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## AGENDA

### DESIGN REVIEW BOARD MEETING

9401 Corkscrew Palms Circle, Estero, Florida

January 8, 2020

5:30 p.m.

*Design Review Board: Chairman - Barry Jones; Vice Chairman - Michael Sheeley  
Thomas Barber; William Glass; and Zach Zachariah*

**1. CALL TO ORDER**

**2. PLEDGE OF ALLEGIANCE**

**3. ROLL CALL**

**4. APPROVAL OF AGENDA**

**5. BUSINESS**

Items on the agenda are generally treated in sequential order, and due to the length of the agenda any or all of the items listed for discussion may be rescheduled to a later date for consideration. **The public will have an opportunity to speak during each agenda item; each individual has one opportunity to speak for five minutes per agenda item.**

**(a) Public Information Meeting**

- (1) JDM Development Coconut Trace Medical Office Center (District 2)  
22904 Lyden Drive, located west of Lyden, north of Bulb Lane and south of  
Autumn Leaves Assisted Living Facility.

Applicant seeks to construct a freestanding single-story medical office building  
on a 1.2-acre vacant site.

**(b) Public Hearing**

- (1) Wildcat Run Clubhouse Renovation (LDO2019-E039) (District 7)  
20300 Country Club Drive, Wildcat Run PUD
- Review the proposed renovation and expansion of the 19<sup>th</sup> Hole grill room  
and outdoor deck and Bocce Courts.

- *The applicant is requesting Design Review Board approval of the Limited Development Order to allow for the club's expansion and renovation.*

**6. PUBLIC INPUT (Each individual will be given five minutes to speak)**

**7. BOARD COMMUNICATIONS**

- (a) Next meeting January 22, 2020**

**8. ADJOURNMENT**

If you desire to address the Board, please complete a Public Comment Card and return it to the Village Clerk. Citizens desiring to speak must step up to the podium, state their full name and address and/or whom he or she represents.

ADA Assistance – Anyone needing special assistance at the Board meeting due to a disability or physical impairment should contact Village Clerk Kathy Hall, 239-221-5033, at least 48 hours prior to the meeting.

Pursuant to Section 286.0105, Florida Statutes:

“If a person decides to appeal any decision made by the board, agency, or commission with respect to any matter considered at such meeting or hearing, he or she will need a recording of the proceeding, and that, for such purpose, he or she may need to ensure that a verbatim recording of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.”

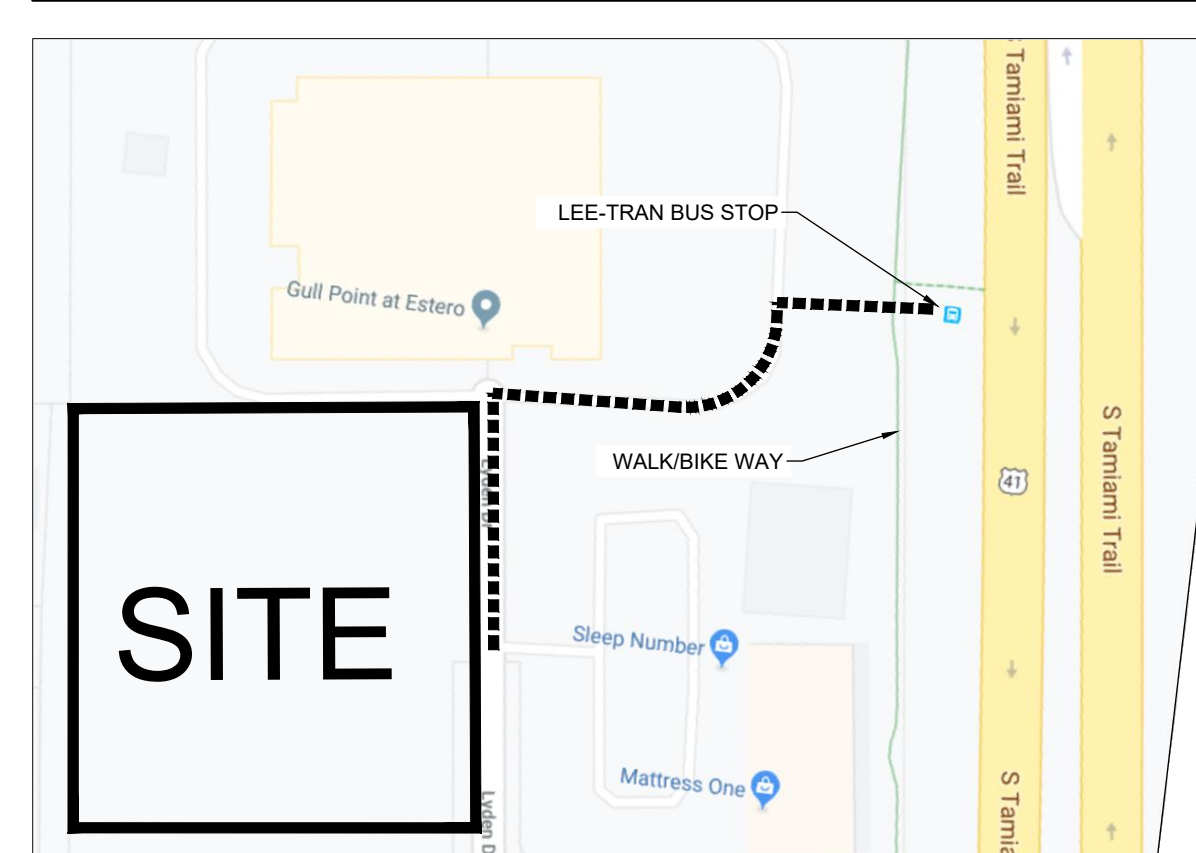
SITE DATA:	
MINIMUM PAVEMENT ELEV.	CONTROL ELEVATION:
ELEV. 13.55' NAVD	ELEV. 11.3' NAVD
MINIMUM FINISH FLOOR ELEVATION:	PERIMETER BERM ELEVATION:
ELEV. 15.55' NAVD	ELEV. 14.55' NAVD
AVERAGE EXISTING GROUND ELEVATION:	STRAP NUMBERS:
ELEV. 13.2' NAVD	04-47-25-E3-S100E.0000
ZONING:	
COM - COMMERCIAL	
PROPOSED USE:	
MEDICAL	
FEMA FLOOD ZONE:	
THIS PROPERTY IS LOCATED FLOOD ZONE X IN FIRM COMMUNITY*	BASE FLOOD ELEV. = N/A DATED: ** REFER TO TABLE ABOVE

SITE DEVELOPMENT REGULATIONS:		
REQUIRED	PROVIDED	
<b>LOT AREA/DIMENSIONS:</b>		
AREA:	43,560 SF	52,299 SF
WIDTH:	100 FT	300 FT ±
DEPTH:	100 FT	500 FT ±
<b>SETBACKS</b>		
ROAD	20 FT	131.73 FT
SIDE YARD	15 FT	15.33 FT
REAR YARD	25 FT	40 FT
MAX. BUILDING HEIGHT	30' (3 STORIES)	<30 FT (1 STORY)
SIDE YARD (ANCLINARY)	15'	15'
MAX. LOT COVERAGE	55 %	50.25 %

REFUSE AND SOLID WASTE DISPOSAL FACILITIES: LDC 10-261	
1. A MINIMUM OVERHEAD CLEARANCE OF 22 FEET IS REQUIRED AND A 12' WIDE UNOBSTRUCTED ACCESS OPENING MUST BE PROVIDED TO ACCOMMODATE ALL STORAGE AREAS/CONTAINERS.	
2. ALL STORAGE AREAS / CONTAINERS MUST BE ADEQUATELY SHIELDED BY LANDSCAPED SCREEN OR SOLID FENCING ALONG AT LEAST THREE SIDES. USE OF CHAIN LINK FENCING TO MEET THIS REQUIREMENT IS PROHIBITED. REFER TO VILLAGE OF ESTERO LDC 10-610(c)(2) FOR GUIDELINES.	
3. COMMERCIAL, INDUSTRIAL & MULTIFAMILY DEVELOPMENT USING A COMPACTOR FOR GARBAGE COLLECTION MUST PROVIDE SUFFICIENT SPACE FOR THE COMPACTOR (INCLUDING RECEIVER) IN ADDITION TO SPACE REQUIRED FOR RECYCLABLE COLLECTION.	
4. ENCLOSURE SETBACKS, CONTAINER SPACE ENCLOSURES USES AS PROVIDED IN ACCORD WITH VILLAGE OF ESTERO LDC 10-416(d)(3) & (4). CONCRETE WALL ENCLOSURES MAY NOT BE LOCATED WITHIN A PUBLIC UTILITY OR DRAINAGE EASEMENT.	
0-5,000 SF REQUIRE 60 SF (GARBAGE) & 24 SF (RECYCLABLE), TOTAL = 84 SF	
5,001 - 10,000 SF REQUIRES 80 SF (GARBAGE) & 48 SF (RECYCLABLE), TOTAL = 128 SF	
10,001 - 25,000 SF REQUIRES 120 SF (GARBAGE) & 86 SF (RECYCLABLE), TOTAL = 216 SF	
25,000 SF + REQUIRES 216 SF FOR THE FIRST 25,000 SF PLUS 8 SF FOR EACH ADDITIONAL 1,000 SF.	
BUILDING USE: 10,760 SF COMMERCIAL BUILDING	PROVIDE CALCULATIONS:
TOTAL REQUIRED DISPOSAL AREA (SF) =	216 SF
TOTAL PROVIDED DISPOSAL AREA (SF) =	216 SF

PARKING CALCULATIONS: LDC 34-2020	
MEDICAL FACILITIES	
PARKING SPACES REQUIRED: MEDICAL FACILITIES = 4.5 SPACES PER 1,000 SQ. FT.	
TOTAL FLOOR AREA	10,760 SF
TOTAL NUMBER OF SPACES REQUIRED	49
5% REDUCTION FOR BIKEWAYS / WALKWAYS (LDC 34-2020 (c)(3)) ADJUSTED PARKING PROVIDED	49 - 2 = 47 REQ.
TOTAL NUMBER OF SPACES PROVIDED	50
TOTAL NUMBER OF HANDICAP SPACES PROVIDED *	2
* HANDICAP SPACES ARE INCLUDED IN TOTAL SPACES PROVIDED	

PUBLIC TRANSIT: LDC 10-441	
DISTANCE TO NEAREST PUBLIC TRANSIT ROUTE:	500 LF, LEE TRAN ROUTE 140 / U.S. 41.



LAND USE BREAKDOWN:			
TOTAL SITE AREA	52,299 SF	1.20 AC.	
BUILDING AREA	10,760 SF	0.25 AC.	20.57%
PAVEMENT AREA (ON-SITE)	19,510 SF	0.45 AC.	37.30%
CONCRETE AREA	2,484 SF	0.06 AC.	4.75%
OPEN SPACE	18,055 SF	0.41 AC.	34.52%
CONCRETE / PAVEMENT AREA (OFF-SITE)	496 SF	0.01 AC.	0.95%
TOTAL IMPERVIOUS AREA	32,754 SF	0.75 AC.	62.63%
TOTAL PERVIOUS AREA	19,545 SF	0.45 AC.	37.37%
			100.00%

- SIGNING AND PAVEMENT MARKING NOTES:**
- ALL SIGNING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE F.D.O.T. STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, THE F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND VILLAGE OF ESTERO DEPARTMENT OF TRANSPORTATION PUBLISHED STANDARDS.
  - PAVEMENT MARKINGS SHALL BE PERMANENT TRAFFIC PAINT IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS SECTION 710.
  - MATCH EXISTING PAVEMENT MARKINGS AT EXISTING ROADS.
  - REMOVE ANY EXISTING SIGNS OR PAVEMENT MARKINGS IN CONFLICT WITH THOSE SHOWN ON PLANS.
  - ALL STOP SIGN LOCATIONS SHALL INCLUDE A 24" PAINTED WHITE STOP BAR UNLESS NOTED OTHERWISE.
  - THE CONTRACTOR SHALL COMPLY WITH THE STATE OF FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS AND WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
  - THE CONTRACTOR SHALL FURNISH AND INSTALL STREET NAME SIGNS IN ACCORDANCE WITH VILLAGE OF ESTERO DEVELOPMENT STANDARDS.
  - ALL PAVEMENT MARKINGS WITHIN THE FDOT RIGHT OF WAY SHALL BE THERMO PLASTIC
  - ALL EXISTING PAVEMENT MARKINGS THAT ARE IN CONFLICT WITH PROPOSED MARKINGS SHALL BE REMOVED BY HYDRO BLASTING.

**VILLAGE OF ESTERO CONSISTENCY PLAN:**

THE PROPOSED PROJECT IS CONSISTENT WITH THE VILLAGE OF ESTERO LAND DEVELOPMENT CODE AND THE GOALS, OBJECTIVES & POLICIES SET FORTH IN THE VILLAGE OF ESTERO PLAN, INCLUDING BUT NOT LIMITED TO STANDARDS AND PROVISIONS, SITE LOCATION CRITERIA, ACREAGE ALLOCATION TABLE, LAND USE CATEGORY & LAND USE MAP.

- ADA ACCESSIBILITY NOTES:**
- ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (INCLUDES RUNNING SLOPE AND CROSS SLOPE).
  - AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
  - SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
  - IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE RW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
  - IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
  - ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.

**PROJECT PHASING PLAN:**

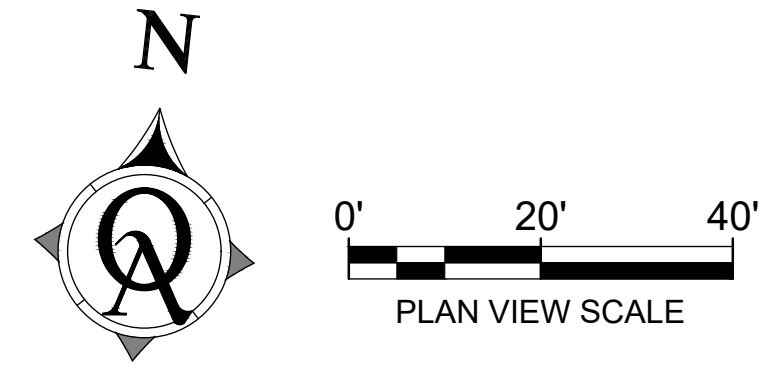
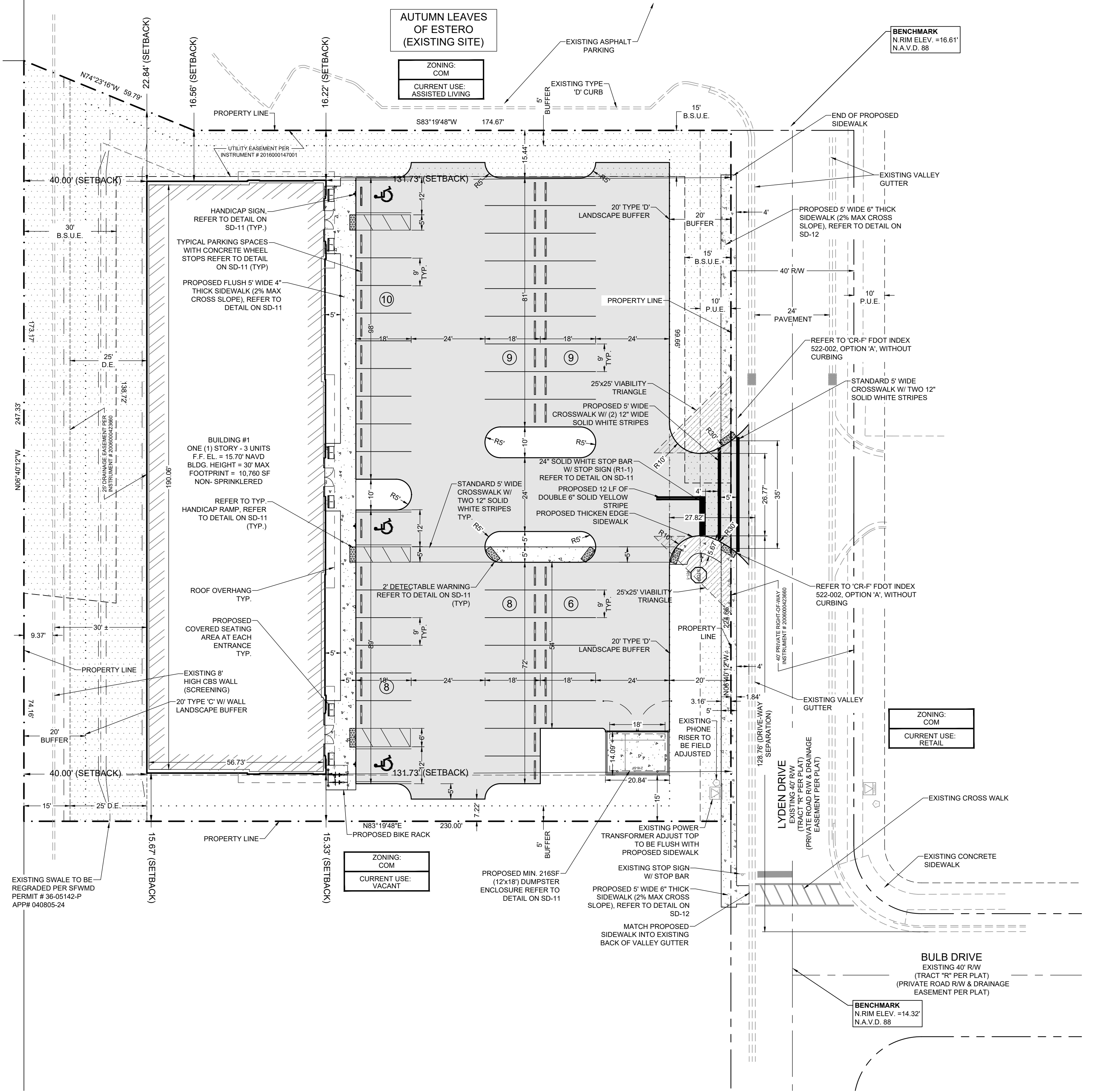
THE PROJECT INFRASTRUCTURE SHALL BE CONSTRUCTED IN 1 PHASE.

SITE PLAN LEGEND:			
	PROPOSED PAVEMENT		DUMPSITER W/ ENCLOSURE
	PROPOSED CONCRETE / WALKS		SIGN AND POST
	PROPOSED BUILDING LINE		
	PAINTED HANDICAP PARKING SYMBOL		
	PROPOSED STOP SIGN		
	NUMBER OF PARKING SPACES IN ROW		

**ZONING NOTES:**

THE PROPOSED DEVELOPMENT COMPLIES WITH THE COMMERCIAL SUBDIVISION APPROVED UNDER RESOLUTION NUMBER Z-00-010.

- THE PROPOSED USES OF HEALTH CARE FACILITIES (GROUP III), MEDICAL OFFICES AND OTHER USES FOR TRACTS "E" AND "F".



