT CANDLES'	3 GAL	15" HT X 15" SPR		15" o.c.	
Code	Quantity	Botanical	Common	Cont	Size	Native	Spacing	Remarks
ANN	1647.83	ANNUALS	COLOR/SPECIES TO BE APPROVED BY LA OR CLIENT	4" POT	12" HT		12" o.c.	
ARA	1468.13	ARACHIS GLABRATA	PERENNIAL PEANUT	Sod			6" o.c.	
SOD		STENOTAPHRIUM SECUNDATUM	ST. AUGUSTINE SOD					Staggered weed free sod panels

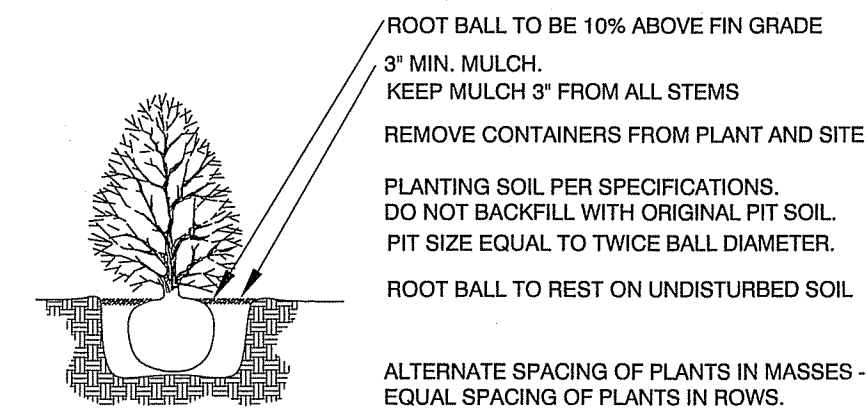
PLANTING DETAILS



Palm Tree Planting Detail N.T.S.

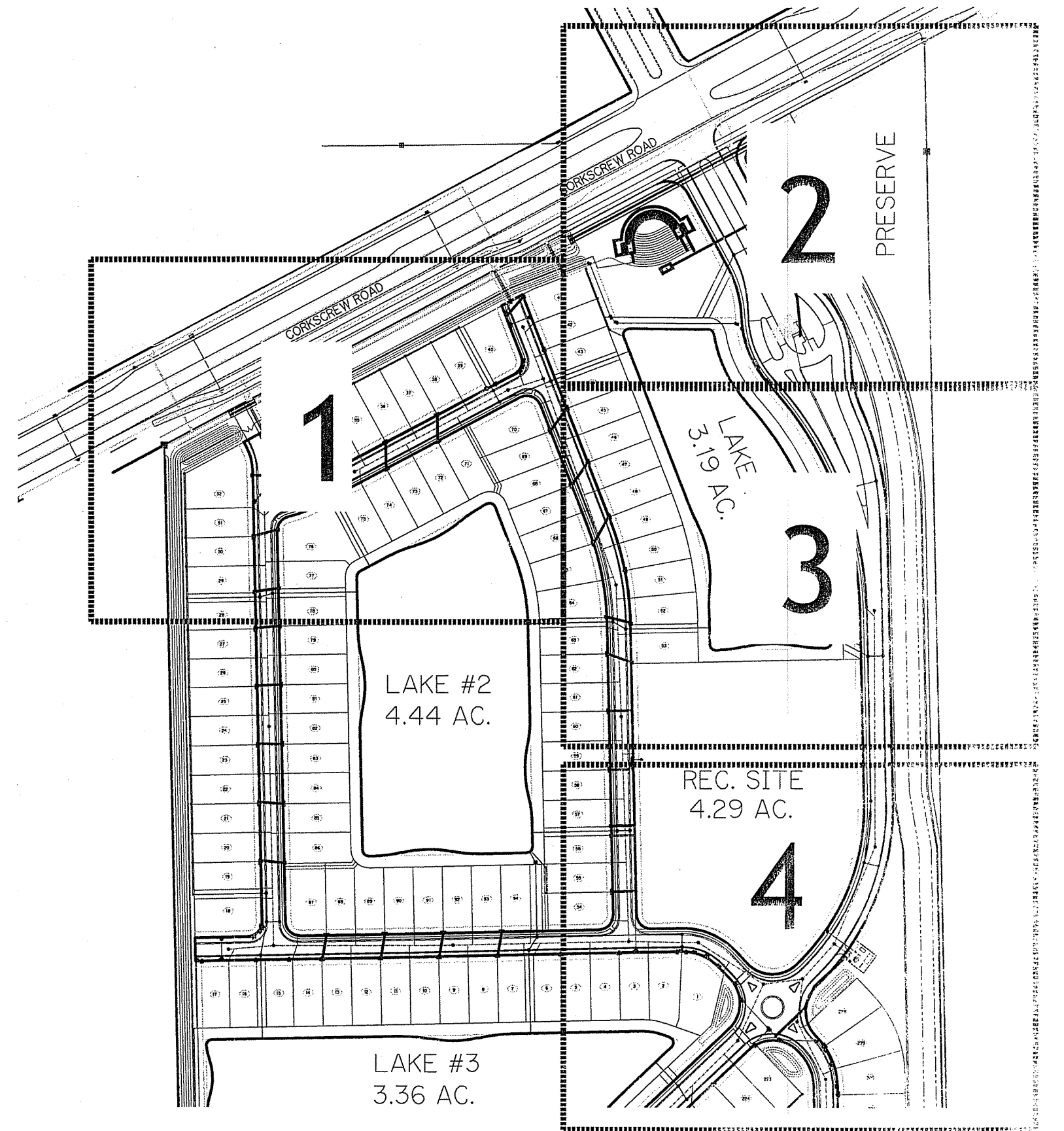


Tree Planting Detail N.T.S.



Shrub / Groundcover Planting Detail N.T.S.

LOCATION / KEY MAP



PLANTING NOTES

NAMES AND GRADES
 PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRASSES AND STANDARDS FOR NURSERY PLANTS' PARTS 1 & 2, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS NOT OTHERWISE SPECIFIED AS BEING FLORIDA FANCY OR SPECIMEN SHALL BE 'FLORIDA GRADE #1' OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN MEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLY AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY.

GENERAL REQUIREMENTS
 ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY UNLESS OTHERWISE SPECIFIED.

CONTAINER GROWN STOCK
 ALL CONTAINER GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE ROOTS WHICH ARE GOOD QUALITY AND IN A HEALTHY GROWING CONDITION. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. PLANTS ROOT BOUND IN CONTAINERS ARE UNACCEPTABLE.

MEASUREMENTS
 TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF 'V' CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.
 SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB BASES. TERMINAL GROWTH NOT INCLUDED.
 PALMS: CLEAR TRUNK (CT) SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR THE HEAD. OVERALL HEIGHT (OA) SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO A POINT THREE QUARTERS THE LENGTH OF THE UNOPENED BUD. PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

SOIL
 PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE ADDED AT A RATE OF 75% TO 25% EXISTING SOIL. THIS SOIL MIX SHALL BE USED IN ALL PLANT PITS EXCEPT SABAL PALMS WHICH SHALL BE BACKFILLED WITH CLEAN SAND. PLANTING SOIL SHALL BE A FERTILE, FRABLE NATURAL TOP SOIL OF LOAMY CHARACTER. IT SHALL CONTAIN 40 TO 50% DECOMPOSED ORGANIC MATTER AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIME, PLANTS, ROOTS OR OTHER FOREIGN MATTER OR NOXIOUS WEEDS. IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH.

LANDSCAPE NOTE
 THE LANDSCAPE ARCHITECT OF RECORD (LA) HAS ADVISED THE DEVELOPER AND/OR PROPERTY OWNER THAT PLANTING TREES IN CLOSE PROXIMITY TO EACH OTHER, STRUCTURES OR FLATWORK COULD RESULT IN GROWTH PROBLEMS WITH THE TREES, ASSOCIATED PLANT MATERIAL AND/OR SOD AND THE CLIENT HAS DIRECTED THE LA TO DESIGNATE THE TREES AND PLANT MATERIAL AS SHOWN HEREIN. AS SUCH, THE LA SHALL NOT BE HELD LIABLE FOR ANY ADVERSE EFFECTS TO ANY TREES, PALMS, PLANT MATERIAL, SOD, IRRIGATION, FLATWORK, STRUCTURES, HARDSCAPE ELEMENTS, VEHICLES, PEOPLE OR ANIMALS RESULTING FROM THE SPACING OR LOCATION OF TREES AND PLANT MATERIAL SHOWN HEREIN.

COMMERCIAL FERTILIZER
 TWO FERTILIZERS SHALL BE USED IN ALL TYPES OF PLANTINGS, EXCEPT PALMS. GRANULAR FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS EACH BEARING THE MANUFACTURERS STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS: 6% NITROGEN, 6% PHOSPHOROUS AND 6% POTASSIUM. TABLET FERTILIZER (AGRIFORM OR EQUAL) IN 21 GRAM SIZE SHALL MEET THE FOLLOWING REQUIREMENTS: 20% NITROGEN, 10% PHOSPHOROUS AND 5% POTASSIUM.
 THE TWO FERTILIZERS WILL BE APPLIED AT THE FOLLOWING RATES:
 1 GALLON: 1/4LB OF 6-6-6 & 1 AGRIFORM TABLET.
 3 GALLON: 1/3LB OF 6-6-6 & 2 AGRIFORM TABLETS.
 7-15 GALLON: 1/2LB OF 6-6-6 & 4 AGRIFORM TABLETS.
 1'-6" CALIPER: 2LBS OF 6-6-6 PER 1" CALIPER & 2 AGRIFORM TABLETS PER 1" OF CALIPER.
 6" AND LARGER: 3LBS OF 6-6-6 PER 1" CALIPER & 2 AGRIFORM TABLETS PER 1" CALIPER.
 'FLORIDA EAST COAST PALM SPECIAL' SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB PER INCH OF TRUNK CALIPER UNLESS OTHERWISE SPECIFIED.

MULCH
 MULCH MATERIAL SHALL BE 3" DEPTH OF NON-CYPRESS GRADE #3 SHREDDED MULCH MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT.

SOD
 SOD SHALL MEET FLORIDA STATE PLANT BOARD SPECIFICATION, ABSOLUTELY TRUE TO VARIETY, TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND.