REV	REVISION	DATE

JDM DEVELOPMENT  
SITE PLAN  
22804 LYDEN DRIVE  
LEE COUNTY, FLORIDA

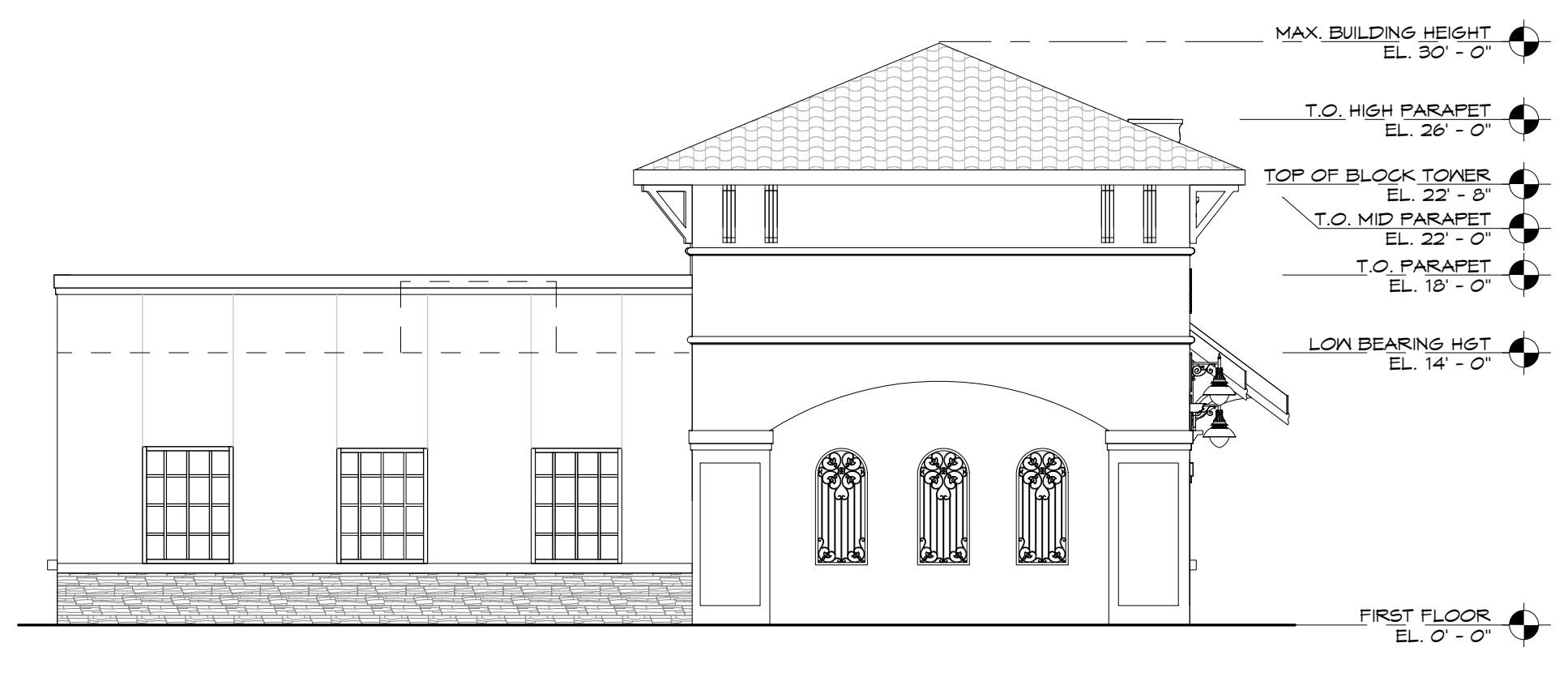
Quattrone & Associates, Inc.  
Engineers, Planners, & Development Consultants  
4301 Veronica Shoemaker Blvd - Fort Myers, Florida 33916 - 239-936-5222  
Certificate of Authorization Number: 9465

P:\2019 Projects\190902 COCONUT TRACE\ACTIVE\1-CADD FILES\01-CAD CADD - VERSION A\02-PRODUCTION PLANS\190902-SD



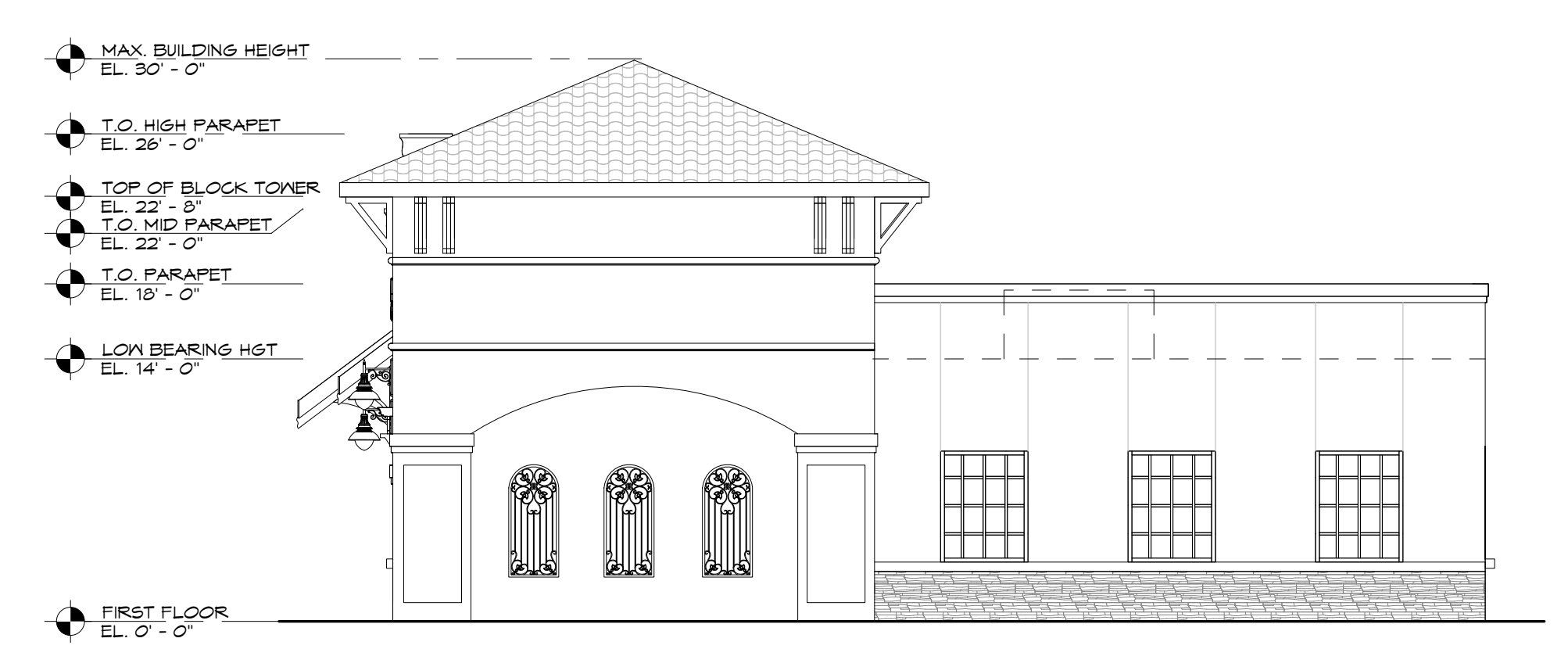
**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



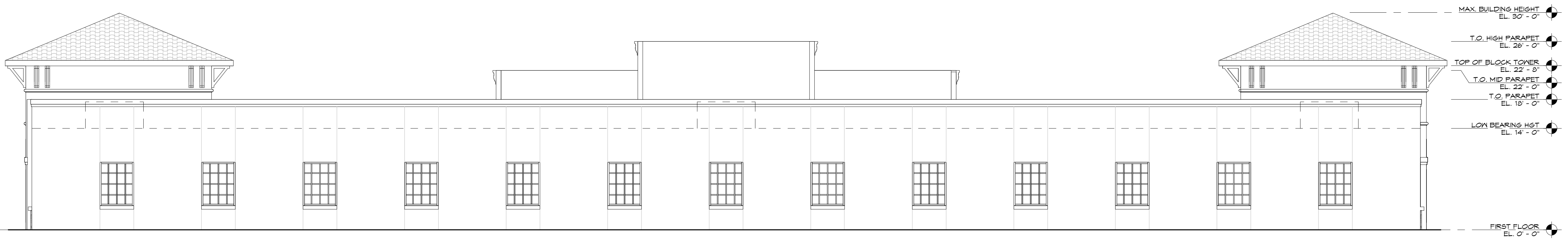
**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



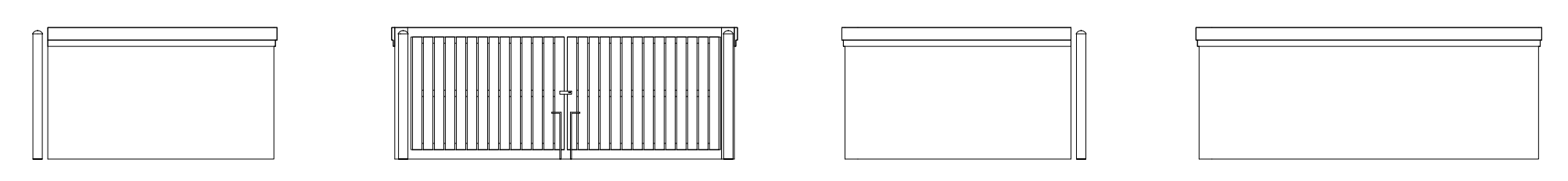
**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



PROVIDE MIN. 216 SF (12X18) DUMPSTER ENCLOSURE. PAINTED STUCCO, COLOR AND FINISH TO MATCH BUILDING.

**DUMPSTER ENCLOSURE ELEVATIONS**

SCALE: 1/8" = 1'-0"

NEW OFFICE BUILDING SHELL FOR:  
**JDM DEVELOPMENT**  
 22904 Lyden Drive  
 Estero, FL 33428

**ADG ARCHITECTURE, LLC**  
 ARCHITECTURE • PLANNING • INTERIOR DESIGN

4161 Tamiami Trail #501  
 Fort Charlotte, Florida 33852  
 Ph. (813) 858-2450 Fax (813) 858-2458

3820 Colonial Blvd. #100  
 Fort Myers, Florida 33966  
 Ph. (239) 277-5554 Fax (239) 277-0741

AA-26002422

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STATE OF FLORIDA  
 ROBERT T. TAYLOR  
 AR0012668  
 REGISTERED ARCHITECT

ROBERT T. TAYLOR  
 AR0012668

00 - 00 - 2019

**A201**  
 PROJECT NO. 2019-149

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**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



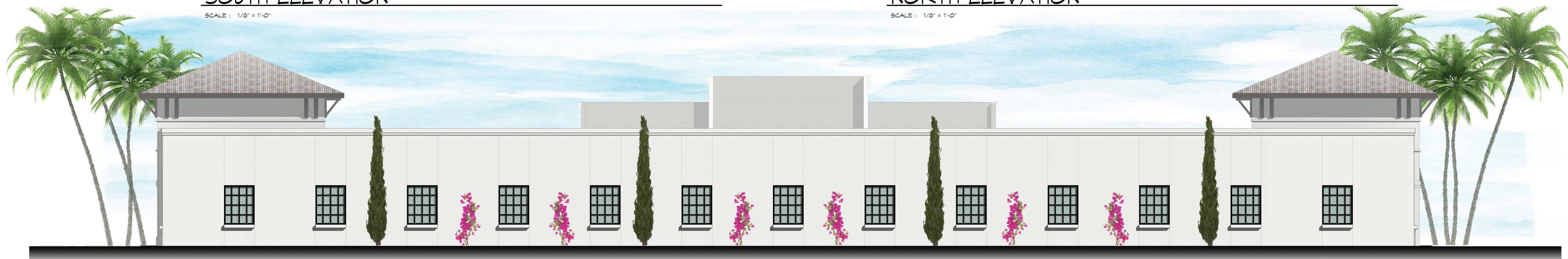
**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"

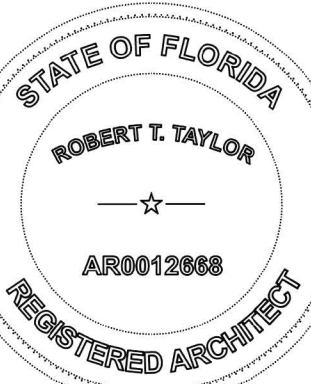
NEW OFFICE BUILDING SHELL FOR:  
**JDM DEVELOPMENT**  
 22904 Lyden Drive  
 Estero, FL 33928



4161 Tamiami Trail #501  
 Fort Charlotte, Florida 33952  
 Ph: (941) 859-2450 Fax: (941) 639-2438  
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 Fort Myers, Florida 33966  
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 AA-28002422



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ROBERT T. TAYLOR  
 AR0012668

00 - 00 - 2019

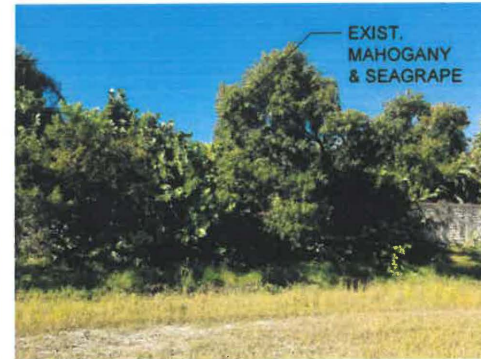
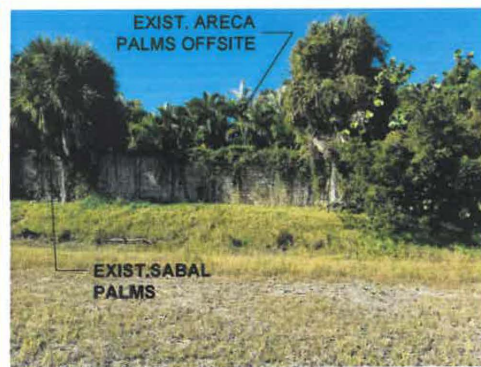
**A201**

PROJECT NO. 2019-143



COMPREHENSIVE FOOT & ANKLE CARE  
JAMES MONROE, D.P.M.

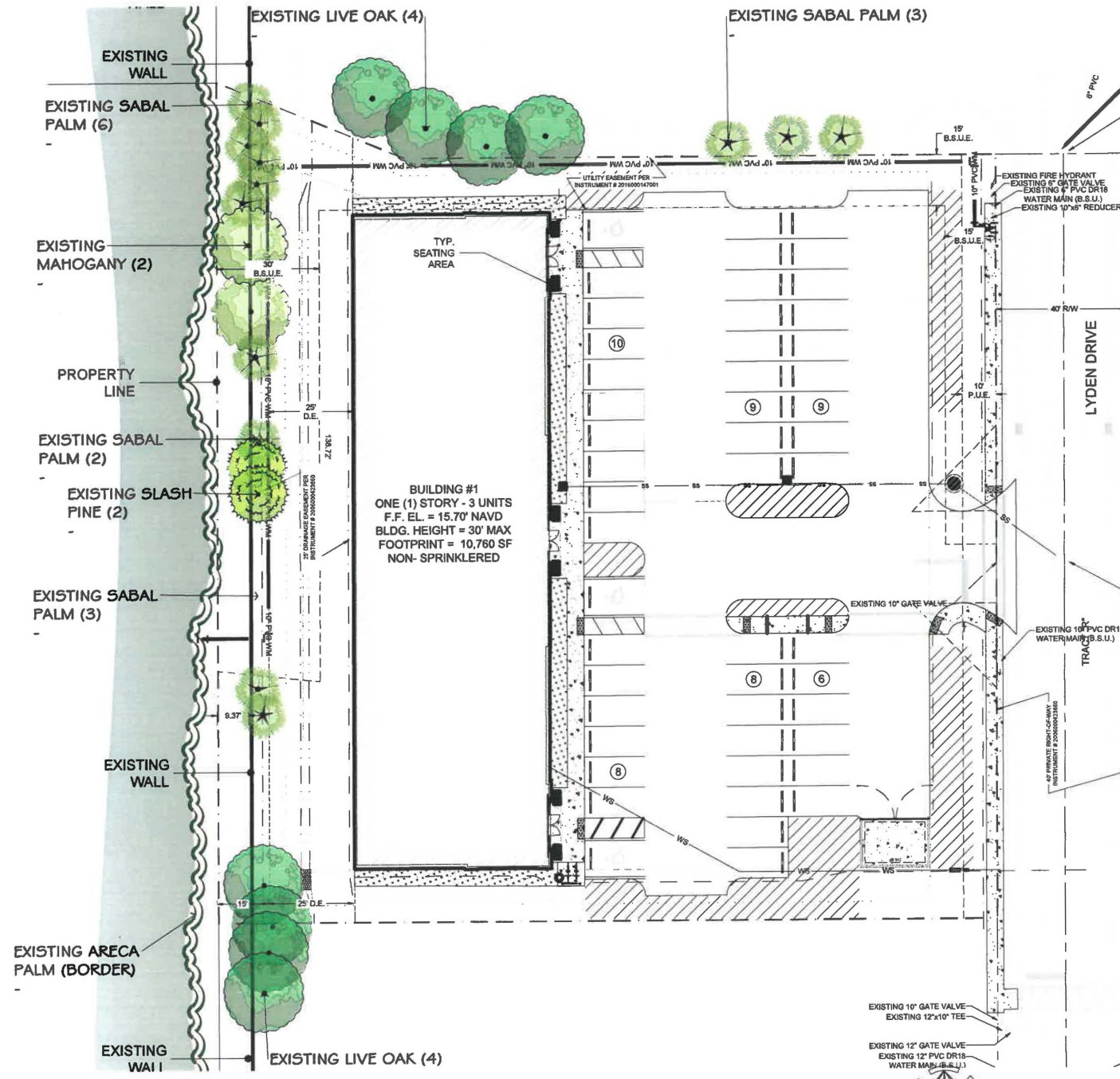
MEDICAL OFFICE BUILDING  
BETHLEHEM, PA.



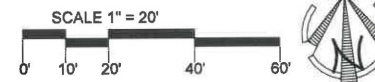
## EXISTING WEST PROPERTY LINE TREES & WALL PHOTOS LOOKING TOWARD RESIDENTIAL COMMUNITY

### GENERAL LANDSCAPE NOTES

1. THE QUALITY OF ALL PLANT MATERIAL WILL MEET THE STANDARDS FOR FLORIDA GRADE NO.1 (or better), AS GOVERNED IN "GRADES AND STANDARDS FOR NURSERY PLANTS".
2. ALL PLANTED TREES AND PALMS WILL HAVE A 3" DEEP SAUCER CONSTRUCTED FROM THE TRUNK OF THE TREE OR PALM. MINIMUM OF 4' DIAMETER.
3. ALL PLANTING BEDS SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF MULCH AND SHALL BE WEED FREE. MULCH SHALL BE GRADE B OR BETTER. CONTRACTOR SHALL REMOVE ANY VEGETATIVE GROWTH AND APPLY A PRE-EMERGENT WEED KILLER PER SPECIFICATIONS PRIOR TO MULCHING.
4. NO CODE REQUIRED PLANTINGS SHALL BE INSTALLED IN EASEMENTS. ABOVE CODE PLANTINGS SHALL BE REPLACED AT THE OPTION AND COST OF DEVELOPER SHOULD FUTURE UTILITY WORK REQUIRE REMOVAL.
5. ANY AND ALL EXOTIC VEGETATION INCLUDING: EARLEAF ACACIA, WOMAN'S TONGUE, BISHOPWOOD, AUSTRALIAN PINE, CARROTWOOD, ROSEWOOD, AIR POTATO, MURRAY RED GUM, WEEPING FIG, CUBAN LAUREL FIG, JAPANESE CLIMBING FERN, OLD WORD CLIMBING FERN, MELALEUCA, DOWNY ROSE MYRTLE, CHINESE TALLOW, BRAZILIAN PEPPER, FLORIDA HOLLY, TROPICAL SODA APPLE, JAVA PLUM, ROSE APPLE, CORK TREE AND WEDELIA, ON THE PROPERTY SHALL BE COMPLETELY REMOVED AND DISPOSED OF OFF SITE BY THE CONTRACTOR. THE SITE SHALL BE MAINTAINED FREE OF INVASIVE EXOTIC VEGETATION IN PERPETUITY.
6. TREES SHALL BE A MINIMUM OF 12'-14" IN HEIGHT WITH A 3" CALIPER MEASURED AT 1' ABOVE GROUND LEVEL WITH A SIX FOOT CANOPY UNLESS SPECIFIED AS 20' TALL TREES PER PLAN AND PLANT LIST.
7. A MINIMUM OF 100% OF THE CODE BUFFER TREES AND SHRUBS SHALL BE OF A NATIVE SPECIES.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE LOCATIONS OF ALL UTILITIES AND ALL SITE CONDITIONS PRIOR TO THE START OF LANDSCAPE INSTALLATION.
9. FERTILIZER SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND VILLAGES OF ESTERO OR LOCAL ORDINANCES
10. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINE GRADE ALL PLANTING AND SODDING AREAS PRIOR TO PLANT OR SOD INSTALLATION. CONTRACTOR SHALL OBTAIN OWNER APPROVAL OF FINAL GRADES.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE TAKEOFFS. PLANT LIST IS PROVIDED FOR REFERENCE ONLY.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE UNTIL FINAL ACCEPTANCE AND IN COMPLIANCE WITH SPECIFICATIONS.
13. CONTRACTOR SHALL REMOVE ALL TAGS, TAPE AND SUPPORTS (EXCEPT STAKING GUYS) FROM ALL PLANTINGS PRIOR TO FINAL ACCEPTANCE.
14. ALL AREAS OF THE SITE NOT PLANTED SHALL BE SODDED IN ACCORDANCE WITH PLANS. REFER TO ENGINEERING PLANS FOR ADDITIONAL SPECIFICATIONS.
15. THE REQUIRED PLANTINGS SHALL BE IRRIGATED IN ACCORDANCE WITH LDC REQUIREMENTS. REFER TO CONSTRUCTION DOCUMENTS FOR COMPLETE IRRIGATION PLANS.
16. THE PARKING LOTS SHALL BE SLEEVED FOR IRRIGATION BY THE LANDSCAPE CONTRACTOR. COORDINATE WITH CIVIL ENGINEERING PLANS.
17. ALL BASE ROCK SHALL BE REMOVED FROM LANDSCAPE PARKING ISLANDS.
18. PRIOR TO CERTIFICATE OF COMPLIANCE NO TREES SHALL BE PLANTED WHERE THEY INTERFERE WITH BUILDINGS, UTILITIES, SITE DRAINAGE, VIEWS, SIGNS, OR WHERE THEY WILL REQUIRE FREQUENT PRUNING TO AVOID POWER LINES AT MATURE HEIGHTS IN PERPETUITY UNLESS A WRITTEN STATEMENT IS PROVIDED PER LDC SEC.10-421.A.5.
19. THE CONTRACTOR SHALL PROVIDE (PRESSURE COMPENSATING SCREENS) AS NECESSARY TO REDUCE OR ELIMINATE OVERSPRAY INTO STREETS, WALKS OR OTHER AREAS AS DICTATED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
20. PLANS PREPARED FOR DEVELOPMENT ORDER APPROVAL. REFER TO ADDITIONAL LANDSCAPE CONSTRUCTION DOCUMENTS FOR PLANTING SPECIFICATIONS.
21. ALL TREES PLANTED IN BSU EASEMENT SHALL BE LOCATED A MINIMUM OF 7.5' FROM ALL BSU SERVICE INFRASTRUCTURE.



### SITE LANDSCAPE CALCULATIONS



### SITE DEVELOPMENT DATA

TOTAL SITE = 1.20 Ac. (52,299 S.F.)

#### OPEN SPACE REQUIREMENTS

35% OPEN SPACE REQUIRED  
52,290 X 20% = 10,458 SF REQUIRED.  
OPEN SPACE (PER HATCHING) = 13,750 SF PROVIDED PER HATCHING.