SUBSTITUTIONS
 NO SUBSTITUTIONS OF PLANT MATERIAL TYPES OR SIZES SHALL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT AND CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS A SUBSTITUTE FOR

THE QUANTITIES AND LOCATIONS SHOWN HEREIN ARE FOR REFERENCE ONLY AND MAY CHANGE TO ACCOMMODATE FIELD CONDITIONS OR DESIGN CHANGES UNLESS THEY ARE REQUIRED TO SATISFY CODE REQUIREMENTS OR CONDITIONS OF APPROVAL BY THE GOVERNING AGENCIES.

IRRIGATION NOTES:
 IRRIGATION SHALL BE PROVIDED VIA AN UNDERGROUND AUTOMATIC SPRINKLER SYSTEM FITTED WITH A RAIN SENSOR AND PROVIDING 100% COVERAGE

LEE COUNTY HOMES
 ASSOCIATES IV LLLP
 1600 SAWGRASS CORPORATE PKWY
 SUITE 400
 SUNRISE, FLORIDA 33323

Project:
 CORKSCREW
 CROSSING
 Lee County

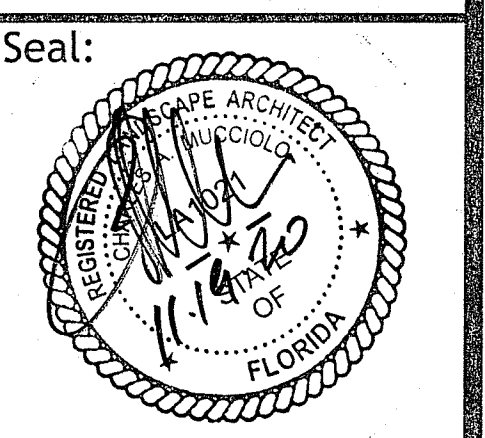
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 Entrance Landscape
 Plans

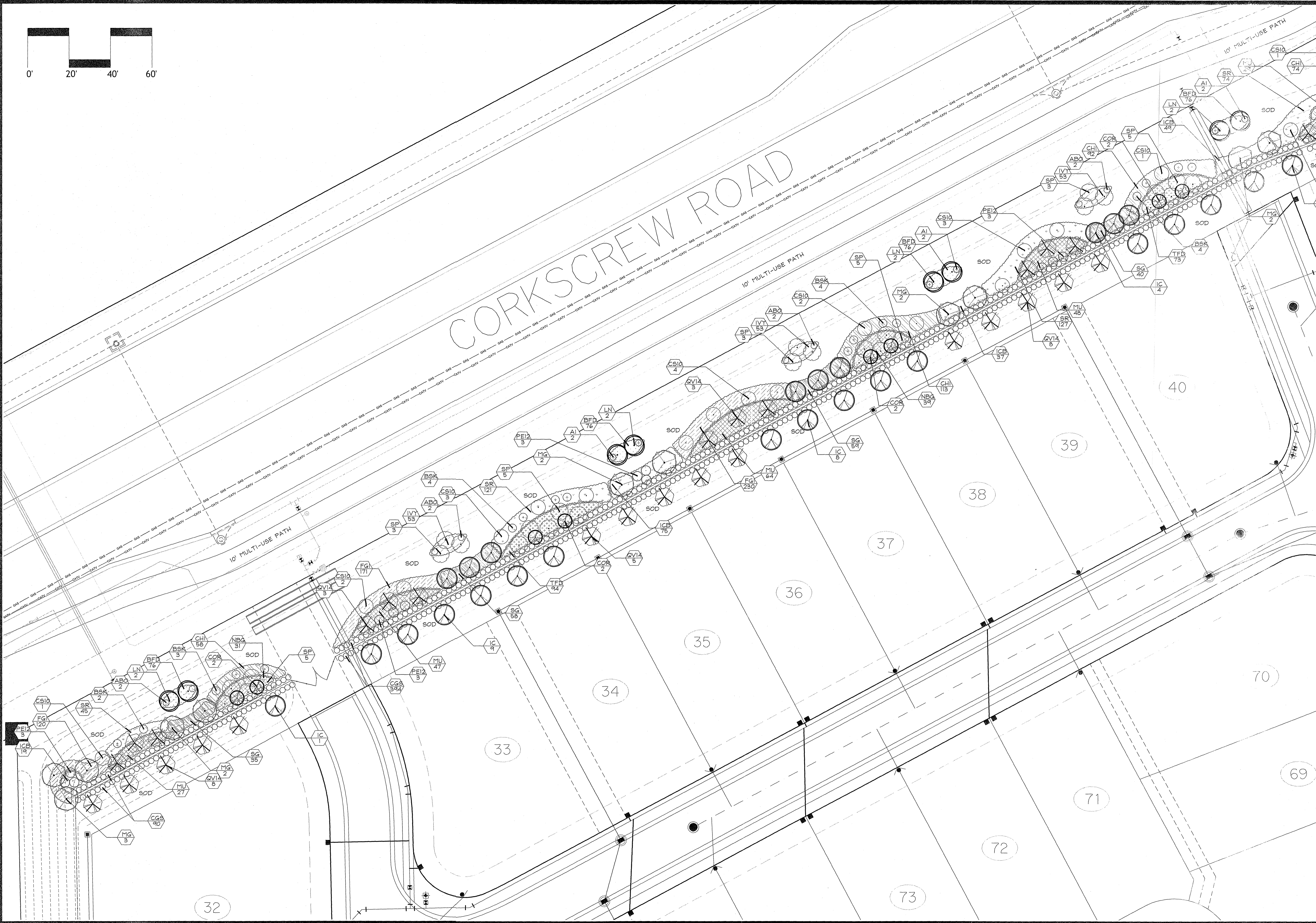
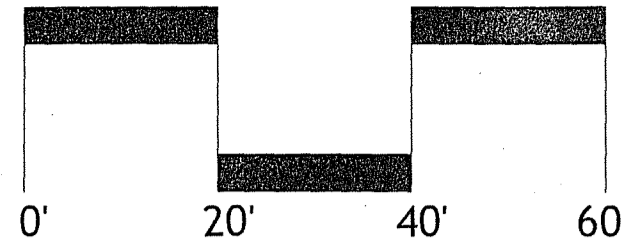
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LEE COUNTY HOMES
 ASSOCIATES IV LLLP
 1600 SAWGRASS CORPORATE PKWY
 SUITE 400
 SUNRISE, FLORIDA 33323