#### INDIGENOUS OPEN SPACE REQUIREMENTS

NOT APPLICABLE

#### HERITAGE TREES

NO HERITAGE TREES EXIST ON THE SITE

#### GENERAL TREE CREDITS

NO TREE CREDITS TAKEN

#### GENERAL TREE REQUIREMENTS (PARCEL G EAST)

1 TREE PER 3,500 SF OF SITE AREA  
52,290 / 3,500 = 15 TREES REQUIRED AND 15 PROVIDED.  
NOTE: 16' TREES MAY BE USED AT A 2:1 CREDIT FOR GENERAL TREES. GENERAL TREE REQUIREMENTS MAY NOT BE REDUCED MORE THAN 50%. A MAXIMUM OF 7-16' TREES MAY BE USED AT 2:1 CREDIT TOWARDS GENERAL TREES (CREDIT TREES, IF ANY, DEPICTED IN PLANT LIST)

#### INTERNAL PARKING LANDSCAPE REQUIREMENTS

INTERNAL LANDSCAPE AREAS OF 10% OF THE PARKING AREA IS REQUIRED = 19,510 SF X 10% = 1,951 SF MINIMUM REQUIRED AND 1,960 SF PROVIDED PER HATCHING.  
MIN. 1 TREE PER 250 SF.  
1,951 / 250 = 8 TREES REQUIRED AND 8 PROVIDED  
NO MORE THAN 10% OF PLANTING AREA TO BE IN TURF. APPROXIMATELY 195 SHRUBS OR GROUNDCOVERS ARE PROVIDED.

#### WATER MANAGEMENT PLANTING REQUIREMENTS

PER SECTION 33-111(d) OF SUBDIVISION 1 OF ESTERO PLANNING COMMUNITY REGULATIONS:  
DETENTION BASINS MUST BE PLANTED WITH WETLAND SPECIES AT 36" OC THROUGHOUT THE BASIN.

#### BUILDING PERIMETER PLANTING REQUIREMENTS

10,760 SF. BLDG X 10% = 1,076 SF OF BUILDING PERIMETER PLANTING REQUIRED AND 1,100 PROVIDED PER HATCHING.

#### BUFFER REQUIREMENTS:

##### PROJECT EAST BUFFER

COM TO R.O.W.  
20' MINIMUM WIDTH, TYPE 'D' BUFFER REQUIRED, W/ 5 TREES AND 66 SHRUBS PER 100 LINEAL FOOT.  
173 LF. (EXCLUDING EASEMENTS & ACCESS) / 100 X 5 = 9 TREES REQUIRED AND 9 PROVIDED.  
173 LF / 3 X 2 = 115 SHRUBS REQUIRED AND 115 PROVIDED.  
REQUIRED TREES AND SHRUBS LABELED AS (S.B.).

##### PROJECT SOUTH BUFFER

COM TO COM  
5' TYPE 'A' BUFFER REQUIRED, W/ 4 TREES PER 100 LINEAL FOOT.  
180 L.F. (EXCLUDING EASEMENTS) / 100 X 4 = 7 TREES REQUIRED AND 7 PROVIDED.  
REQUIRED TREES AND SHRUBS LABELED AS (S.B.).

##### PROJECT WEST BUFFER

COM TO S.F.  
20' MINIMUM WIDTH, TYPE 'C/F' BUFFER REQUIRED, W/ 10 TREES AND 30 SHRUBS PER 100 LINEAL FOOT.  
215 LF. (EXCLUDING EASEMENTS) / 100 X 10 = 22 TREES REQUIRED AND 22 PROVIDED THROUGH EXISTING AND PROPOSED.  
215 LF / 100 X 30 = 65 SHRUBS REQUIRED AND 65 PROVIDED.  
REQUIRED TREES AND SHRUBS LABELED AS (W.B.).

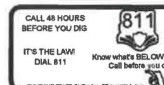
##### PROJECT NORTH BUFFER

COM TO COM  
5' TYPE 'A' BUFFER REQUIRED, W/ 4 TREES PER 100 LINEAL FOOT.  
184 L.F. (EXCLUDING EASEMENTS) / 100 X 4 = 7 TREES REQUIRED AND 7 PROVIDED.  
REQUIRED TREES AND SHRUBS LABELED AS (N.B.).

#### DETENTION AREA PLANTING

XX SF / 9 = 633 DETENTION PLANTINGS REQUIRED AND PROVIDED???????????????

TYPICAL EASEMENT AREA REFER TO ENGINEERING PLANS FOR SPECIFIC EASEMENT INFORMATION



**DMJA**

DAVID M. JONES, JR.  
AND ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS  
AND PLANNERS

2221 McGregor Blvd.  
Fort Myers, Florida 33901  
Phone: (239) 337-5525  
Fax: (239) 337-4494

4161 Tamiami Trail, Bldg. 5,  
Unit 501  
Port Charlotte, Florida 33952  
Phone: (941) 235-2217  
Fax: (239) 337-4494

L.A. LICENSE: LC 000063

#### PROJECT INFORMATION:

**JDM DEVELOPMENT**

22904 LYDEN DRIVE  
VILLAGES OF ESTERO,  
FLORIDA

PREPARED FOR:  
**Mr. Jeffrey Motto**  
JDM DEVELOPMENT  
14290 Metropolis Avenue  
Suite 1  
Fort Myers, FL 33912  
Tel: 239-275-1114

#### CONSULTANT:

#### DESIGN PROFESSIONAL:

GREGORY J. DISERIO, RLA  
RLA NO. 940 DATE:  
STATE OF FLORIDA

#### PROJECT NO. 219146

PROJECT MGR: GREG DISERIO

FILE NAME: JDM DEVELOPMENT L5

DESIGNER: GJD

CAD TECH: GJD

CHECKED BY: GJD

ISSUED FOR: DESIGN REVIEW BOARD

ISSUED DATE: DEC. 18, 2019

REVISIONS:

#### SHEET TITLE:

**SITE LANDSCAPE CALCULATIONS**

#### SHEET NUMBER:

**L-1**



**DMJA**

DAVID M. JONES, JR.  
AND ASSOCIATES, INC.

LANDSCAPE ARCHITECTS  
AND PLANNERS

2221 McGregor Blvd.  
Fort Myers, Florida 33901  
Phone: (239) 337-5525  
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4161 Tamiami Trail, Bldg. 5,  
Unit 501  
Port Charlotte, Florida 33952  
Phone: (941) 235-2217  
Fax: (239) 337-4494

LA LICENSE: LC 000063

PROJECT INFORMATION:

**JDM  
DEVELOPMENT**

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VILLAGES OF ESTERO,  
FLORIDA

PREPARED FOR:  
**Mr. Jeffrey Motto  
JDM DEVELOPMENT  
14290 Metropolis Avenue  
Suite 1  
Fort Myers, FL 33912  
Tel: 239-275-1114**

CONSULTANT:

DESIGN PROFESSIONAL:

GREGORY J. DISERIO, RLA  
FLA. NO. 540 DATE:  
STATE OF FLORIDA

PROJECT NO. 219146

PROJECT MGR: GREG DISERIO

FILE NAME: JDM DEVELOPMENT L8

DESIGNER: GJD

CAD TECH: GJD

CHECKED BY: GJD

ISSUED FOR:  
DESIGN REVIEW BOARD

ISSUED DATE: DEC. 18, 2019

REVISIONS:

SHEET TITLE:

**LANDSCAPE  
PLAN**

SHEET NUMBER:

**L-2**



**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	ACE RE5	6	Acer rubrum	Red Maple	Min. 16' Ht., 6' Sprd.
	ADO C32	1	Adonidia merrillii	Christmas Palm	Min. 10' Clear Trunk
	COC DIV	14	Coccoloba diversifolia	Pigeon Plum	Min. 2" Cal., 10' Ht., 4' Sprd.
	CON ERE	11	Conocarpus erectus	Green Buttonwood	Min. 2" Cal., 10' Ht., 4' Sprd.
	SAB SAB	39	Sabal palmetto	Cabbage Palmetto	Min. 10' Clear Trunk
	TAX DIS	3	Taxodium distichum	Bald Cypress	Min. 2" Cal., 10' Ht., 4' Sprd.

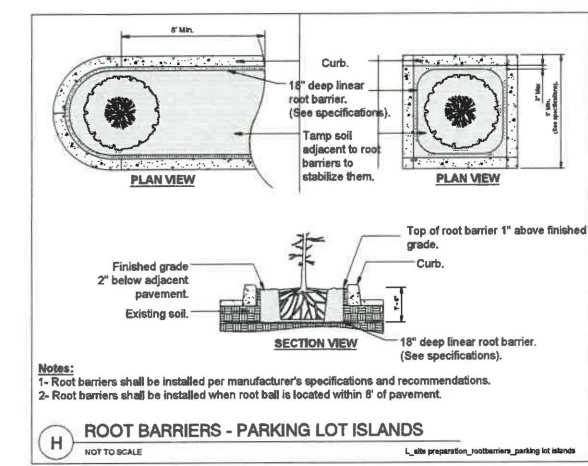
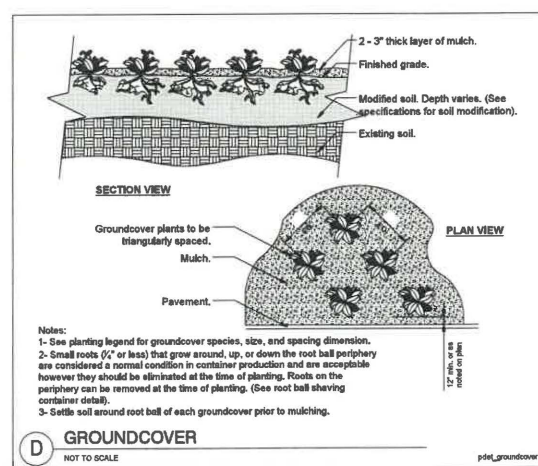
  

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	Clu aut	11	Clusia rosea	Pitch Apple	Min. 24" Ht., 3 Gallon
	Em li2	91	Emodea littoralis	Golden Creeper	Min. 1 Gallon, 16"-18" Ht.
	Fic gr7	15	Ficus microcarpa 'Green Island'	Green Island Ficus	Min. 24" Ht., 3 Gallon
	Muh ca2	52	Muhlenbergia capillaris	Pink Muhly Grass	Min. 18" Ht., 3 Gallon
	Myr fr2	60	Myrcianthes fragrans	Simpson's Stopper	Min. 24" Ht., 3 Gallon
	Spa bak	86	Spartina bakeri	Sand Cordgrass	Min. 18" Ht., 3 Gallon
	Vib ob2	35	Viburnum obovatum	Walter's Viburnum	Min. 24" Ht., 3 Gallon
	Vib ml2	23	Viburnum obovatum 'Miss Shillers Delight'	Small-Leaf Arrowwood	Min. 24" Ht., 3 Gallon

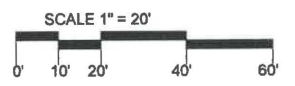
PLANT LIST IS FOR REFERENCE ONLY. QUANTITIES SHOWN ON PLAN SUPERCEDE QUANTITIES PROVIDED IN THE ABOVE LIST.

**EXISTING TREE LEGEND**

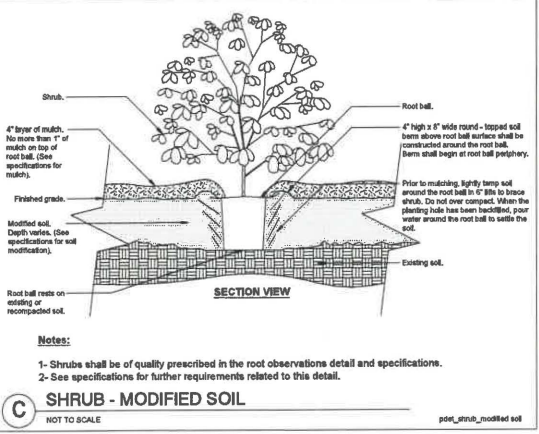
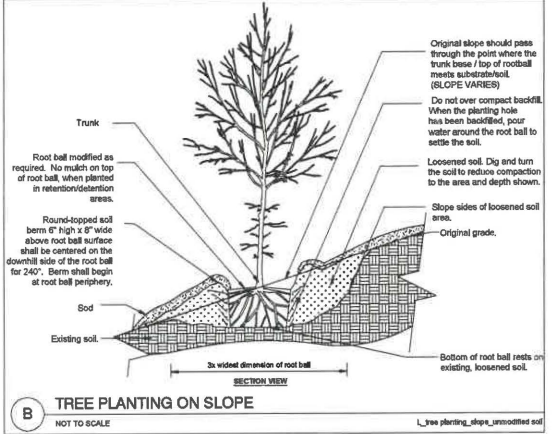
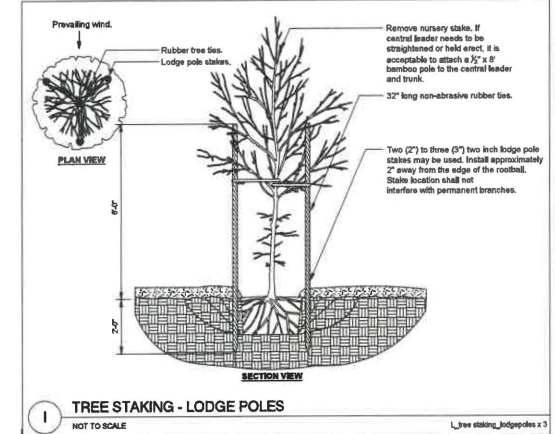
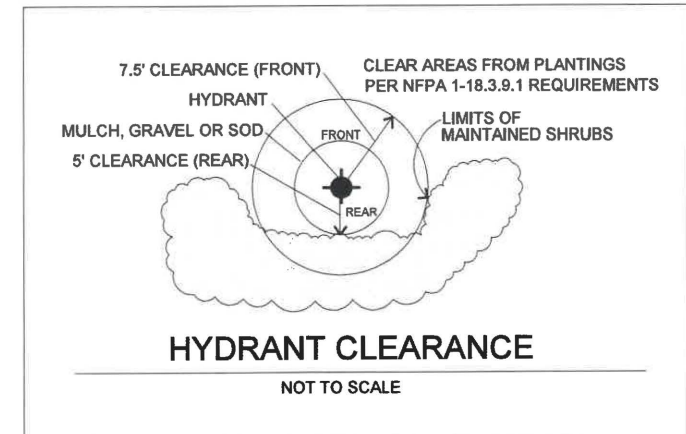
	EXISTING MAHOGANY	2
	EXISTING SABAL PALM	14
	EXISTING LIVE OAK	8
	EXISTING SLASH PINE	2



**LANDSCAPE PLAN**



TYPICAL EASEMENT AREA  
REFER TO ENGINEERING PLANS FOR  
SPECIFIC EASEMENT INFORMATION







**DMJA**

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L.A. LICENSE: LC C00063

PROJECT INFORMATION:

**JDM  
DEVELOPMENT**

22904 LYDEN DRIVE  
VILLAGES OF ESTERO,  
FLORIDA

PREPARED FOR:  
Mr. Jeffrey Motto  
JDM DEVELOPMENT  
14290 Metropolis Avenue  
Suite 1  
Fort Myers, FL 33912  
Tel: 239-275-1114

CONSULTANT:

DESIGN PROFESSIONAL:

GREGORY J. DISERIO, RLA  
RLA NO. 840 DATE: \_\_\_\_\_  
STATE OF FLORIDA

PROJECT NO. 219146  
PROJECT MGR: GREG DISERIO  
FILE NAME: JDM DEVELOPMENT LS  
DESIGNER: GJD  
CAD TECH: GJD  
CHECKED BY: GJD  
ISSUED FOR: DESIGN REVIEW BOARD

ISSUED DATE: DEC. 18, 2019  
REVISIONS:

SHEET TITLE:  
**ILLUSTRATIVE  
LANDSCAPE PLAN**

SHEET NUMBER:

**L-2.1**

**PROPOSED PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	ACE RES	6	Acer rubrum	Red Maple	Min. 16" Ht., 6' Sprd.
	ADO C32	1	Adonidia merillii	Christmas Palm	Min. 10' Clear Trunk
	COC DIV	14	Coccoloba diversifolia	Pigeon Plum	Min. 2" Cal., 10' Ht., 4' Sprd.
	CON ERE	11	Conocarpus erectus	Green Buttonwood	Min. 2" Cal., 10' Ht., 4' Sprd.
	SAB SAB	38	Sabal palmetto	Cabbage Palmetto	Min. 10' Clear Trunk
	TAX DIS	3	Taxodium distichum Min. 2" Cal., 10' Ht., 4' Sprd.	Bald Cypress	Min. 2" Cal., 10' Ht., 4' Sprd.
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	Clu aut	11	Clusia rosea	Pitch Apple	Min. 24" Ht., 3 Gallon
	Ern li2	91	Erodia littoralis	Golden Creeper	Min. 1 Gallon, 16"-18" Ht.
	Fic gr7	15	Ficus microcarpa 'Green Island'	Green Island Ficus	Min. 24" Ht., 3 Gallon
	Muh ca2	52	Muhlenbergia capillaris	Pink Muhly Grass	Min. 18" Ht., 3 Gallon
	Myr fr2	60	Myrcianthes fragrans	Simpson's Stopper	Min. 24" Ht., 3 Gallon
	Spa bak	86	Spartina bakeri	Sand Cordgrass	Min. 18" Ht., 3 Gallon
	Vib ob2	35	Viburnum obovatum	Walter's Viburnum	Min. 24" Ht., 3 Gallon
	Vib mi2	23	Viburnum obovatum 'Miss Shillers Delight'	Small-Leaf Arrowwood	Min. 24" Ht., 3 Gallon

PLANT LIST IS FOR REFERENCE ONLY. QUANTITIES SHOWN ON PLAN SUPERCEDE QUANTITIES PROVIDED IN THE ABOVE LIST.

**EXISTING TREE LEGEND**

- EXISTING MAHOGANY 2
- EXISTING SABAL PALM 14
- EXISTING LIVE OAK 8
- EXISTING SLASH PINE 2

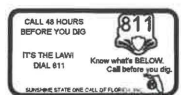
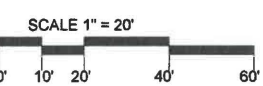


**S-101**

**SITE BENCH**

Anova LI440  
4' contour bench with steel slat seat and cast iron portable/ surface mount legs

**ILLUSTRATIVE MASTER LANDSCAPE PLAN**



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CHRISTMAS PALM



PIGEON PLUM



GREEN BUTTWOOD



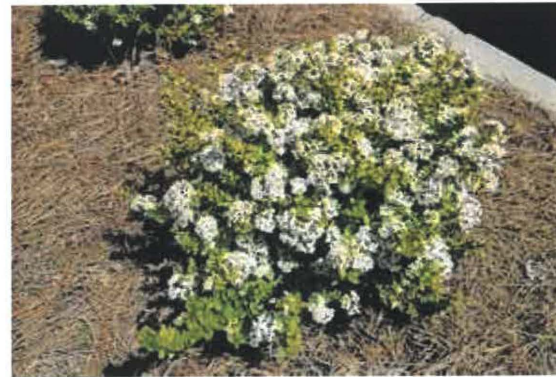
BALD CYPRESS



SIMPSON STOPPER



PITCH APPLE



MRS. SCHILLER'S DELIGHT VIBURNUM



WALTER'S VIBURNUM



RED MAPLE



MUHLY GRASS



GREEN ISLAND FICUS



GOLDEN CREEPER



SPARTINA / CORD GRASS



**DMJA**

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L.A. LICENSE: LC 000063

PROJECT INFORMATION:

JDM  
DEVELOPMENT

22904 LYDEN DRIVE  
VILLAGES OF ESTERO,  
FLORIDA

PREPARED FOR:  
Mr. Jeffrey Motto  
JDM DEVELOPMENT  
14290 Metropolis Avenue  
Suite 1  
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Tel: 239-275-1114

CONSULTANT:

DESIGN PROFESSIONAL:

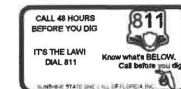
GREGORY J. DISERIO, RLA  
RLA NO. 846 DATE:  
STATE OF FLORIDA

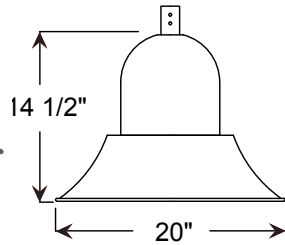
PROJECT NO.:	219146
PROJECT MGR.:	GREG DISERIO
FILE NAME:	JDM DEVELOPMENT LS
DESIGNER:	GJD
CAD TECH:	GJD
CHECKED BY:	GJD
ISSUED FOR:	DESIGN REVIEW BOARD

ISSUED DATE: DEC. 18, 2019  
REVISIONS:

SHEET TITLE:  
PLANT IMAGE  
BOARD

SHEET NUMBER:  
IMAGES





Project: \_\_\_\_\_

Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_

Customer: \_\_\_\_\_

### Specifications

**Material:**  
All parts are durable 356 cast aluminum and high strength aluminum spinings. All hardware provided shall be stainless steel or zinc plated steel.

**Fixture Mounting:**  
Pendant Mount: Pin mount to tenon. Fits 3" and 4" poles.

**Drivers:**  
Universal voltage 120-277 is standard. 0-10V dimming is standard for LED platforms.

See page 2 for LED engine and driver specifications.

**Electrical:**  
Approximately 12" of pull wire extends from luminaire. Additional pull wire provided for post mount arms and wall mounts.