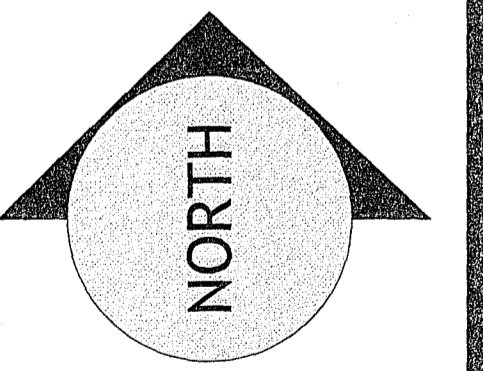
Project:
 CORKSCREW
 CROSSING
 Lee County

Sheet title:
 Corkscrew Road
 Buffer, Landscape Plan

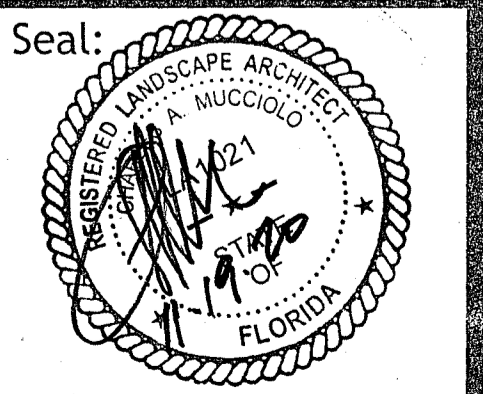
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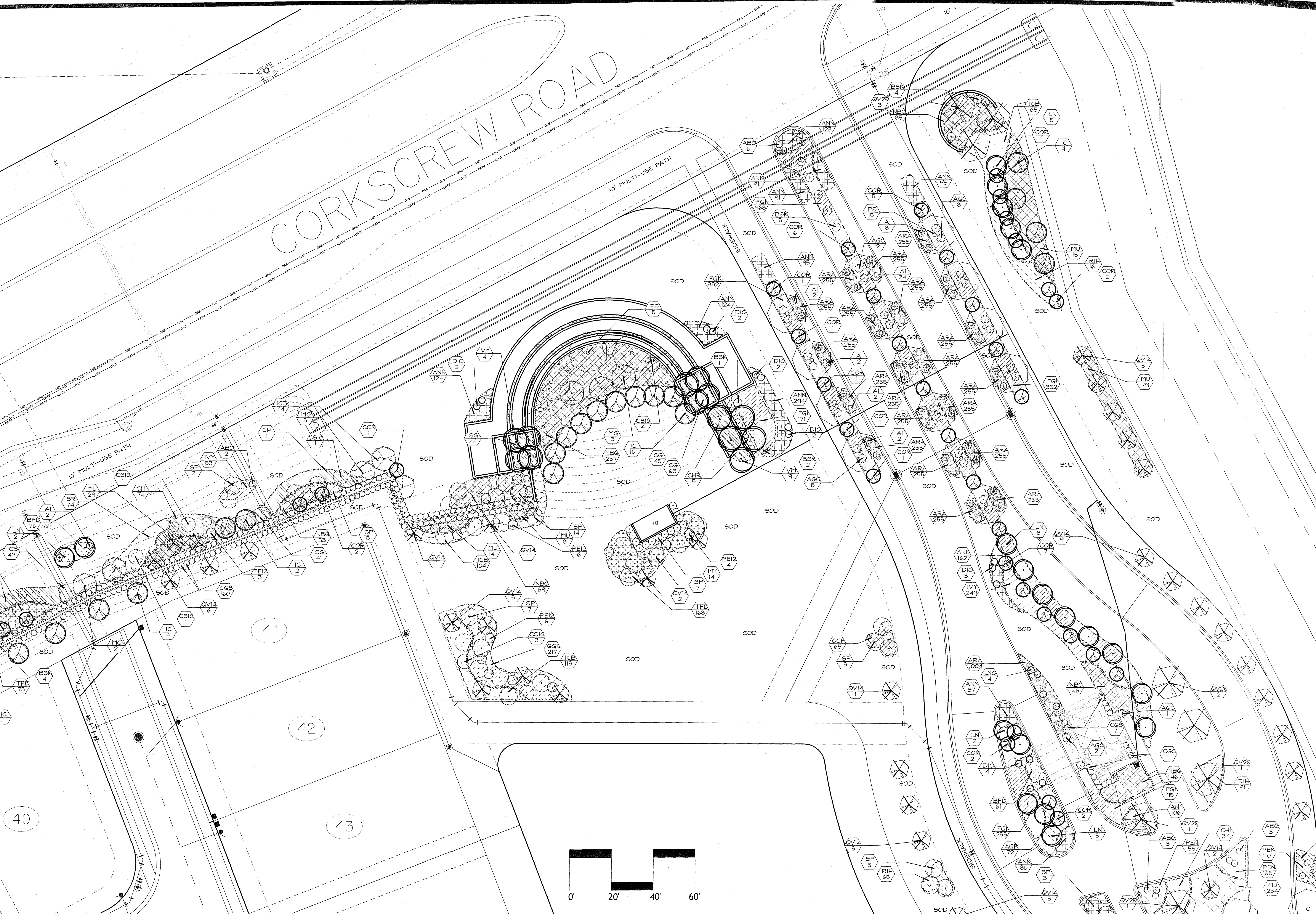
Revisions:



Sheet number:
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CORKSCREW ROAD



LEE COUNTY HOMES
 ASSOCIATES IV LLLP
 1600 SAWGRASS CORPORATE PKWY
 SUITE 400
 SUNRISE, FLORIDA 33323

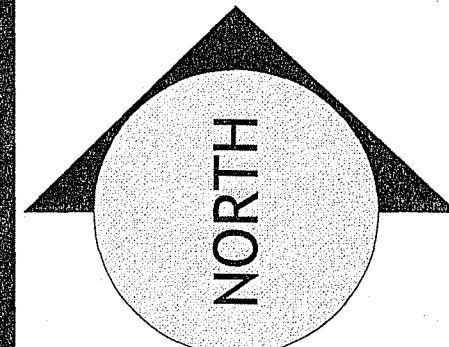
Project:
 CORKSCREW
 CROSSING
 Lee County

Sheet title:
 Corkscrew Road
 Main Entrance
 Landscape Plan

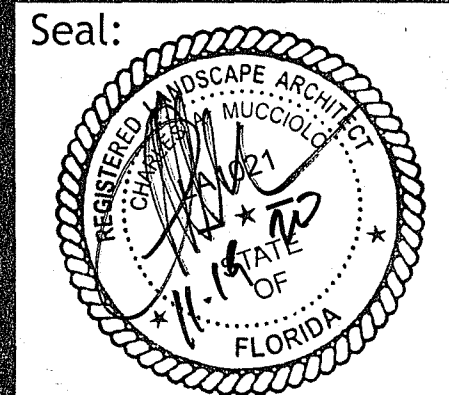
Date:
 11-20-20

Scale:
 1"=20'-0"

Revisions:



Sheet number:
2

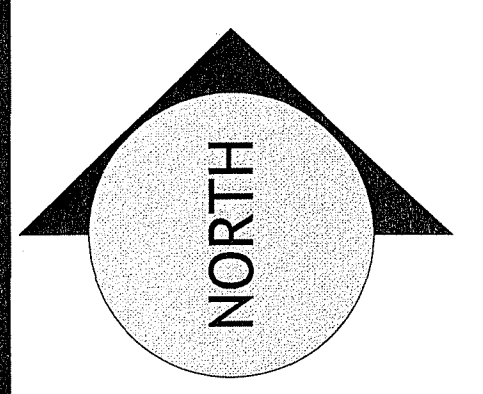


LEE COUNTY HOMES
ASSOCIATES IV LLLP
1600 SAWGRASS CORPORATE PKWY
SUITE 400
SUNRISE, FLORIDA 33323

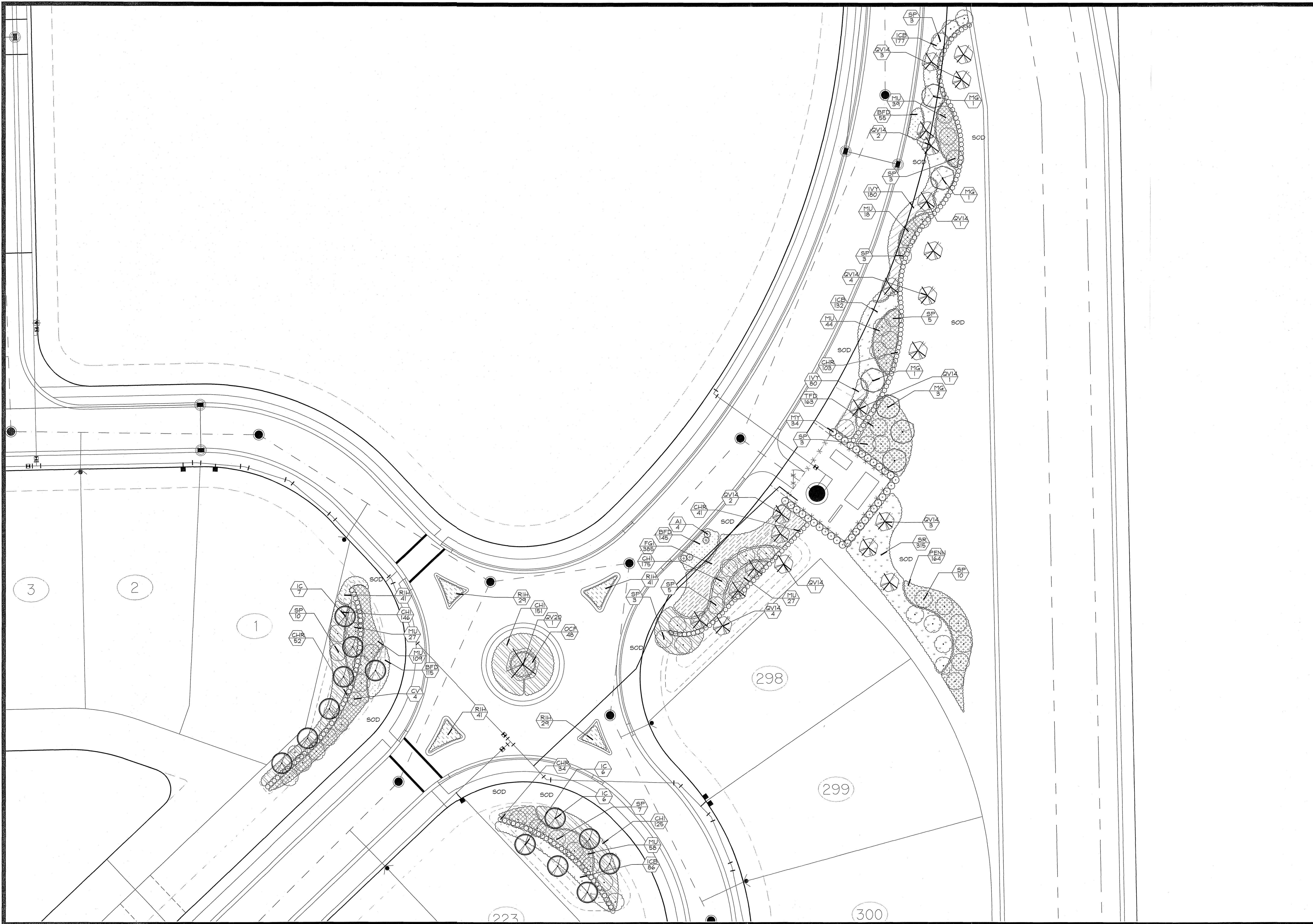
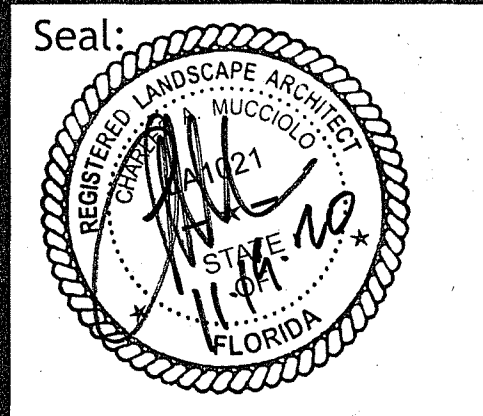
Project:
CORKSCREW
CROSSING
Lee County