**Finish:**  
A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.

Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

**Modifications:**  
Consult factory for custom or modified designs.

## BVF2001 - LED

Dark Sky Friendly.

Weight: 8.5 lbs

EPA: 0.86

BUG: \*See table below

### Catalog Logic

<b>BVF2001</b>	<b>P078LD4</b>	<b>D</b>	<b>T5</b>	<b>40K</b>	<b>- PC</b>	<b>- PA1613</b>	<b>- 72</b>
Luminaire Series	Light Source & Wattage	Dimming	Optic	CCT	Accessories	Mounting	Finish

Catalog Number	1	2	3	4	5	6	7
<b>BVF2001</b>		<b>D</b>					

1 LIGHT SOURCE & WATTAGES
<b>P029LD4</b> (29w Platform; 400ma Driver)
<b>P046LD4</b> (46w Platform; 400ma Driver)
<b>P078LD4</b> (78w Platform; 400ma Driver)
<b>P117LD4</b> (117w Platform; 400ma Driver)

2 DIMMING
<b>D</b> (Dimming)
See page 2 table for LED engine and driver specs, voltage and dimming protocols.

3 OPTICS
<b>T2</b> (Type II)
<b>T3</b> (Type III)
<b>T5</b> (Type V)

4 COLOR TEMPERATURE (CCT)
<b>27K</b> (2700K)
<b>30K</b> (3000K)
<b>35K</b> (3500K)
<b>40K</b> (4000K)

*BUG RATING TABLE	
<b>B1-U0-G1</b>	<b>P046LD4NT340K</b>
<b>B1-U0-G1</b>	<b>P046LD4NT540K</b>
<b>B3-U0-G1</b>	<b>P078LD4NT340K</b>
<b>B2-U0-G2</b>	<b>P078LD4NT540K</b>
<b>B3-U0-G2</b>	<b>P117LD4NT340K</b>
<b>B4-U0-G2</b>	<b>P117LD4NT540K</b>

5 ACCESSORIES
<b>HSS90</b> (90° House Side Shield, polished)
<b>HSS120</b> (120° House Side Shield, polished)
<b>4ST36</b> (3 Ft, 1 1/4" Ridged Stem & Canopy)
<b>PEND-CH3</b> (3 Ft Pendant Chain & Canopy)
<b>*EMG-LED20HV</b> (20w, High Voltage LED Emergency Driver, remote placement, for use with Platforms and Towers, 78w or less)
<b>HLMSPC-06</b> (High-Low Motion Sensor/Photocell; 15' - 30' Sensor Mounting Height)
<b>HLMSPC-10</b> (High-Low Motion Sensor/Photocell; 8' - 15' Sensor Mounting Height)
<b>PA-BF</b> (Post Arm Ball Fitter)
<b>PA-BFS</b> (Post Arm Ball Fitter w/Swivel)
<b>PC</b> (Button Photo Cell)
<b>SP</b> (Surge Protector, 10kA & 10kV)
<b>TLPC</b> (Twist Lock photo cell & receptacle)
<b>TL</b> (Twist Lock receptacle only)
<b>TL5</b> (5-pin Twist Lock receptacle)
<b>TL7</b> (7-pin Twist Lock receptacle)

\*For Emergency lumen output data, see Resources section at [www.ANPLighting.com](http://www.ANPLighting.com).

6 MOUNTING SOURCE			
Post Mount Arms		Wall Mount Arms	
*See Page 3 for Style/Size		*See Page 3 for Style/Size	
<b>PA0413</b>	<b>PA6213</b>	<b>WM0413</b>	<b>WM5163</b>
<b>PA1613</b>	<b>PA8453</b>	<b>WM1613</b>	<b>WM5603</b>
<b>PA1753</b>		<b>WM1763</b>	
<b>PA2023</b>		<b>WM1773</b>	
<b>PA2313</b>		<b>WM2313</b>	
<b>PA2613</b>		<b>WM3003</b>	
<b>PA3113</b>		<b>WM3203</b>	
<b>PA3213</b>		<b>WM3553</b>	
<b>PA3533</b>		<b>WM4513</b>	
<b>PA5153</b>		<b>WM5143</b>	
Column Mount			
*See Page 3 for Style/Size			
<b>CM</b>	Column Mount		

7 FINISHES			
Standard Grade	Marine Grade	Standard Grade	Marine Grade
<b>40</b>	<b>NA</b> Raw Unfinished	<b>53</b>	<b>100</b> Copper Clay
<b>41</b>	<b>101</b> Black	<b>56</b>	<b>109</b> Silver
<b>42</b>	<b>102</b> Forest Green	<b>61</b>	<b>106</b> Black Verde
<b>43</b>	<b>114</b> Bright Red	<b>70</b>	<b>118</b> Painted Chrome
<b>44</b>	<b>107</b> White	<b>71</b>	<b>105</b> Painted Copper
<b>45</b>	<b>112</b> Bright Blue	<b>72</b>	<b>108</b> Textured Black
<b>46</b>	<b>123</b> Sunny Yellow	<b>73</b>	<b>125</b> Matte Black
<b>47</b>	<b>120</b> Aqua Green	<b>76</b>	<b>121</b> Textured Architectural Bronze
<b>49</b>	<b>NA</b> Galvanized	<b>77</b>	<b>127</b> Textured White
<b>50</b>	<b>111</b> Navy	<b>78</b>	<b>124</b> Textured Silver
<b>51</b>	<b>103</b> Architectural Bronze	<b>10</b>	<b>130</b> Aspen Green
<b>52</b>	<b>104</b> Patina Verde	<b>11</b>	<b>131</b> Cantaloupe
<b>12</b>	<b>133</b> Lilac	<b>13</b>	<b>132</b> Putty

Consult factory for additional paint charges and availability

Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_  
 Customer: \_\_\_\_\_

## LED PERFORMANCE

### PLATFORM

LED Wattage	CCT	Typical Luminous Flux	System Wattage	Typical Efficacy
29W	2700K	2670	30w	89
	3000K	2670	30w	89
	3500K	3209	30w	107
	4000K	3465	30w	116
46W	2700K	4004	46w	87
	3000K	4004	46w	87
	3500K	4814	46w	105
	4000K	5197	46w	115
78W	2700K	7041	80w	88
	3000K	7041	80w	88
	3500K	8464	80w	106
	4000K	9138	80w	114
117W	2700K	10561	120w	88
	3000K	10561	120w	88
	3500K	12696	120w	106
	4000K	13707	120w	114

### PLATFORM SPECIFICATION:

- Efficacy ranges from 80-116 lumens per watt
- Customized lens precisely directs the light
- Operating temperature of -30C to 55C
- Life: L70 is 60,000 hours
- PLATFORM CCT: 2700K, 3000K, 3500K, and 4000K
- TOWER CCT: 4000K
- CRI: >70
- Parallel circuitry ensures consistent light output in the event of single LED failure

### PLATFORM LISTINGS

- Fully compliant with the RoHS Directive
- Certifications: ETL
- Rated IP65 with an optional IP66 rating

### PLATFORM DRIVER SPECIFICATION:

- Operates at 400mA
- Dimmable down to 10%
- Built in surge protection
- Constant current output 50/60HZ
- Driver Efficiency > 90% power factor above 99%
- 120 – 277 volts
- 0-10V dimming protocol is standard

## WARRANTY

See [www.ANPLighting.com](http://www.ANPLighting.com) for complete fixture warranty.

LED warranty information

- 7 year limited warranty\* on Platform LED engines
- 5 year limited warranty\* on Platform Drivers

\*Limited Warranty: A typical year is defined as 4380 hours of operation. Failure defined as more than 10% of the total platform LED's not operating.

## ACCESSORIES



HSS90 & HSS120



4ST36



PEND-CH3



EMG-LED20HV



HLMSPC-06 & HLMSPC-10



PA-BF



PA-BFS



PC



TLPC



TL



TL5 & TL7

Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_  
 Customer: \_\_\_\_\_

**POST MOUNTS** | See Post Arm Section on Website for Specification Sheets and additional post arms.



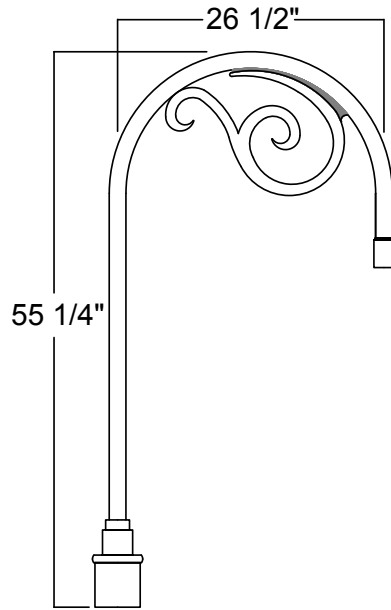
**COLUMN MOUNT**



**CM** 5 3/4" SQ x 3 1/2" H

**WALL MOUNTS** | See Wall Mount Section on Website for Specification Sheets and additional wall mount arms.





Project: \_\_\_\_\_

Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_

Customer: \_\_\_\_\_



**Illuminating**  
ENGINEERING SOCIETY

**Weight:** 13.0 lbs

**EPA:** 1.1

**Specifications**

**General:**

Due to size or weight, arms mounts may not accommodate all ANP luminaires.

**Material:**

All parts are durable 356 cast aluminum and high strength extruded aluminum. All hardware provided shall be stainless steel or zinc plated steel.

**Fixture Mounting:**

Pin mount to tenon.

**Post Arm Mounting:**

Slip tenon to accommodate 3", 4" and 5" pole. Pole section of arm matches pole diameter and style.

**Electrical:**

Pull wire provided.

**Finish:**

A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.

Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

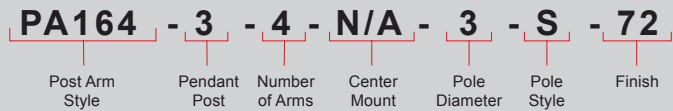
**Modifications:**

Consult factory for custom or modified designs.

**PA164 - POST ARM**

Extruded aluminum post arm for pendant fixture.

**Catalog Logic**



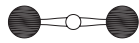
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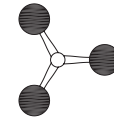
**1 Arm Configuration**



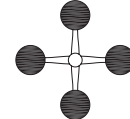
**2 Arm Configuration**



**3 Arm Configuration**



**4 Arm Configuration**



1	POST ARM ORIENTATION
3	Pendant

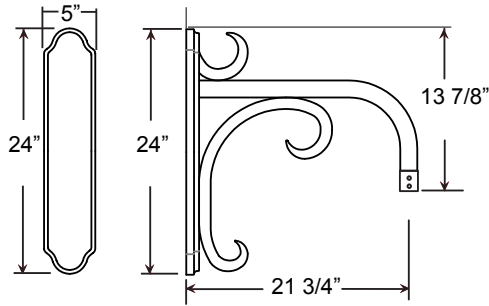
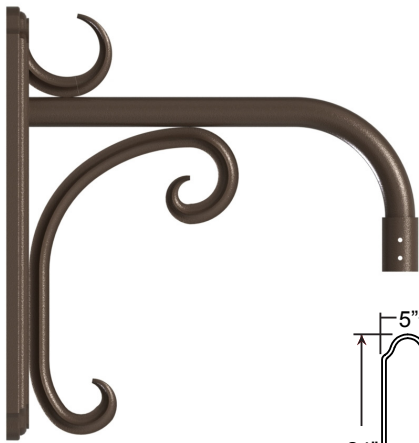
3	CENTER MOUNT OPTIONS
N/A	

6		FINISHES			
Standard Grade	Marine Grade	Standard Grade	Marine Grade		
40	NA	Raw Unfinished	53	100	Copper Clay
41	101	Black	56	109	Silver
42	102	Forest Green	61	106	Black Verde
43	114	Bright Red	70	118	Painted Chrome
44	107	White	71	105	Painted Copper
45	112	Bright Blue	72	108	Textured Black
46	123	Sunny Yellow	73	125	Matte Black
47	120	Aqua Green	76	121	Textured Architectural Bronze
49	NA	Galvanized	77	127	Textured White
50	111	Navy	78	124	Textured Silver
51	103	Architectural Bronze	10	130	Aspen Green
52	104	Patina Verde	11	131	Cantaloupe
12	133	Lilac	13	132	Putty

2	NUMBER OF ARMS
1	One Arm Configuration
2	Two Arm Configuration
3	Three Arm Configuration
4	Four Arm Configuration

4	POLE DIAMETER
3	3 Inch
4	4 Inch
5	5 Inch

5	POLE STYLE
S	Smooth
F	Fluted



Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_  
 Customer: \_\_\_\_\_



**Weight:** 8.5 lbs  
**EPA:** 0.83

**Specifications**

**General:**  
 Due to size or weight, arms mounts may not accommodate all ANP luminaires.

**Material:**  
 All parts are durable 356 cast aluminum and high strength extruded aluminum. All hardware provided shall be stainless steel or zinc plated steel.

**Wall Mount:**  
 Mounting hardware by others.

**Fixture Mounting:**  
 Pin mount to tenon.

**Electrical:**  
 Pull wire provided.

**Finish:**  
 A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.

Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

**Modifications:**  
 Consult factory for custom or modified designs.

**WM031 - WALL MOUNT**

Wall mount for pendant fixture.

Catalog Logic

**WM031 - 3 - 72**

Wall Mount Style      Pendant Post      Finish

Catalog Number

**1**      **2**

**WM031**      **3**      [ ]

**1 MOUNTING TYPE**

3- Pendant
------------

**2 FINISHES**

Standard Grade	Marine Grade		Standard Grade	Marine Grade	
40	NA	Raw Unfinished	53	100	Copper Clay
41	101	Black	56	109	Silver
42	102	Forest Green	61	106	Black Verde
43	114	Bright Red	70	118	Painted Chrome
44	107	White	71	105	Painted Copper
45	112	Bright Blue	72	108	Textured Black
46	123	Sunny Yellow	73	125	Matte Black
47	120	Aqua Green	76	121	Textured Architectural Bronze
49	NA	Galvanized	77	127	Textured White
50	111	Navy	78	124	Textured Silver
51	103	Architectural Bronze	10	130	Aspen Green
52	104	Patina Verde	11	131	Cantaloupe
12	133	Lilac	13	132	Putty

Consult factory for additional paint charges and availability

Presentation for:  
**Village of Estero Design Review Board**

---

**JDM Development**  
**Coconut Trace Medical Office Center**  
**22904 Lyden Drive, Estero, FL 33928**

---

Presented by:



3820 Colonial Boulevard, Suite 100  
Fort Myers, FL 33966  
(239) 277-0554



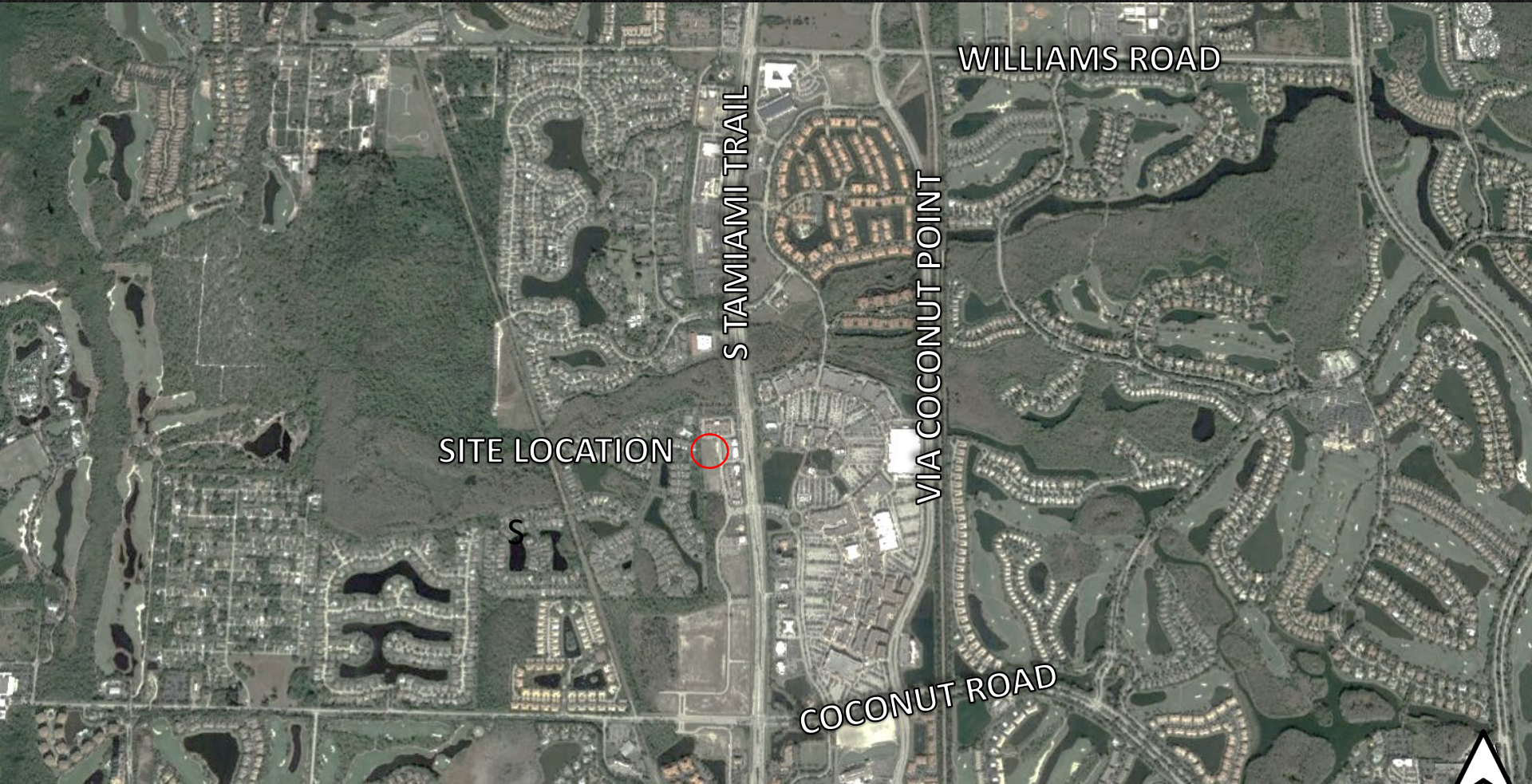
2221 McGregor Blvd.  
Fort Myers, FL 33901  
(239) 337-5525



4301 Veronica Shoemaker Blvd.  
Fort Myers, FL 33916  
(239) 936-5222



# Proximity Map



# Site Location Map

22904 Lyden Drive  
Estero, FL 33928



**ADG**  
ARCHITECTURE, llc



**DMJA**  
DAVID M. JONES, JR. AND ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS • SITE PLANNERS

**Quattrone &**  
Associates, Inc.

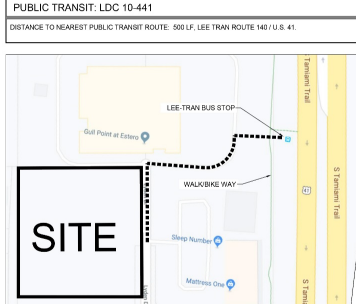


SITE DATA:	
MINIMUM PAVEMENT ELEV.	CONTROL ELEVATION
ELEV. 13.50 NAVD	ELEV. 13.15 NAVD
MINIMUM FINISH FLOOR ELEVATION	PRIMER BERM ELEVATION
ELEV. 15.55 NAVD	ELEV. 14.55 NAVD
AVERAGE EXISTING GROUND ELEVATION	STRAK NUMBERS:
ELEV. 13.7 NAVD	04.47-25.43 STORE 0/00
ZONING:	
COM - COMMERCIAL	
PROPOSED USE:	
MEDICAL	
	MAP FIRM PANEL# DATE
	1207C0298 12524 0509 06/26/08
	1207C0299 12524 0509 06/26/08
	1207C0300 12026 0509 12/07/18
	1207C0301 12026 0509 12/07/18
FEMA FLOOD ZONE:	
THIS PROPERTY IS LOCATED FLOOD ZONE X	BASE FLOOD ELEV. = N/A
IN FIRM COMMUNITY "A" PANEL NO. "A"	DATED " " = REFER TO TABLE ABOVE

SITE DEVELOPMENT REGULATIONS:	
REQUIRED	PROVIDED
<b>LOT AREA/ADMISSIONS:</b>	
AREA:	43,060 SF
WIDTH:	52,209 SF
DEPTH:	300 FT ±
<b>SETBACKS</b>	
ROAD	30 FT
SIDE YARD	15 FT
REAR YARD	25 FT
MAX BUILDING HEIGHT	30' (3 STORES)
SIDE YARD (ANGLARY)	15' ±
MAX LOT COVERAGE	55 %