Sheet title:
Main Entrance Road
Round-a-Bout Lift-
Station Landscape
Plan

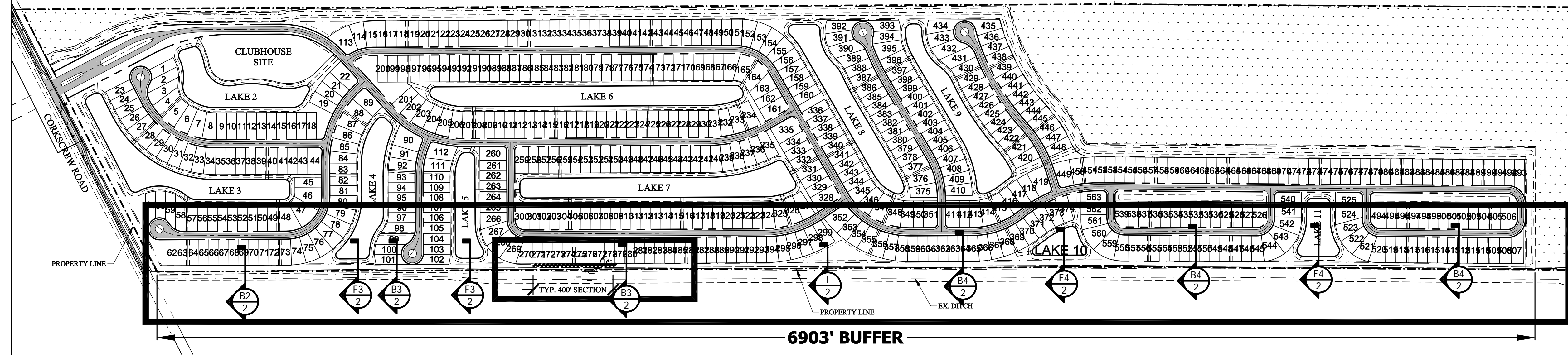
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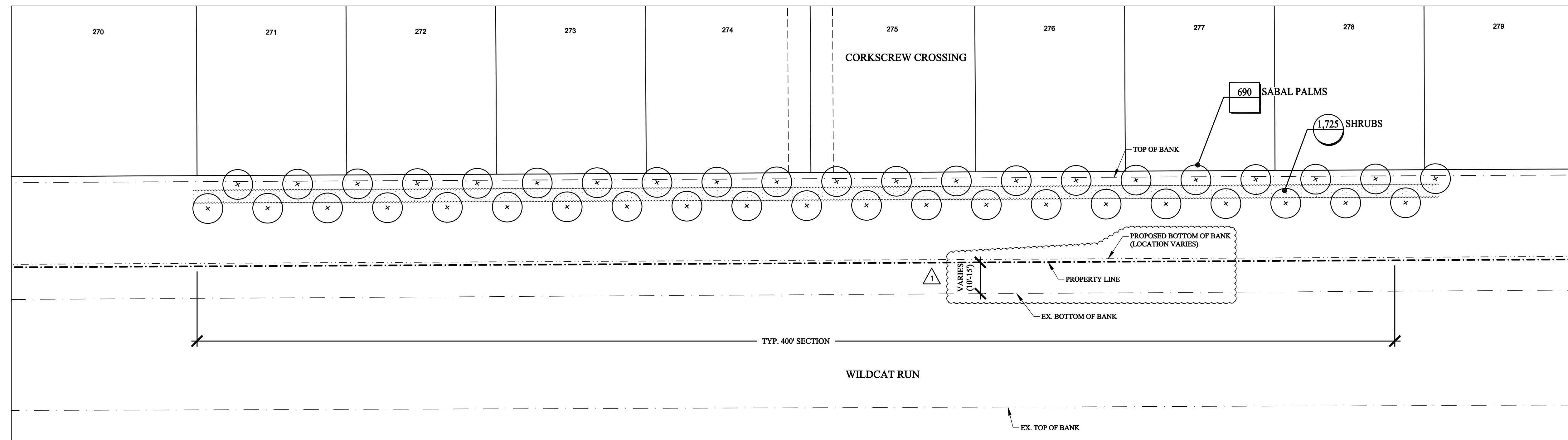
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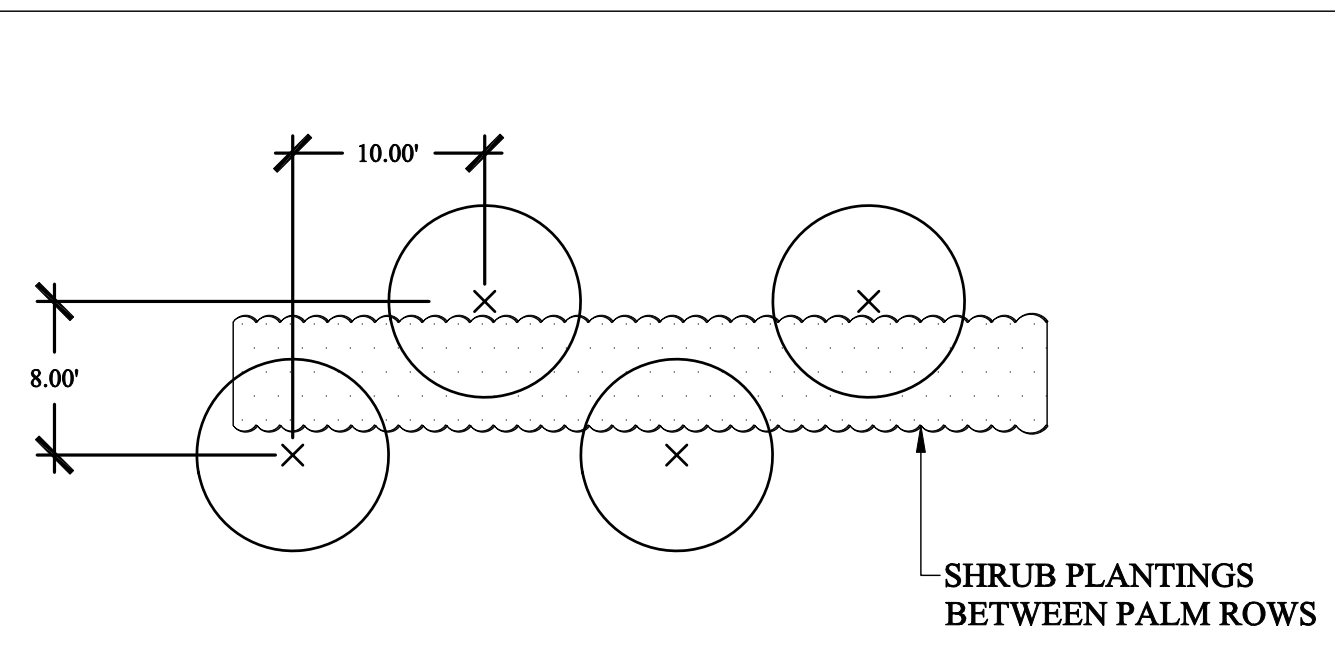
CORKSCREW CROSSING AND WILDCAT RUN BUFFER LANDSCAPE PLAN



SCALE 1" = 300'



TYPICAL 400' SECTION
SCALE 1" = 20'



PALM SPACING DETAIL
DOUBLE STAGGERED ROW
SCALE 1" = 10'

PLANTING QUANTITIES

SABAL PALMS - 6,903 L.F. / 10 = 690 PALMS

Canopy: Sabal palmetto staggered heights 10' OA to 16' OA planted in double staggered rows 10'x8' OC, and planted in a fashion that when the heads mature they will form a solid opaque buffer.