REFUSE AND SOLID WASTE DISPOSAL FACILITIES: LDC 10-261	
1. A MINIMUM OVERHEAD CLEARANCE OF 22 FEET IS REQUIRED AND A 12" WIDE UNOBSTRUCTED ACCESS OPENING MUST BE PROVIDED TO ADEQUATE ALL STORAGE AREAS/CONTAINERS	
2. ALL STORAGE AREAS/CONTAINERS MUST BE ADEQUATELY SHELDED BY LANDSCAPED SCREENS OR SOLID FENCING ALONG AT LEAST THREE SIDES. USE OF CHAIN LINK FENCING TO MEET THIS REQUIREMENT IS PROHIBITED. REFER TO VILLAGE OF ESTERO LDC 10-101(G) FOR GUIDELINES.	
3. COMMERCIAL, INDUSTRIAL, & MULTIFAMILY DEVELOPMENT USING A COMPACTOR FOR GARBAGE COLLECTION MUST PROVIDE SUFFICIENT SPACE FOR THE COMPACTOR (INCLUDING RECEIVER) IN ADDITION TO SPACE REQUIRED FOR RECYCLABLE COLLECTION.	
4. ENCLOSURE SETBACKS, CONTAINER SPACE ENCLOSURES USES AS PROVIDED IN ACCORD WITH VILLAGE OF ESTERO LDC 10-101(G) & (H). CONCRETE WALL ENCLOSURES MAY NOT BE LOCATED WITHIN A PUBLICLY OR PRIVATELY ACCESSIBLE	
5. 5,000 SF OF RECYCLING IS REQUIRED (A) & 34 SF OF RECYCLABLE TOTAL ± 34 SF (B) 5,001 - 10,000 SF OF RECYCLING IS REQUIRED (A) & 48 SF (B) RECYCLABLE TOTAL ± 128 SF (B) 10,001 - 25,000 SF OF RECYCLING IS REQUIRED (A) & 62 SF (B) RECYCLABLE TOTAL ± 218 SF (B) 25,000 SF ± OF RECYCLING IS REQUIRED FOR THE FIRST 25,000 SF PLUS 8 SF FOR EACH ADDITIONAL 1,000 SF.	
BUILDING USE: 10,700 SF COMMERCIAL BUILDING	
PROVIDE CALCULATIONS:	
TOTAL REQUIRED DISPOSAL AREA (SF) ±	218 SF
TOTAL PROVIDED DISPOSAL AREA (SF) ±	218 SF

PARKING CALCULATIONS: LDC 34-2020	
MEDICAL FACILITIES	
PARKING SPACES REQUIRED: MEDICAL FACILITIES + 4.5 SPACES PER 1,000 SQ.FT.	
TOTAL FLOOR AREA	10,700 SF
TOTAL NUMBER OF SPACES REQUIRED	49
3 IN ADDITION FOR BIKESWAYS (WALKWAYS LDC 34-2020 (H)(3))	49 ± 2 ± 47 REQ
ADJUSTED PARKING PROVIDED	
TOTAL NUMBER OF SPACES PROVIDED	50
TOTAL NUMBER OF HANDICAP SPACES PROVIDED *	2
* HANDICAP SPACES ARE INCLUDED IN TOTAL SPACES PROVIDED	



LAND USE BREAKDOWN:	
TOTAL SITE AREA	62,299 SF 1.20 AC.
BUILDING AREA	10,700 SF 0.25 AC. 20.57%
PAVEMENT AREA (ON-SITE)	19,510 SF 0.45 AC. 37.30%
CONCRETE AREA	2,484 SF 0.06 AC. 4.75%
OPEN SPACE	18,055 SF 0.41 AC. 34.27%
CONCRETE / PAVEMENT AREA (OFF-SITE)	490 SF 0.01 AC. 0.95%
TOTAL IMPERVIOUS AREA	32,754 SF 0.75 AC. 62.63%
TOTAL PERVIOUS AREA	19,545 SF 0.45 AC. 37.37%
	100.00%

- SIGNING AND PAVEMENT MARKING NOTES:**
- ALL SIGNING AND PAVEMENT MARKINGS SHALL BE ACCORDANCE WITH THE F.O.D.T. STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, THE F.O.D.T. ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND VILLAGE OF ESTERO DEPARTMENT OF TRANSPORTATION PUBLISHED STANDARDS.
  - PAVEMENT MARKINGS SHALL BE PERMANENT TRAFFIC PAINT IN ACCORDANCE WITH F.O.D.T. STANDARD SPECIFICATIONS SECTION 716.
  - MATCH EXISTING PAVEMENT MARKINGS AT EXISTING ROADS.
  - REMOVE ANY EXISTING SIGNS OR PAVEMENT MARKINGS IN CONFLICT WITH THOSE SHOWN ON PLANS.
  - ALL STOP SIGN LOCATIONS SHALL INCLUDE A 2" PAINTED WHITE STOP BAR UNLESS NOTED OTHERWISE.
  - THE CONTRACTOR SHALL COMPLY WITH THE "STATE OF FLORIDA MANUAL OF TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS" AND WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
  - THE CONTRACTOR SHALL FURNISH AND INSTALL STREET NAME SIGNS IN ACCORDANCE WITH VILLAGE OF ESTERO DEVELOPMENT STANDARDS.
  - ALL PAVEMENT MARKINGS WITHIN THE FOOT RIGHT OF WAY SHALL BE THERMO PLASTIC.
  - ALL EXISTING PAVEMENT MARKINGS THAT ARE IN CONFLICT WITH PROPOSED MARKINGS SHALL BE REMOVED BY HYDRO-BLASTING.

- VILLAGE OF ESTERO CONSISTENCY PLAN:**
- THE PROPOSED PROJECT IS CONSISTENT WITH THE VILLAGE OF ESTERO LAND DEVELOPMENT CODES AND THE GOALS, OBJECTIVES AND POLICIES SET FORTH IN THE VILLAGE OF ESTERO PLAN, INCLUDING BUT NOT LIMITED TO STANDARDS AND PROVISIONS, SITE LOCATION CRITERIA, HOMEAGE ALLOCATION TABLE, LAND USE CATEGORY & GROUP USE.

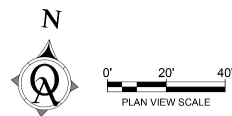
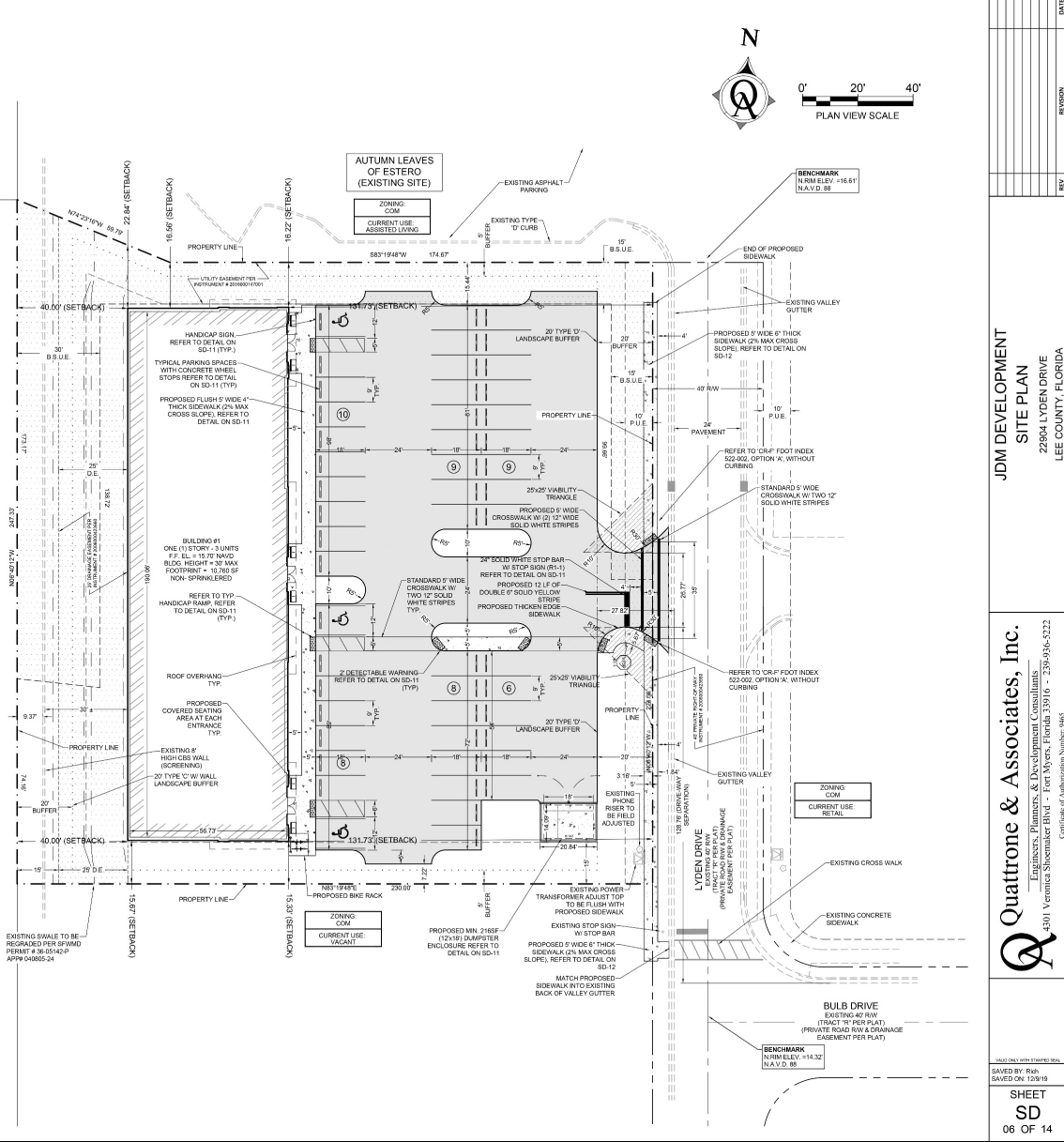
- ADA ACCESSIBILITY NOTES:**
- ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (INCLUDES RUNNING SLOPE AND CROSS SLOPE).
  - AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
  - SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS); NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
  - IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE ROW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
  - IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
  - ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTOR'S COST.

- PROJECT PHASING PLAN:**
- THE PROJECT INFRASTRUCTURE SHALL BE CONSTRUCTED IN 1 PHASE.

**SITE PLAN LEGEND:**

	PROPOSED PAVEMENT		DUMPSTER W/ ENCLOSURE
	PROPOSED CONCRETE / WALKS		SIGN AND POST
	PROPOSED HANDICAP PARKING		
	PAINTED BUILDING PARKING SYMBOL		
	PROPOSED STOP SIGN		
	NUMBER OF PARKING SPACES IN ROW		

- ZONING NOTES:**
- THE PROPOSED DEVELOPMENT COMPLIES WITH THE COMMERCIAL SUBDIVISION APPROVED UNDER RESOLUTION NUMBER 22-0010.
- THE PROPOSED USES OF HEALTH CARE FACILITIES (GROUP B), MEDICAL OFFICES AND OTHER USES FOR TRACTS "E" AND "T".



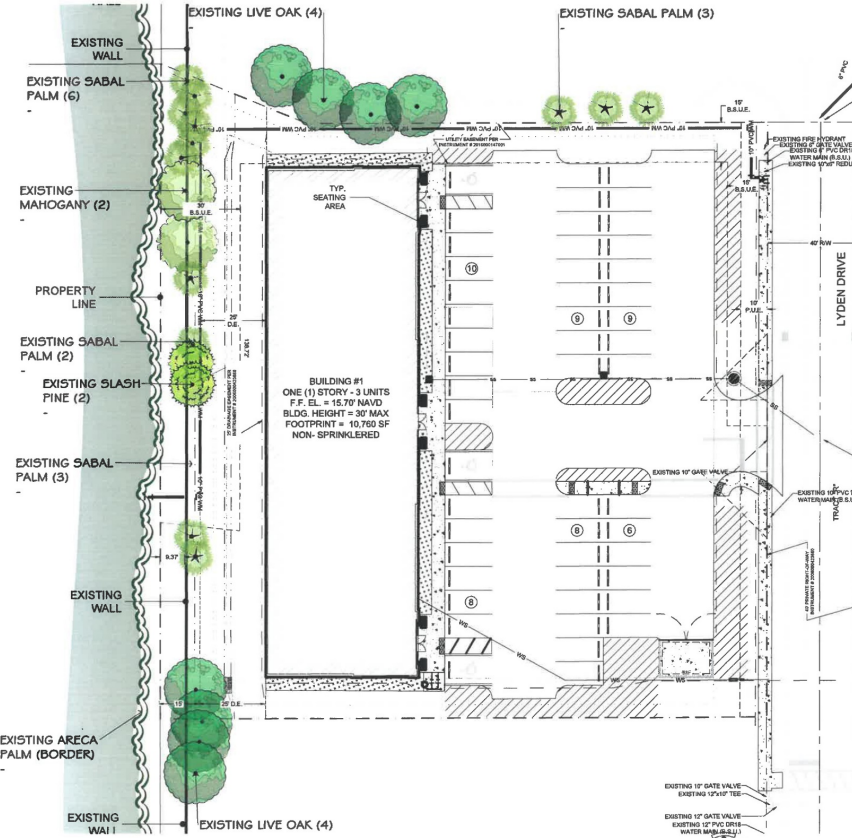
JDM DEVELOPMENT  
 SITE PLAN  
 22804 LYDEN DRIVE  
 LEE COUNTY, FLORIDA  
 Quatrone & Associates, Inc.  
 Engineers, Planners, & Development Consultants  
 4101 Venetian Shores Blvd - Fort Myers, Florida 33916 - 239-936-2222  
 Certificate of Authorization Number: 9845  
 SHEET SD 06 OF 14



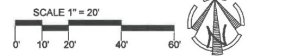
## EXISTING WEST PROPERTY LINE TREES & WALL PHOTOS LOOKING TOWARD RESIDENTIAL COMMUNITY

### GENERAL LANDSCAPE NOTES

- THE QUALITY OF ALL PLANT MATERIAL WILL MEET THE STANDARDS FOR FLORIDA GRADE NO.1 (or better), AS GOVERNED IN "GRADES AND STANDARDS FOR NURSERY PLANTS".
- ALL PLANTED TREES AND PALMS WILL HAVE A 3" DEEP SAUCER CONSTRUCTED FROM THE TRUNK OF THE TREE OR PALM, MINIMUM OF 4" DIAMETER.
- ALL PLANTING BEDS SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF MULCH AND SHALL BE WEED FREE. MULCH SHALL BE GRADE B OR BETTER. CONTRACTOR SHALL REMOVE ANY VEGETATIVE GROWTH AND APPLY A PRE-EMERGENT WEED KILLER PER SPECIFICATIONS PRIOR TO MULCHING.
- NO CODE REQUIRED PLANTINGS SHALL BE INSTALLED IN EASEMENTS. ABOVE CODE PLANTINGS SHALL BE REPLACED AT THE OPTION AND COST OF DEVELOPER SHOULD FUTURE UTILITY WORK REQUIRE REMOVAL.
- ANY AND ALL EXOTIC VEGETATION INCLUDING: EARLEAF ACACIA, WOMAN'S TONGUE, BISHOPWOOD, AUSTRALIAN PINE, CARROTWOOD, ROSEWOOD, AIR POTATO, MURRAY RED GUM, WEEPING FIG, CUBAN LAUREL, FIG, JAPANESE CLIMBING FERN, OLD WORLD CLIMBING FERN, MELALEUCA, DOXANY ROSE MYRTLE, CHINESE TALLOW, BRAZILIAN PEPPER, FLORIDA HOLLY, TROPICAL SODA APPLE, JAWA PLUM, ROSE APPLE, CORK TREE AND WEDELIA, ON THE PROPERTY SHALL BE COMPLETELY REMOVED AND DISPOSED OF OFF SITE BY THE CONTRACTOR. THE SITE SHALL BE MAINTAINED FREE OF INVASIVE EXOTIC VEGETATION IN PERPETUITY.
- TREES SHALL BE A MINIMUM OF 12'-14" IN HEIGHT WITH A 3" CALIPER MEASURED AT 1' ABOVE GROUND LEVEL WITH A SIX FOOT CANOPY UNLESS SPECIFIED AS 20' TALL TREES PER PLAN AND PLANT LIST.
- A MINIMUM OF 100% OF THE CODE BUFFER TREES AND SHRUBS SHALL BE OF A NATIVE SPECIES.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE LOCATIONS OF ALL UTILITIES AND ALL SITE CONDITIONS PRIOR TO THE START OF LANDSCAPE INSTALLATION.
- FERTILIZER SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND VILLAGES OF ESTERO OR LOCAL ORDINANCES
- IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINE GRADE ALL PLANTING AND SODDING AREAS PRIOR TO PLANT OR SOD INSTALLATION. CONTRACTOR SHALL OBTAIN OWNER APPROVAL OF FINAL GRADES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE TAKEOFFS. PLANT LIST IS PROVIDED FOR REFERENCE ONLY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE UNTIL FINAL ACCEPTANCE AND IN COMPLIANCE WITH SPECIFICATIONS.
- CONTRACTOR SHALL REMOVE ALL TAGS, TAPE AND SUPPORTS (EXCEPT STAKING GUYS) FROM ALL PLANTINGS PRIOR TO FINAL ACCEPTANCE.
- ALL AREAS OF THE SITE NOT PLANTED SHALL BE SODDED IN ACCORDANCE WITH PLANS. REFER TO ENGINEERING PLANS FOR ADDITIONAL SPECIFICATIONS.
- THE REQUIRED PLANTINGS SHALL BE IRRIGATED IN ACCORDANCE WITH LDC REQUIREMENTS. REFER TO CONSTRUCTION DOCUMENTS FOR COMPLETE IRRIGATION PLANS.
- THE PARKING LOTS SHALL BE SLEEVED FOR IRRIGATION BY THE LANDSCAPE CONTRACTOR. COORDINATE WITH CIVIL ENGINEERING PLANS.
- ALL BASE ROCK SHALL BE REMOVED FROM LANDSCAPE PARKING ISLANDS.
- PRIOR TO CERTIFICATE OF COMPLIANCE NO TREES SHALL BE PLANTED WHERE THEY INTERFERE WITH BUILDINGS, UTILITIES, SITE DRAINAGE, VIEWS, SIGNS, OR WHERE THEY WILL REQUIRE FREQUENT PRUNING TO AVOID POWER LINES AT MATURE HEIGHTS IN PERPETUITY UNLESS A WRITTEN STATEMENT IS PROVIDED PER LDC SEC. 10-421(A.5).
- THE CONTRACTOR SHALL PROVIDE (PRESSURE COMPENSATING SCREENS) AS NECESSARY TO REDUCE OR ELIMINATE OVERSPRAY INTO STREETS, WALKS OR OTHER AREAS AS DICTATED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- PLANS PREPARED FOR DEVELOPMENT ORDER APPROVAL. REFER TO ADDITIONAL LANDSCAPE CONSTRUCTION DOCUMENTS FOR PLANTING SPECIFICATIONS.
- ALL TREES PLANTED IN BSU EASEMENT SHALL BE LOCATED A MINIMUM OF 7.5' FROM ALL BSU SERVICE INFRASTRUCTURE.



### SITE LANDSCAPE CALCULATIONS



### SITE DEVELOPMENT DATA

TOTAL SITE = 1.20 Ac. (52,299 S.F.)

### OPEN SPACE REQUIREMENTS

35% OPEN SPACE REQUIRED  
52,290 x 20% = 10,458 SF REQUIRED.  
OPEN SPACE (PER HATCHING) = 13,750 SF PROVIDED PER HATCHING.

### INDIGENOUS OPEN SPACE REQUIREMENTS

NOT APPLICABLE

### HERITAGE TREES

NO HERITAGE TREES EXIST ON THE SITE

### GENERAL TREE CREDITS

NO TREE CREDITS TAKEN

### GENERAL TREE REQUIREMENTS (PARCEL G EAST)

1 TREE PER 3,500 SF OF SITE AREA  
52,290 / 3,500 = 15 TREES REQUIRED AND 15 PROVIDED.  
NOTE: 10 TREES MAY BE USED AT A 2:1 CREDIT FOR GENERAL TREES. GENERAL TREE REQUIREMENTS MAY NOT BE REDUCED MORE THAN 50%. A MAXIMUM OF 7-10' TREES MAY BE USED AT 2:1 CREDIT TOWARDS GENERAL TREES (CREDIT TREES, IF ANY, DEPICTED IN PLANT LIST)

### INTERNAL PARKING LANDSCAPE REQUIREMENTS

INTERNAL LANDSCAPE AREAS OF 10% OF THE PARKING AREA IS REQUIRED = 19,510 SF x 10% = 1,951 SF MINIMUM REQUIRED AND 1,900 SF PROVIDED PER HATCHING.  
MIN. 1 TREE PER 250 SF.  
1,951 / 250 = 8 TREES REQUIRED AND 8 PROVIDED  
APPROXIMATELY 195 SHRUBS OR GROUNDCOVERS ARE PROVIDED.

### WATER MANAGEMENT PLANTING REQUIREMENTS

PER SECTION 35-111(G) OF SUBDIVISION 1 OF ESTERO PLANNING COMMUNITY REGULATIONS:  
DETENTION BASINS MUST BE PLANTED WITH WETLAND SPECIES AT 36" OC THROUGHOUT THE BASIN.

### BUILDING PERIMETER PLANTING REQUIREMENTS

10,760 SF BLDG x 10% = 1,076 SF OF BUILDING PERIMETER PLANTING REQUIRED AND 1,100 PROVIDED PER HATCHING.

### BUFFER REQUIREMENTS:

#### PROJECT EAST BUFFER

COM TO R.O.W.  
20' MINIMUM WIDTH, TYPE 'D' BUFFER REQUIRED, W 5 TREES AND 66 SHRUBS PER 100 LINEAL FOOT.  
173 LF. (EXCLUDING EASEMENTS & ACCESS) / 100 x 5 = 9 TREES REQUIRED AND 8 PROVIDED.  
173 LF / 3 X 2 = 115 SHRUBS REQUIRED AND 116 PROVIDED.  
REQUIRED TREES AND SHRUBS LABELED AS (S.B.).

#### PROJECT SOUTH BUFFER

COM TO COM  
5' TYPE 'A' BUFFER REQUIRED, W 4 TREES PER 100 LINEAL FOOT.  
100 LF. (EXCLUDING EASEMENTS) / 100 x 4 = 7 TREES REQUIRED AND 7 PROVIDED.  
REQUIRED TREES AND SHRUBS LABELED AS (S.B.).

#### PROJECT WEST BUFFER

COM TO S.F.  
20' MINIMUM WIDTH, TYPE 'C' BUFFER REQUIRED, W 10 TREES AND 30 SHRUBS PER 100 LINEAL FOOT.  
215 LF. (EXCLUDING EASEMENTS) / 100 x 10 = 22 TREES REQUIRED AND 22 PROVIDED THROUGH EXISTING AND PROPOSED.  
215 LF / 100 x 30 = 65 SHRUBS REQUIRED AND 65 PROVIDED.  
REQUIRED TREES AND SHRUBS LABELED AS (S.B.).

#### PROJECT NORTH BUFFER

COM TO COM  
5' TYPE 'A' BUFFER REQUIRED, W 4 TREES PER 100 LINEAL FOOT.  
184 LF. (EXCLUDING EASEMENTS) / 100 x 4 = 7 TREES REQUIRED AND 7 PROVIDED.  
REQUIRED TREES AND SHRUBS LABELED AS (N.B.).

#### DETENTION AREA PLANTING

33 SF / 8 = 4.125 DETENTION PLANTINGS REQUIRED AND PROVIDED????????????????

TYPICAL EASEMENT AREA REFER TO ENGINEERING PLANS FOR SPECIFIC EASEMENT INFORMATION



**DMJA**

DAVID M. JONES, JR.  
AND ASSOCIATES, INC.

LANDSCAPE ARCHITECTS  
AND PLANNERS

2221 McInghar Blvd.  
Fort Myers, Florida 33901  
Phone: (239) 337-5255  
Fax: (239) 337-4664

4161 Tamiami Trail, Bldg. 5,  
Unit 601  
Fort Charlotte, Florida 33952  
Phone: (813) 235-2217  
Fax: (239) 307-4664

LA LICENSE LC 000003

### PROJECT INFORMATION

**JDM DEVELOPMENT**

22904 LYDEN DRIVE  
VILLAGES OF ESTERO,  
FLORIDA

PREPARED FOR:  
**Mr. Jeffrey Motto**  
JDM DEVELOPMENT  
14290 Metropolis Avenue  
Suite 1  
Fort Myers, FL 33912  
Tel: 239-275-1114

### CONSULTANT:

### DESIGN PROFESSIONAL:

GREGORY J. DESIRO, RLA  
R.L.A. No. 348  
STATE OF FLORIDA

### PROJECT NO. 219149

PROJECT NAME: GREGS DESIRO  
FILE NAME: JDM DEVELOPMENT LDC  
DESIGNER: GJD  
CHECKED BY: GJD  
DRAWN BY:  
DESIGN REVIEW BOARD

### ISSUED DATE: DEC. 13, 2019

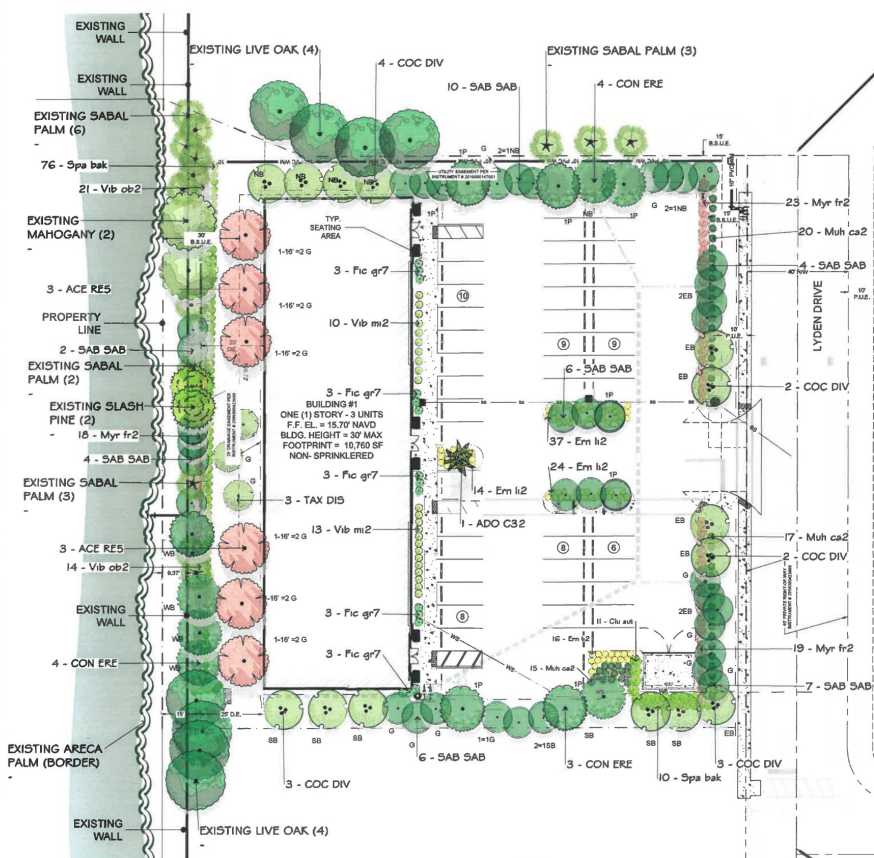
### REVISIONS:

### SHEET TITLE: SITE LANDSCAPE CALCULATIONS

### SHEET NUMBER

L-1

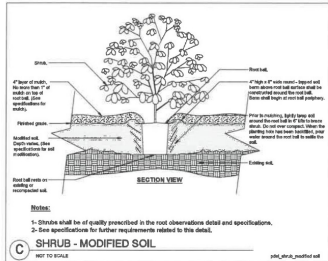
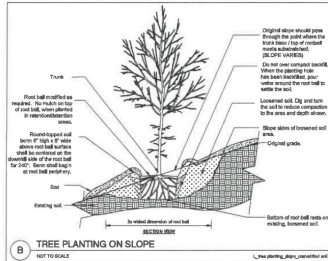
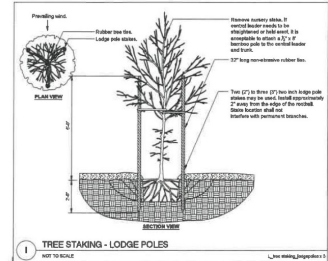
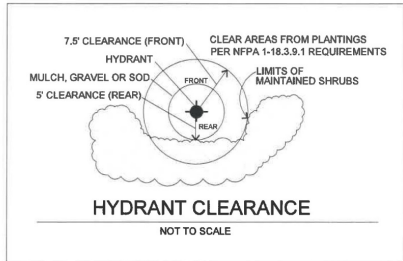




**LANDSCAPE PLAN**



TYPICAL EASEMENT AREA REFER TO ENGINEERING PLANS FOR SPECIFIC EASEMENT INFORMATION

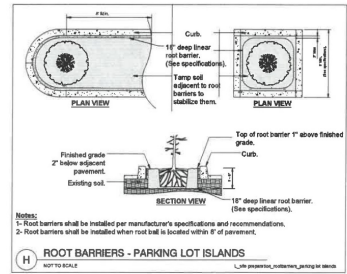
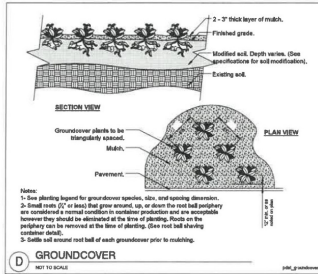
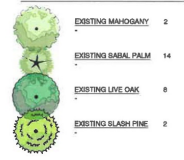


**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	ACE RES	6	Acer rubrum	Red Maple	Min. 10' HL, 6" Spd.
	ADO C32	1	Adonia merillii	Christmas Palm	Min. 10' Clear Trunk
	COC DIV	14	Coccoloba diversifolia	Pigeon Plum	Min. 2' Cal., 10' HL, 4' Spd.
	CON ERE	11	Conocarpus erectus	Green Buttonwood	Min. 2' Cal., 10' HL, 4' Spd.
	SAB SAB	30	Sabal palmetto	Cabbage Palmetto	Min. 10' Clear Trunk
	TAX DIS	3	Taxodium distichum	Bald Cypress	Min. 2' Cal., 10' HL, 4' Spd.
			Min. 2' Cal., 10' HL, 4' Spd.		
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	Clu aut	11	Clusia rosea	Flora Apple	Min. 24" H., 3 Gallon
	Em li	91	Erodia litoralis	Golden Creeper	Min. 1 Gallon, 16-18" HL
	Flo gr7	15	Ficus microcarpa 'Green Island'	Green Island Ficus	Min. 24" H., 3 Gallon
	Muh ca2	52	Muhlenbergia capillaris	Pink Muhly Grass	Min. 18" H., 3 Gallon
	Myr fr2	80	Myrciantha fragrans	Simpson's Stopper	Min. 24" H., 3 Gallon
	Spa bak	26	Spartina bakeri	Sand Cordgrass	Min. 18" H., 3 Gallon
	Vib ob2	35	Viburnum obtusum	Waller's Viburnum	Min. 24" H., 3 Gallon
	Vib mi2	23	Viburnum obtusum	Small Leaf Arrowwood	Min. 24" H., 3 Gallon

PLANT LIST IS FOR REFERENCE ONLY. QUANTITIES SHOWN ON PLAN SUPERCEDE QUANTITIES PROVIDED IN THE ABOVE LIST.

**EXISTING TREE LEGEND**



**DMJA**  
DAVID M. JONES, JR.  
AND ASSOCIATES, INC.

LANDSCAPE ARCHITECTS  
AND PLANNERS

2221 McGeorge Blvd.  
Fort Myers, Florida 33901  
Phone: (239) 337-5125  
Fax: (239) 337-4684

4151 Tamiami Trail, Bldg. 5,  
Unit 601  
Fort Chisler, Florida 33962  
Phone: (813) 235-2217  
Fax: (239) 337-4684  
LA LICENSE: LC 000080

PROJECT INFORMATION:

**JDM DEVELOPMENT**

22904 LYDEN DRIVE  
VILLAGES OF ESTERO,  
FLORIDA

PREPARED FOR:  
Mr. Jeffrey McIto  
**JDM DEVELOPMENT**  
14290 Metropolis Avenue  
Suite 1  
Fort Myers, FL 33912  
Tel: 239-275-1114

CONSULTANT:

DESIGN PROFESSIONAL

GREGORY J. DESIRO, P.L.A.  
FLA. REG. NO. 5876  
STATE OF FLORIDA

PROJECT NO. 219146  
PROJECT MGR. GREG DESIRO  
FILE NAME: JDM DEVELOPMENT  
DRAWN BY: GJD  
CAD TECH: GJD  
CHECKED BY: GJD  
REVISED FOR: DESIGN REVIEW BOARD

ISSUED DATE: DEC. 13, 2019

REVISIONS:

SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**L-2**







CHRISTMAS PALM



PIGEON PLUM



GREEN BUTTWOOD



BALD CYPRESS



SIMPSON STOPPER



PITCH APPLE



MRS. SCHILLER'S DELIGHT VIBURNUM



WALTER'S VIBURNUM



RED MAPLE



MUHLY GRASS



GREEN ISLAND FICUS



GOLDEN CREEPER



SPARTINA / CORD GRASS



**DMJA**  
DAVID M. JONES, JR.  
AND ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS  
AND PLANNERS

2221 McGregor Blvd.  
Fort Myers, Florida 33901  
Phone: (239) 337-8528  
Fax: (239) 337-4684  
4161 Tamiami Trail, Bldg. 5,  
Unit 501  
Fort Charlotte, Florida 33952  
Phone: (813) 235-2217  
Fax: (239) 337-4684  
LA LICENSE: LC 0000083

PROJECT INFORMATION:  
**JDM DEVELOPMENT**

22904 LYDEN DRIVE  
VILLAGES OF ESTERO,  
FLORIDA

PREPARED FOR:  
Mr. Jeffrey Motto  
JDM DEVELOPMENT  
14290 Metropolis Avenue  
Suite 1  
Fort Myers, FL 33912  
Tel: 239-275-1114

CONSULTANT:

DESIGN PROFESSIONAL:  
GREGORY J. OSBRO, RLA  
ISSUED: DATE:  
STATE OF FLORIDA

PROJECT NO.: 219146  
PROJECT NAME: GREG OSBRO  
FILE NAME: JDM DEVELOPMENT LS  
DESIGNER: GJD  
CAD TECH: GJD  
CHECKED BY: GJD  
ISSUED FOR: DESIGN REVIEW BOARD

ISSUED DATE: DEC. 18, 2019  
REVISIONS:

SHEET TITLE:  
**PLANT IMAGE BOARD**

SHEET NUMBER:  
**IMAGES**



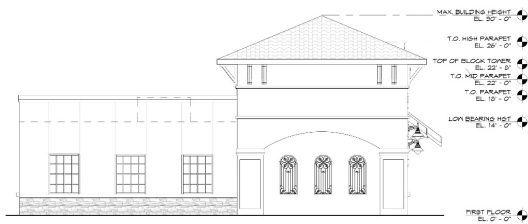
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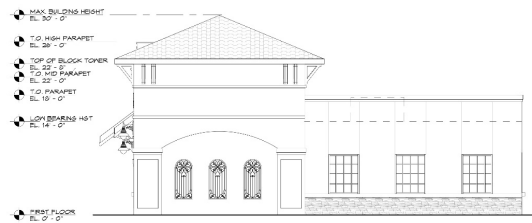
**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



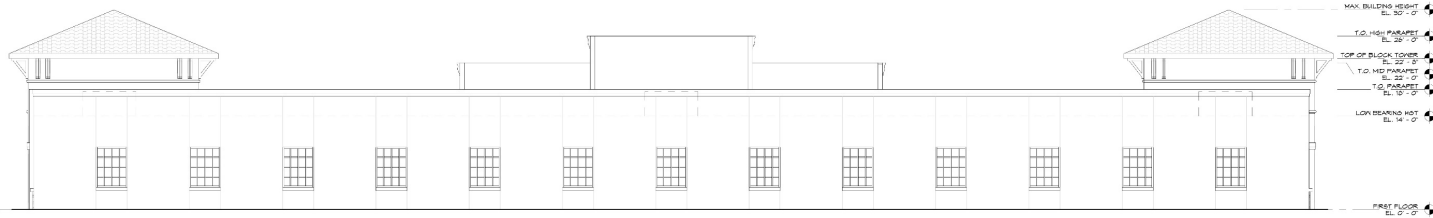
**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**DUMPSTER ENCLOSURE ELEVATIONS**

SCALE: 1/8" = 1'-0"

NEA OFFICE BUILDING SHELL FOR:  
**JDM DEVELOPMENT**  
 23904 Ujden Drive  
 Estero, FL 33928

**ADG**  
 ARCHITECTURE, llc  
 REGISTERED ARCHITECT

4161 Tamiami Trail #5013  
 Fort Myers, Florida 33906  
 P. 941.682.2622 F. 941.682.2629  
 A.A. 90002422

www.adgarchitect.com

STATE OF FLORIDA  
 ROBERT T. TAYLOR  
 ARCH012888  
 REGISTERED ARCHITECT

ROBERT T. TAYLOR  
 ARCH012888

00 - 00 - 2019

**A201**

PROJECT NO. 2019-143

19102019.13.25.00 PM







**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**ADG**  
ARCHITECTURE, Ilc



**Quattrone &**  
Associates, Inc.

# Conceptual Rendering



# Color & Material Palette



**Main Color:**  
SW 7035  
Aesthetic White



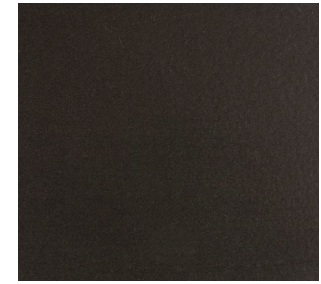
**Accent Color:**  
SW 7048  
Urbane Bronze



**Roof Color:**  
Eagle Roofing  
Buena Vista Blend  
3688



**Stone Accent:**  
*Final selection to be  
of similar color & style*



**Storefront & Windows:**  
Dark Bronze

---

## Building & Site Lighting:

*Post Mounted Fixtures*  
ANP PA 164  
ANP BVF 2001 LED

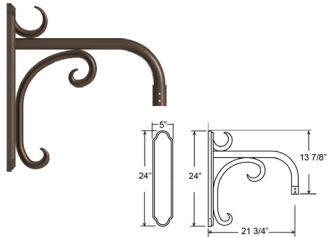
*Wall Mounted Fixtures*  
ANP WM 031  
ANP BVF 2001 LED



# Building & Site Lighting

ANP Lighting

Specifications WM031



Project: \_\_\_\_\_  
Quantity: \_\_\_\_\_  
Customer: \_\_\_\_\_

Weight: 6.5 lbs  
EPA: 0.83

**Specifications**

**General:**  
Due to size or weight, arms mounts may not accommodate all ANP luminaires.

**Material:**  
All parts are durable 306 cast aluminum and high strength stainless steel.

**Finish:**  
Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 5000 hours of continuous salt spray, complying with a 5-year warranty period available in either a textured or gloss surface.

**Modifications:**  
Consult factory for custom or modified designs.

**Finish:**  
A polyester powder coat high quality finish is electrostatically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleaning and pretreatment process for maximum paint adhesion.

**Material:**  
All parts are durable 306 cast aluminum and high strength stainless steel or zinc plated steel.

**Finish:**  
Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 5000 hours of continuous salt spray, complying with a 5-year warranty period available in either a textured or gloss surface.

**Modifications:**  
Consult factory for custom or modified designs.

WM031 - WALL MOUNT  
Wall mount for pendant fixture.

1	2	3	4	5	6
1	2	3	4	5	6
1	2	3	4	5	6

1	2
1	2
1	2

1	2
1	2
1	2

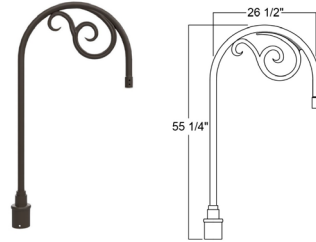
Standard Marine Grade	Standard Marine Grade	Standard Marine Grade	Standard Marine Grade
40 NA Raw Unfinished	53 100 Copper Clay	41 101 Black	56 109 Silver
42 102 Forest Green	61 106 Black Verde	43 114 Bright Red	70 118 Painted Chrome
44 107 White	71 105 Painted Copper	45 112 Bright Blue	72 108 Textured Black
46 123 Sunny Yellow	73 125 Matte Black	47 126 Aqua Green	76 121 Textured Architectural Bronze
49 NA Galvanized	77 127 Textured White	50 111 Navy	78 124 Textured Silver
51 103 Architectural Bronze	100 Aspen Green	52 104 Patina Verde	111 131 Cantaloupe
53 103 Architectural Bronze	100 Aspen Green	54 104 Patina Verde	111 131 Cantaloupe
55 103 Architectural Bronze	100 Aspen Green	56 104 Patina Verde	111 131 Cantaloupe

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1-800-548-3277  
ANPLighting.com

ANP Lighting

Specifications PA164



Project: \_\_\_\_\_  
Quantity: \_\_\_\_\_  
Customer: \_\_\_\_\_

Weight: 13.0 lbs  
EPA: 1.1

**Specifications**

**General:**  
Due to size or weight, arms mounts may not accommodate all ANP luminaires.

**Material:**  
All parts are durable 306 cast aluminum and high strength stainless steel or zinc plated steel.

**Finish:**  
Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 5000 hours of continuous salt spray, complying with a 5-year warranty period available in either a textured or gloss surface.

**Modifications:**  
Consult factory for custom or modified designs.

**Finish:**  
A polyester powder coat high quality finish is electrostatically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleaning and pretreatment process for maximum paint adhesion.

**Material:**  
All parts are durable 306 cast aluminum and high strength stainless steel or zinc plated steel.

**Finish:**  
Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 5000 hours of continuous salt spray, complying with a 5-year warranty period available in either a textured or gloss surface.

**Modifications:**  
Consult factory for custom or modified designs.

PA164 - POST ARM  
Extruded aluminum post arm for pendant fixture.

1	2	3	4	5	6
1	2	3	4	5	6
1	2	3	4	5	6

1	2	3	4
1	2	3	4
1	2	3	4

1	2	3	4
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1	2	3	4

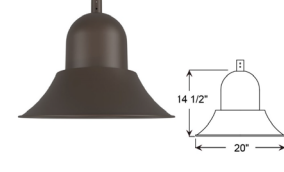
1	2	3	4	5	6
1	2	3	4	5	6
1	2	3	4	5	6
1	2	3	4	5	6
1	2	3	4	5	6
1	2	3	4	5	6

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ANP Lighting

Specifications BVF2001



Project: \_\_\_\_\_  
Quantity: \_\_\_\_\_  
Customer: \_\_\_\_\_



Weight: 6.5 lbs  
EPA: 0.86

**Specifications**

**General:**  
Due to size or weight, arms mounts may not accommodate all ANP luminaires.

**Material:**  
All parts are durable 306 cast aluminum and high strength stainless steel or zinc plated steel.

**Finish:**  
Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 5000 hours of continuous salt spray, complying with a 5-year warranty period available in either a textured or gloss surface.

**Modifications:**  
Consult factory for custom or modified designs.

**Finish:**  
A polyester powder coat high quality finish is electrostatically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleaning and pretreatment process for maximum paint adhesion.