Hedge: A solid screen hedge maintained in perpetuity to an elevation 8' above surrounding grade from the following plants is to be provided; however, each species is to be planted as a monoculture of 200 LF minimum:

SHRUBS - 6,903 L.F. / 4 = 1,725 SHRUBS / 4 types = 431 of each shrub species. Maintained to 8' height with each species to be planted as a monoculture of 200 LF min.

SYM	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATION	NATIVE
TREES					
690		Sabal Palm	Sabal palmetto	8', 12', 16', 20' ct, staggered adjacent hts.	Y
SHRUBS					
431		Florida privet	Forestiera segragata	double staggered rows, 3G plants 36" OC	Y
431		Silver Saw Palmetto	Serenoa repens 'Sericeus'	double staggered rows, 10G plants 60" OC	Y
431		Arbicola	Schefflera arboricola	Green only, double staggered rows, 3G/7G plants 48" OC	N
431		Cocoplum	Chrysobalanus icaco	double staggered rows, 3G/7G plants 48" OC	Y

CORKSCREW CROSSING PLANTING NOTES

- Specified buffer plantings are to be maintained 'full to the ground' with no pruning that shows branches.
- Plantings and plant species given herein notwithstanding it is the responsibility of Corkscrew Crossing and any and all eventual assigns to maintain the described 100% opaque buffer from an elevation starting at the finished grade at the property line to an elevation 24' above the finished grade;
- Specified buffer plantings are to be provided in advance of and as a condition to any certificate of occupancy or similar regulatory occupancy or proof of completion for any building, including homes, model centers, sales facilitates and guard houses;
- Permanent irrigation is to be provided by Corkscrew Crossing with water sourced from Corkscrew Crossing, and to consist of 100% coverage of all required plant material;
- All irrigation is to be provided by spray heads with a maximum radius of 10 feet with 100% overlap;
- Temporary-style 'Blue Stripe' (or equivalent) is not to be used except as additional irrigation for larger palms and trees during a limited establishment period;
- Temporary irrigation ('Blue stripe' or equivalent) is to be installed to provide water to all Sabal Palms, or Everglades Palms until they are established, minimum of one full season;
- Plantings are to be maintained in a natural, 'unclipped' style;
- All specified buffer plantings are to be maintained in perpetuity by Corkscrew Crossing;
- Specified buffer plantings are to be maintained in an 'as new' condition in perpetuity, and that replacement trees, palms, shrubs, irrigation or related appurtenances shall from time to time require replacement to maintain the required function;
- Any replacement material is to meet the specification of the original plantings.

BUFFERING AT CONDITION A: PLANTINGS WHERE HOMES ARE ON THE COMMON PROPERTY LINE

Canopy: Sabal Palmetto staggered heights (see specification this sheet for size and spacing) planted in a fashion that when the heads mature they will form a solid opaque buffer.
Hedge: A solid screen hedge maintained in perpetuity to an elevation 8' above surrounding grade from the following plants is to be provided; however, each species is to be planted as a monoculture of 200 LF minimum:

- Florida Privet (Forestiera segragata), double staggered rows, 3G plants 36" OC;
- Silver Saw Palmetto (Serenoa repens 'Sericeus'), double staggered rows, 10G plants 60" OC;
- Arbicola (Schefflera arboricola) Green only, double staggered rows, 3G/7G plants 48" OC;
- Cocoplum (Chrysobalanus icaco), double staggered rows, 3G/7G plants 48" OC

BUFFERING AT CONDITION B: PLANTINGS WHERE RETENTION OR OTHER OPEN SPACE IS ON THE COMMON PROPERTY LINE

A combination of Canopy and Hedge plantings as specified above may be continued in this area. As an alternative, any of the following combinations of plantings may be provided:

- Everglades Palm (Acoelorrhaphes wrightii), single row, 8' OC, B&B 6' OC;
- Oak Trees (Quercus virginiana) 16H x 6W with Silver Saw Palmetto (Serenoa repens 'Sericeus'), double staggered rows, 10G plants 60" OC.



GradyMinor

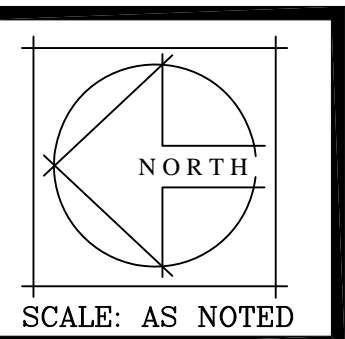
Civil Engineers
Landscape Architects
Land Surveyors
planners

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Naples 239.444.2397

www.GradyMinor.com

David Kent Carlyle ASLA

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CORKSCREW CROSSING
LANDSCAPE PLANTING PLAN
LEE COUNTY

DESCRIPTION
PER HOA COMMENTS
07/15/15

SHEET
1 OF 2

DATE: JUNE 2015

EXHIBIT "D"