**Material:**  
All parts are durable 306 cast aluminum and high strength stainless steel or zinc plated steel.

**Finish:**  
Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 5000 hours of continuous salt spray, complying with a 5-year warranty period available in either a textured or gloss surface.

**Modifications:**  
Consult factory for custom or modified designs.

BVF2001 - LED  
Dark Sky Friendly.

BVF2001, P078LD4, D, TS, 40K, PC - PA1613, 72  
Dark Sky Friendly.

1	2	3	4	5	6	7
1	2	3	4	5	6	7
1	2	3	4	5	6	7

1	2	3	4	5	6	7
1	2	3	4	5	6	7
1	2	3	4	5	6	7

1	2	3	4	5	6	7
1	2	3	4	5	6	7
1	2	3	4	5	6	7

1	2	3	4	5	6	7
1	2	3	4	5	6	7
1	2	3	4	5	6	7

1	2	3	4	5	6	7
1	2	3	4	5	6	7
1	2	3	4	5	6	7

1	2	3	4	5	6	7
1	2	3	4	5	6	7
1	2	3	4	5	6	7

1	2	3	4	5	6	7
1	2	3	4	5	6	7
1	2	3	4	5	6	7

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ANPLighting.com



ADG  
ARCHITECTURE, llc



Quattrone &  
associates, Inc.

Presentation for:  
**Village of Estero Design Review Board**

---

**Thank You**

---

Presented by:



3820 Colonial Boulevard, Suite 100  
Fort Myers, FL 33966  
(239) 277-0554



2221 McGregor Blvd.  
Fort Myers, FL 33901  
(239) 337-5525



4301 Veronica Shoemaker Blvd.  
Fort Myers, FL 33916  
(239) 936-5222



**APPLICATION REQUEST FOR DESIGN REVIEW BOARD  
PUBLIC INFORMATIONAL MEETING  
IN THE VILLAGE OF ESTERO  
[LDC Section 33-54]**

**REQUEST IS FOR:** Public Informational Meeting pursuant to LDC Section 33-54 (a) & (b)

- 1. Applicant: Kevin Dowty, P.E., Agnoli, Barber & Brundage, Inc.
- 2. Project Name: Wildcat Run Clubhouse Expansion
- 3. Address: 20300 Country Club Drive, Estero, FL 33928
- 4. Strap Number: 30-46-26-E4-0100A.20CE
- 5. Application Number: \_\_\_\_\_

6. Type of Application (check appropriate type(s) ):
- |   |   |
|---|---|
| <input type="checkbox"/> Monument Sign                    | <input checked="" type="checkbox"/> Development Order |
| <input type="checkbox"/> Limited Review Development Order | <input type="checkbox"/> Landscaping & Buffers        |
| <input type="checkbox"/> Architecture                     | <input type="checkbox"/> Other _____                  |
- (Specify)

7. Project Description. (Brief description of project and reason for application.)

Wildcat Run Clubhouse proposes expansions to the club will involve the kitchen, dining, restrooms and storage rooms.

In addition to the necessary site work changes related to the clubhouse improvements, two new bocce ball courts are

also proposed. There will be no increase in membership as a result of these improvements

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

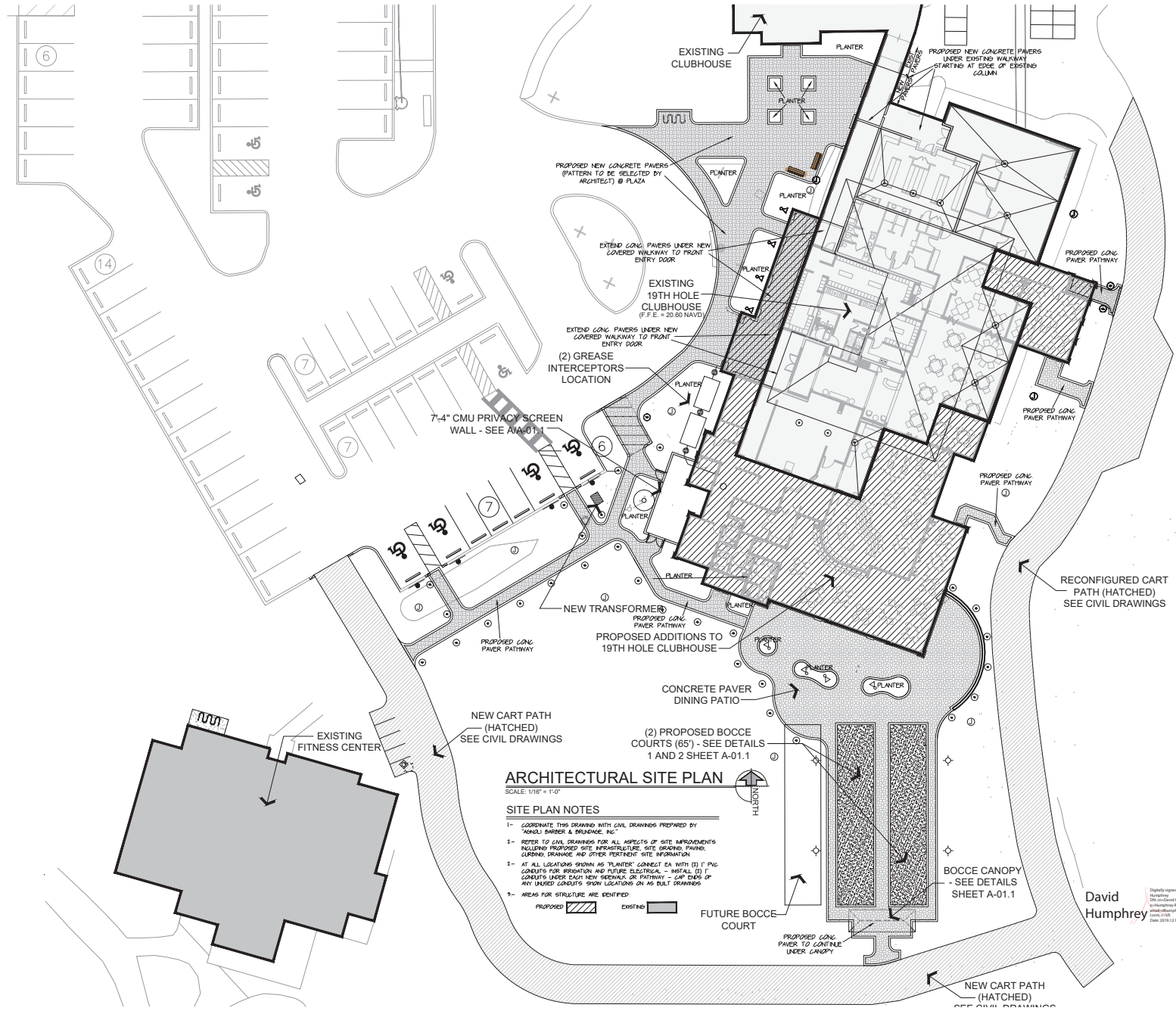
\_\_\_\_\_

8. Application shall be accompanied by an electronic copy of the detail plans, illustrating the scope of the project including all four (4) sides of the building, easements, and landscape plans. The plans shall define what is being requested and the existing conditions. Pursuant to Ordinance 15-01, plans and specifications are to be prepared by a registered architect or registered engineer.

Kevin Dowty 12-20-19

Signature Date

**THE VILLAGE OF ESTERO  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
9401 Corkscrew Palms Circle  
Estero, Florida 33928  
PHONE (239) 221-5036**



**ARCHITECTURAL SITE PLAN**

SCALE: 1/16" = 1'-0"

**SITE PLAN NOTES**

- 1- CORRELATE THIS DRAWING WITH CIVIL DRAWINGS PREPARED BY "MORRIS BARBER & BRIDGEMAN, INC."
- 2- REFER TO CIVIL DRAWINGS FOR ALL ASPECTS OF SITE IMPROVEMENTS INCLUDING PROPOSED SITE INFRASTRUCTURE, SITE GRADING, PAVING, GROUND DRAINAGE AND OTHER PERTINENT SITE INFORMATION.
- 3- AT ALL LOCATIONS SHOWN AS "PLANTER" CONNECT EA WITH (3) 1" PVC CONDUITS FOR IRRIGATION AND FUTURE ELECTRICAL - INITIAL (3) 1" CONDUITS UNDER EACH NEW SIDEWALK OR PATHWAY - CAR EDGES OF ANY UNLID CONDUITS SHOW LOCATIONS ON AS BUILT DRAWINGS
- 4- AREAS FOR STRUCTURE ARE IDENTIFIED



**HUMPHREY • ROSAL**  
ARCHITECTS  
3300 PRINCE NORTH  
NAPLES, FLORIDA 34103  
(239) 264-0201  
humphreysrosal.com



DRAWN: D.H.B. 12/10/2019  
DATE: 12/10/2019  
REVISIONS:

PROPOSED ALTERATIONS AND ADDITIONS TO:  
**WILDCAT RUN**  
**19TH HOLE CLUBHOUSE**  
LEE COUNTY, FLORIDA

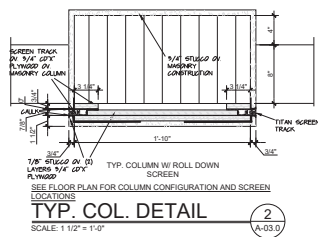
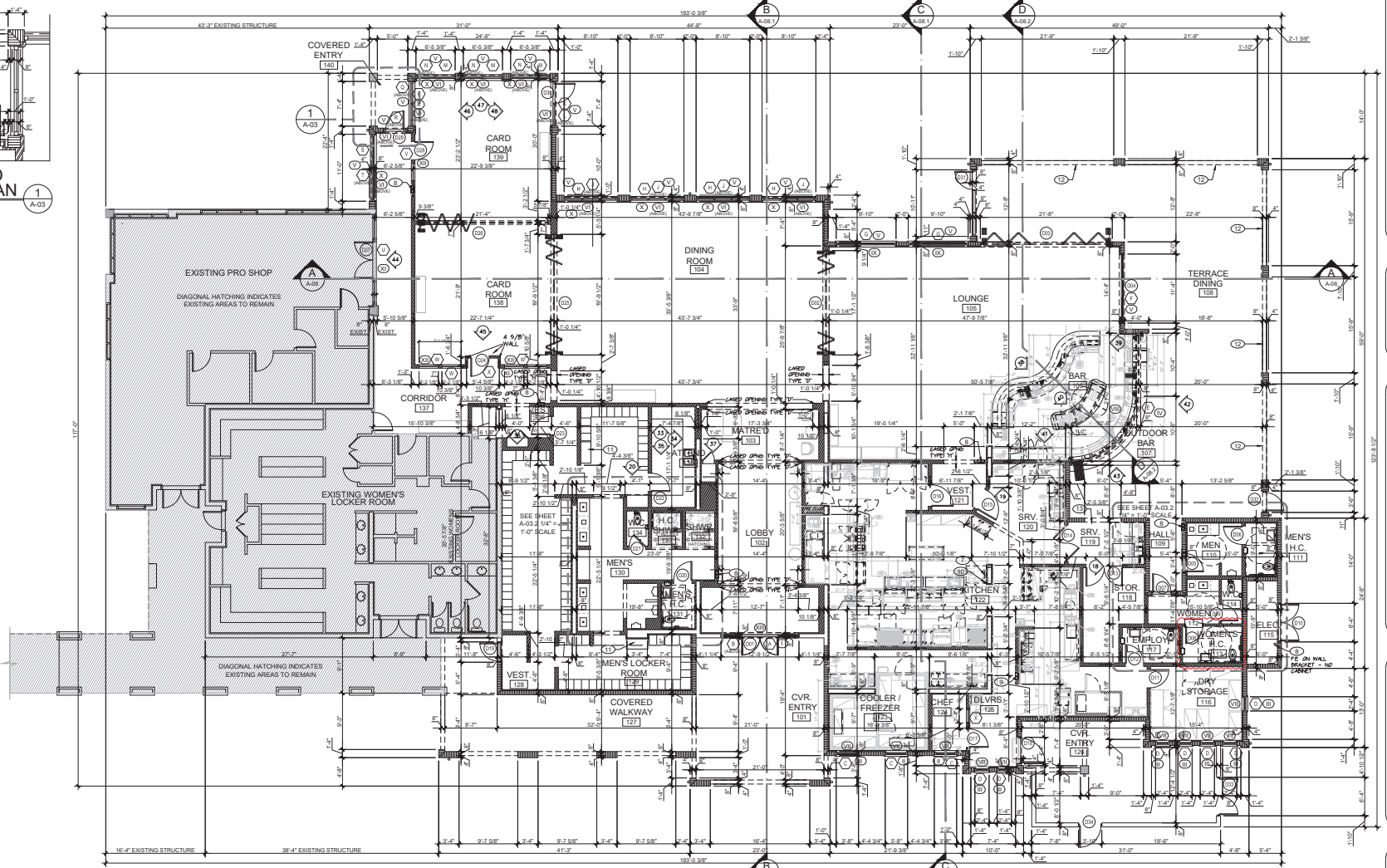
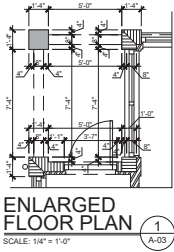
**ARCHITECTURAL**  
SITE PLAN

SHEET No:  
**A-01**



David Humphrey

Digitally signed by David Humphrey  
DN: cn=David M. Humphrey,  
o=David M. Humphrey, ou=David M. Humphrey,  
c=US, email=dh@humphreysrosal.com,  
serial=123456789, date=2019.12.11 16:27:14 -0500



- LEGEND**
- CONCRETE BLOCK CONSTRUCTION
  - CAST IN PLACE CONCRETE CONSTRUCTION
  - METAL STUDS OR 2" X 2" WERE CALLED OUT AT 48" O.C. MAX. WITH DUCT INSULATION BETWEEN
  - INTERIOR ELEVATION
  - WOOD DESIGNATION
  - DOOR DESIGNATION
  - ROOM DESIGNATION

- GENERAL NOTES**
- DO NOT SCALE DRAWINGS - VERIFY DIMENSIONS PRIOR TO ORDER OR CONSTRUCTION. VERIFY ALSO EXISTING CONDITIONS, LAYOUT, DIMENSIONS AND ANY HEIGHTS OF ANY DISCREPANCIES.
  - ALL INTERIOR CONSTRUCTION SHOWN HEREON SHALL MEET AT 3/4" OR 1/2" IN SCENE WALLS OR MULTIPLE THEREOF EXCEPT WHERE OTHERWISE NOTED.
  - SEE SITE PLAN FOR CONTINUATION OF MAINTENANCE OPERATIONS, PAVING, ETC. COORDINATE LAYOUT, DIMENSIONS, ETC. WITH G.M. AND LANDSCAPE.
  - COORDINATE THESE DRAWINGS WITH STRUCTURAL AND MECHANICAL DRAWINGS FOR REQUIREMENTS IN RESPECT TO CLEARANCES AND MAINTENANCE ACCESS.
  - REQUIRED FLOOR CLEARANCES FOR ACCESSIBILITY BY THE PHYSICALLY HANDICAPPED SHALL BE:
    - A. 48" MIN. TO CLEAR FLOOR AREA
    - B. 36" MIN. UNDER CABINETS
    - C. 48" DIAMETER WHEELCHAIR TURNAROUND
    - D. 48" MIN. TURNAROUND
    - E. 36" MIN. SWOOP ACCESS
    - F. 6" ON FULL SIDE OF SWOOP DOOR
    - G. 12" ON PART SIDE OF DOOR
  - INTERIOR DOORS TO BE CONSIDERED IN WALLS OR HALLS IF JAMB ON ONE SIDE TYP UNLESS INDICATED OTHERWISE.
  - FIXED ROOF ACCESS LADDER - SEE DETAIL 1/A-091
  - 5 LBS. II. RATED 24-0000 FIRE EXTINGUISHER IN RECORDED CABINET AT LOCATIONS AS SHOWN ON PLAN.
  - 10 LBS. II. RATED 44-0000 FIRE EXTINGUISHER AT LOCATIONS AS SHOWN ON PLAN IN RECORDED CABINET.
  - 1/2" SLL NET OPERABLE (INCL. 1/2" MODEL BY LARSEN II. RATED 240 FIRE EXTINGUISHER (SURFACE MOUNT ON WALL BRACKET).
  - WALLS SHALL MEET ADA REQUIREMENTS WITH SEAT CURBS.
  - PROVIDE ROLL DOWN TITAN SCREEN IN EACH OPENING - SEE SHUTTER TRACK DETAILS 1/A-090
  - SECURITY "MULLIES" INSTALLED IN EACH OPENING - WITH TRACK FLUSH MOUNTED ON BACK SIDE OF MASONRY JAMB.

**HUMPHREY • ROSAL ARCHITECTS**  
2000 PINE ST. NORTH  
MARIETTA, FLORIDA 32158  
407.924.1001  
hrosal@humphreyrosal.com

**PROPOSED ALTERATIONS AND ADDITIONS TO:**  
**WILDCAT RUN**  
**19TH HOLE CLUBHOUSE**  
LEE COUNTY, FLORIDA

**FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

SHEET No. **A-03**

DATE: 12/10/2019  
REVISIONS:

DATE: 12/10/2019  
REVISIONS:

DATE: 12/10/2019  
REVISIONS:

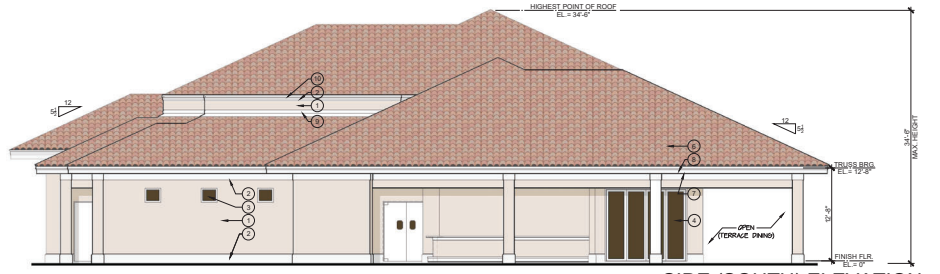




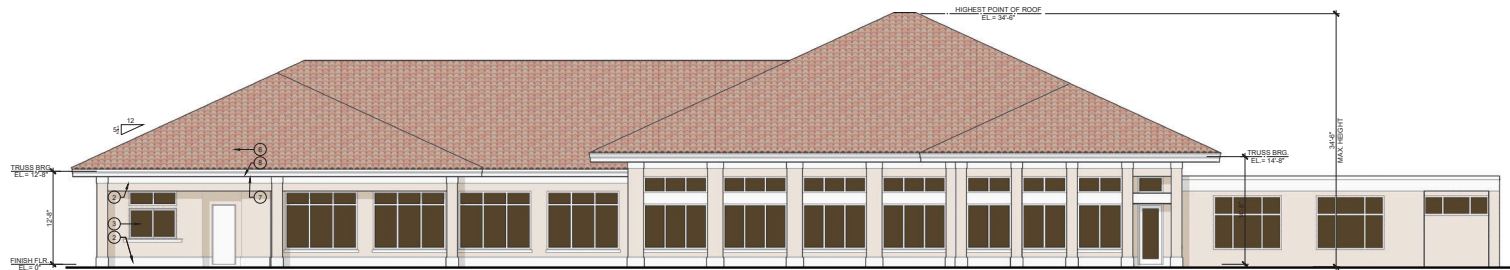
**FRONT (WEST) ELEVATION**  
SCALE: 1/8" = 1'-0"

**MATERIALS LEGEND**

- ① BRICK 3/4" Thick in smooth round finish
- ② JOIST CHANGES OR CONCRETE MASONRY CONSTRUCTION USE 1/2" BONDING AGENT OVER CURT CONCRETE SURFACES WITH 8" MIN. DIMP AT ALL VERTICAL TO CONCRETE TRANSITION
- ③ JOIST 1/2" PLUMB CONSTRUCTION USE GALVANIZED METAL LATH AND BALKING PAPER OVER PLUMB SURFACES
- ④ BRICK 2 1/2" RADIUS ROUNDED CORNER FROM BRICK TYP
- ⑤ BRICK 2 1/2" RADIUS ROUNDED CORNER FROM BRICK TYP
- ⑥ BRICK 2 1/2" RADIUS ROUNDED CORNER FROM BRICK TYP
- ⑦ BRICK 2 1/2" RADIUS ROUNDED CORNER FROM BRICK TYP
- ⑧ BRICK 2 1/2" RADIUS ROUNDED CORNER FROM BRICK TYP
- ⑨ BRICK 2 1/2" RADIUS ROUNDED CORNER FROM BRICK TYP
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- ㊿ BRICK 2 1/2" RADIUS ROUNDED CORNER FROM BRICK TYP



**SIDE (SOUTH) ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR (EAST) ELEVATION**  
SCALE: 1/8" = 1'-0"



**SIDE (NORTH) ELEVATION**  
SCALE: 1/8" = 1'-0"

**HUMPHREY • ROSAL**  
ARCHITECTS  
2000 PINE ST. NORTH  
PALM BEACH, FLORIDA 33410  
PH: 561.833.1111  
WWW.HUMPHREYROSAL.COM

DATE: 12/18/2019  
DRAWN: [Name]  
REVISIONS:

PROPOSED ALTERATIONS AND ADDITIONS TO:  
**WILDCAT RUN**  
**19TH HOLE CLUBHOUSE**  
LEE COUNTY, FLORIDA

EXTERIOR ELEVATIONS

SHEET No.  
**A-03**

STATE OF FLORIDA  
COUNTY OF LEE  
I, [Name], ARCHITECT  
REGISTERED PROFESSIONAL ARCHITECT  
NO. 9763



# Wildcat Run Country Club

## Grille Room Expansion : Entry Elevation Concept

**HUMPHREY • ROSAL**  
ARCHITECTS  
2000 PINE ST. NORTH  
NAPLES, FLORIDA 34108  
(239) 263-4201  
FAX: (239) 263-4201  
dhrumphrey@humpfreyrosal.com

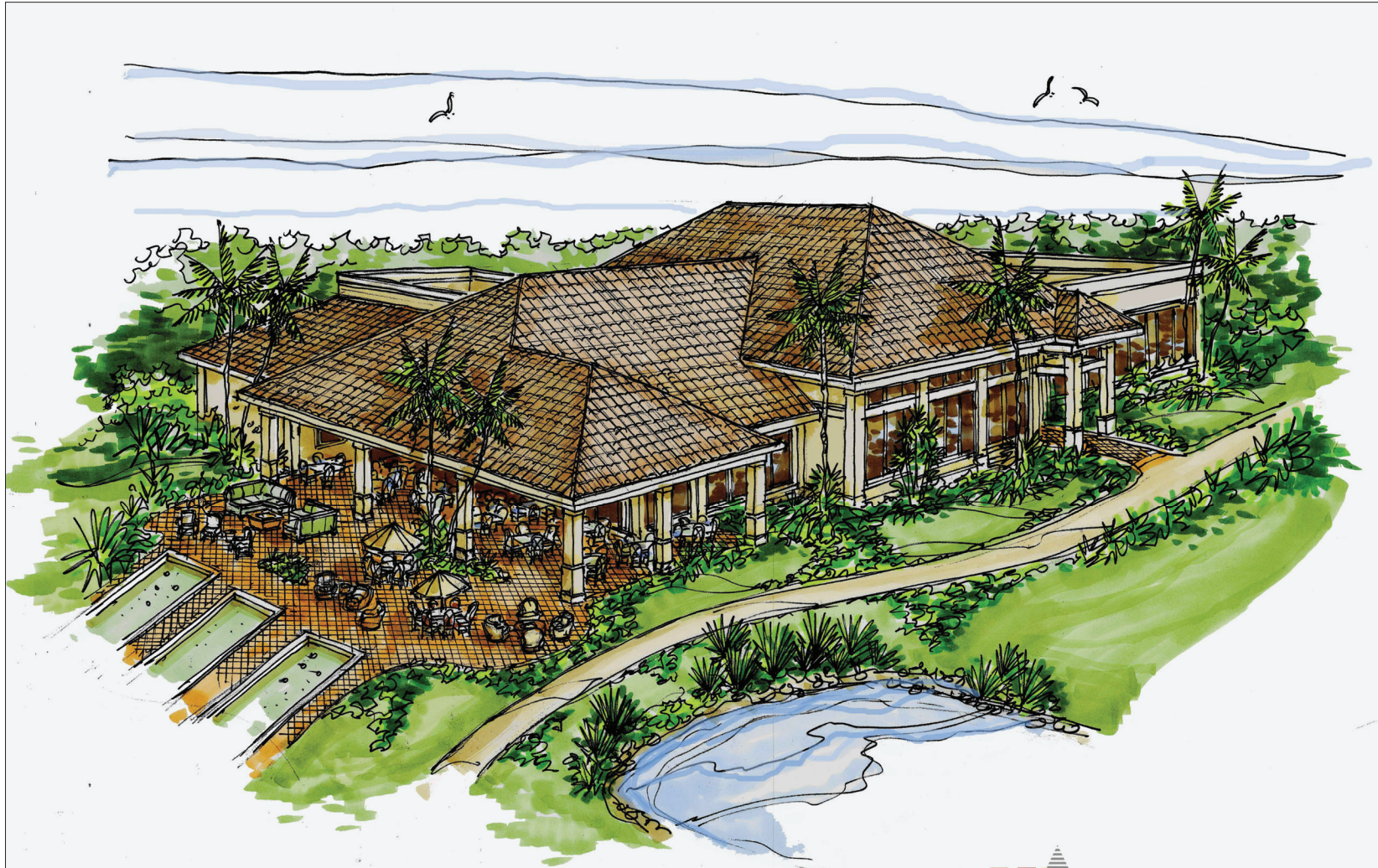
DATE: 12/11/2019  
DRAWN BY: D.A.B.  
CHECKED BY: D.A.B.  
REVISIONS:

PROPOSED ALTERATIONS AND ADDITIONS TO:  
**WILDCAT RUN**  
**19TH HOLE CLUBHOUSE**  
LEE COUNTY, FLORIDA

EXTERIOR RENDERING

SHEET No.





**Wildcat Run Country Club  
Grille Room Expansion : Concept Elevation**



**HUMPHREY • ROSAL  
ARCHITECTS**  
3300 9TH ST. NORTH  
NAPLES, FLORIDA 34108  
(339) 283-4201  
FAX: (339) 283-4201  
dhrumphr@humphrosal.com



DESIGN DATE: 12/16/2019  
REVISIONS:

PROPOSED ALTERATIONS AND ADDITIONS TO:  
**WILDCAT RUN  
19TH HOLE CLUBHOUSE**  
LEE COUNTY, FLORIDA

EXTERIOR RENDERING

SHEET No.

I HEREBY CERTIFY THAT I AM THE ARCHITECT OF RECORD FOR THE PROJECT AND I AM A LICENSED ARCHITECT IN THE STATE OF FLORIDA. I AM NOT PROVIDING ANY PROFESSIONAL SERVICES IN ANY OTHER STATE OR COUNTRY.



DAVID M. HUMPHREY  
FLORIDA REG. NO. 9763

# LIMITED REVIEW DEVELOPMENT ORDER TYPE D - LANDSCAPE & IRRIGATION PLANS FOR: WILDCAT RUN CLUB HOUSE

LOCATED IN SECTION 30, TOWNSHIP 46 SOUTH, RANGE 26 EAST,  
VILLAGE OF ESTERO, LEE COUNTY, FLORIDA.

PREPARED FOR: WILDCAT RUN COUNTRY CLUB ASSOCIATION, INC. 20300 COUNTRY CLUB DRIVE ESTERO, FL 33928

PROPERTY ZONING: GOLF COURSE, DRIVING RANGE

PROPERTY STRAP NUMBER: 30-46-26-E4-0100A.20CE

LEGAL DESCRIPTION: AS PROVIDED BY SURVEYOR

## REVIEWING AGENCIES

### LEE COUNTY

VILLAGE OF ESTERO COMMUNITY DEVELOPMENT SERVICES  
9401 CORKSCREW PALMS CIRCLE  
ESTERO, FL 33928  
TEL: [239] 221-5036

TELEPHONE:  
CENTURY LINK  
P.O. BOX 2477  
NAPLES, FLA. 34104  
TEL: [239] 263-6319

ENVIRONMENTAL:  
DEPARTMENT OF ENVIRONMENTAL PROTECTION  
2295 VICTORIA AVENUE No. 364  
FT. MYERS, FLA. 34113  
TEL: [239] 332-6975

SEWER:  
LEE COUNTY UTILITIES  
7391 COLLEGE PARKWAY  
FT. MYERS, FLA. 33907  
TEL: [239] 533-8845

WATER MANAGEMENT:  
SOUTH FLORIDA WATER MANAGEMENT DISTRICT  
2301 MCGREGOR BOULEVARD  
FORT MYERS, FLA. 33901  
TEL: [239] 338-2929

POWER:  
FLORIDA POWER AND LIGHT COMPANY  
15824 WINKLER ROAD  
FT. MYERS, FLA. 33908  
[239] 334-7754

TELEVISION:  
COMCAST  
301 TOWER ROAD  
NAPLES, FLA. 34113  
TEL: [239] 793-3577

FIRE DISTRICT:  
ESTERO FIRE RESCUE  
21300 FIRE HOUSE LANE  
ESTERO, FL 33928  
TEL: [239] 390-8000

WATER:  
LEE COUNTY UTILITIES  
7391 COLLEGE PARKWAY  
FT. MYERS, FLA. 33907  
TEL: [239] 533-8845

## SHEET INDEX

SHEET #	SHEET TITLE
L1	COVER SHEET
L2	EXISTING CONDITIONS / DEMOLITION PLAN
L3	LANDSCAPE PLAN
L4	LANDSCAPE DETAILS
L5	LANDSCAPE SPECIFICATIONS
L6	IRRIGATION DETAILS

**AGNOLI  
BARBER &  
BRUNDAGE, INC.**  
Professional Engineers, Planners, Surveyors,  
& Landscape Architects  
Certificate of Authorization No.  
LB 5664, EB 5664, and LC26000630  
Collier County:  
1409 Trail Blvd., Suite 200 Naples, FL 34108  
Phone: (239) 977-3111  
Fax: (239) 566-2203

CLIENT NAME:  
WILDCAT RUN COUNTRY CLUB  
ASSOCIATION, INC.  
20300 COUNTRY CLUB DRIVE  
ESTERO, FL 33928

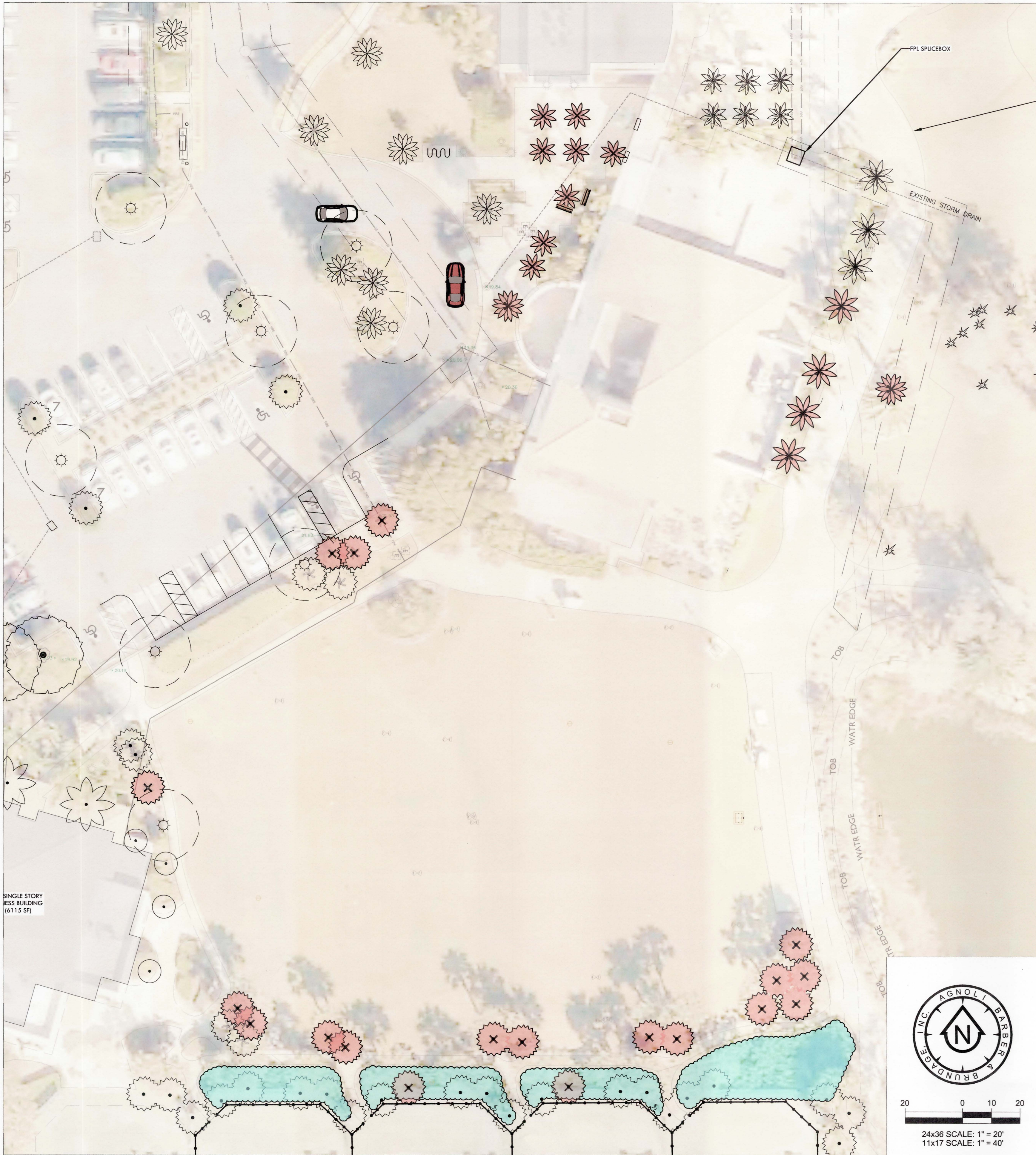
PROJECT NAME:  
WILDCAT RUN CLUB HOUSE  
DRAWING TITLE:  
COVER SHEET

DESIGNED BY: ABB  
DRAWN BY: BCG  
CHECKED BY: BCG  
REVIEWED BY: BCG  
HOR. SCALE: 1"=40'  
VERT SCALE: N/A  
DATE: December 2019

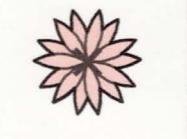
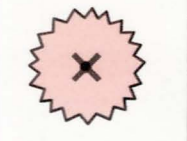
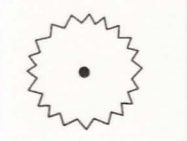

NO.	DATE	REVISIONS
1		Rev. No. 1 - Village of Estero Board Comments - Nov. 27, 2019
2		Rev. No. 2 - Technical staff input - Dec. 20, 2019


ACAD FILE NAME:  
Landscape  
ABB PROJECT #  
18-0094  
PLOT VIEW \ LAYOUT  
L1 COVER  
SHEET 01  
OF 06

ACAD FILE #  
11838  
REG. LANDSCAPE ARCHITECT  
FOR THE STATE OF FLORIDA  
12-20-17



LANDSCAPE DEMOLITION LEGEND:

-  EXISTING DATE PALM TO BE REMOVED
-  EXISTING SABAL PALM TO BE REMOVED
-  EXISTING SABAL PALM TO REMAIN
-  EXISTING VEGETATION TO BE REMOVED



24x36 SCALE: 1" = 20'  
11x17 SCALE: 1" = 40'

**AGNOLI  
BARBER &  
BRUNDAGE, INC.**  
Professional Engineers, Planners, Surveyors,  
& Landscape Architects  
Certificate of Registration No.  
L.B. 5664, L.B. 5664, and L.E.20090620

Office: 7400 Trail Blvd., Suite 200 Naples, FL 34108  
Phone: (239) 437-3111  
Fax: (239) 566-2203

---

CLIENT NAME:  
**WILDCAT RUN COUNTRY CLUB  
ASSOCIATION, INC.  
20300 COUNTRY CLUB DRIVE  
ESTERO, FL 33928**

---

PROJECT NAME:  
**WILDCAT RUN CLUB HOUSE**

DRAWING TITLE:  
**EXISTING CONDITIONS /  
DEMOLITION PLAN**

---

DESIGNED BY: ABB  
DRAWN BY: BCG  
CHECKED BY: BCG  
REVIEWED BY: BCG  
HOR. SCALE: 1"=40'  
VERT. SCALE: N/A  
DATE: December 2019

NO.	DATE	REVISIONS
1		Rev. No. 1 - Village of Estero Beach Comments - Nov. 27, 2019
2		Rev. No. 2 - Electrical, soil, and earth - Dec. 20, 2019


ACAD FILE NAME:  
**Landscape**

ABB PROJECT #  
**18-0094**

PLOT VIEW \ LAYOUT  
**L2 SURVEY**

SHEET **02**  
OF **06**

ACAD FILE #  
**11838**



**Village of Estero Landscape Calculations**

- A. Sec. 10-416 (b) Building perimeter plantings - Provide perimeter plantings equal to 10% of proposed building gross ground level area.
- Total Building Area = 7,157 square feet  
 Total Planting Required = 716 square feet  
 Total Planting Provided = 3,200 square feet
- B. Sec. 10-420 (b) Native varieties - At least 75 percent of the trees and 50 percent of the shrubs used to fulfill the LDC requirements must be native Florida species.
- Total Trees = 8  
 Native Trees Provided = 6  
 Percentage Native = 75%
- Total Shrubs = 541  
 Native Shrubs Provided = 264  
 Percentage Native = 50%

Sec. 33-353 (c) Trees and palms - Code required trees must be a minimum of forty-five gallon container, twelve feet planted height, three inch caliper, and six foot spread.

All palms 10' clear trunk or greater.  
 2" Minimum layer mulch required.

**REFERENCE NOTES SCHEDULE**

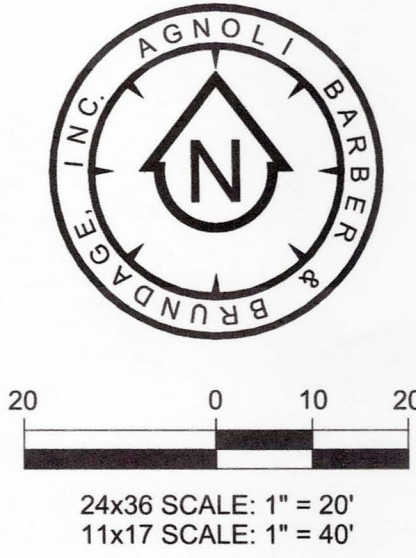
SYMBOL	DESCRIPTION	QTY	DETAIL
M-02	2"x0" Brookstone Gravel - installed over weed fabric	482 sf	

NOTE: LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL TAKEOFFS INCLUDING MULCH AND TURF. ANY DISCREPANCIES SHALL BE THE SOLE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.



**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	SPREAD	NATIVE	SPACING	REMARKS
BB	1		Bucida buxata	Shady Lady Black Olive	45 gal	3" cal	12' oah	6'-8'			Sec. 33-353 (c) Code required trees must be a minimum of forty-five gallon container, twelve feet planted height, three inch caliper, and six foot spread.
BS3	4		Bursera simaruba	Gumbo Limbo	45 gal	3" cal	12'-14' oah	6'-8'	Native		Sec. 33-353 (c) Code required trees must be a minimum of forty-five gallon container, twelve feet planted height, three inch caliper, and six foot spread.
CE3	2		Conocarpus erectus 'Sericous'	Silver Buttonwood	FG	3" cal	12' oah	6'-8'	Native		Sec. 33-353 (c) Code required trees must be a minimum of forty-five gallon container, twelve feet planted height, three inch caliper, and six foot spread.
LJ3	1		Ligustrum japonicum	Japanese Privet	FG	3" cal	12' oah	6'-8'			High Character; Multi-Stemmed Sec. 33-353 (c) Code required trees must be a minimum of forty-five gallon container, twelve feet planted height, three inch caliper, and six foot spread.
PALMS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	SPREAD	NATIVE	SPACING	REMARKS
AA2	8		Archontophoenix alexandrae	Alexandra Palm	8.8B		10' c.t. min.				Full heavy crown, matching.
PM3	1		Phoenix dactylifera 'Medjool'	Date Palm	8.8B		10' c.t. min.				
SP2	14		Sabal palmetto	Cabbage Palmetto	FG		12'-14' oah		Native		
WB6	17		Wodyetia bifurcata	Foxtail Palm	FG		10' c.t. min.				Full heavy crown.
PALM TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	SPREAD	NATIVE	SPACING	REMARKS
PR2	1		Phoenix roebelenii	Pygmy Date Palm	FG		4'-6' oah				Multi-Trunk; 3 canes Min.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	SPREAD	NATIVE	SPACING	REMARKS
BV	1		Bambusa ventricosa 'Buddha's Belly'	Buddha's Belly Bamboo	25 gal		6'-8' oah				
BA2	21		Brassia arboricola	Dwarf Scheffera	7 gal		24" x 24"				
BA	9		Brassia arboricola trinita	Variigated Arboricola	7 gal		24" x 24"				
CV2	15		Codiaeum variegatum 'Stop Light'	Stop Light Croton	7 gal		24" x 24"				
CF	2		Cordyline fruticosa 'Black Magic'	Black Magic TI	7 gal		40" x 36"				
CF4	2		Cordyline fruticosa 'Red Pepper'	Red TI Plant	7 gal		40" x 36"				
CA4	12		Cinnamomum 'Queen Emma'	Queen Emma Cinnamon Lily	25 gal						
DR	24		Duranta repens	Golden dewdrop	3 gal		24" x 24"		Native		
HR2	4		Hibiscus rosa-sinensis 'Seminole Pink'	Seminole Pink Hibiscus	7 gal		24" x 24"				
IC3	21		Ixora coccinea 'Nora Grant'	Red Ixora	7 gal		24" x 24"				
PM2	115		Podocarpus macrophyllus	Yew Pine	7 gal		24" x 48"				
SR	44		Serenoa repens 'Cinerea'	Silver Saw Palmetto	7 gal		24" x 24"		Native		
VS3	22		Viburnum suspensum	Sanderling Viburnum	3 gal		24" x 24"				
ACCENTS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	SPREAD	NATIVE	SPACING	REMARKS
AA4	1		Agave attenuata 'Arctocleda Blue'	Blue Foxtail Agave	7 gal						Excella Gardens
AI	9		Alocasia imperialis	Imperial Bromeliad	5 gal		24" x 24"				
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	SPREAD	NATIVE	SPACING	REMARKS
AZ2	3		Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	3 gal						36" o.c.
BO2	102		Begonia odorata 'Aba'	Giant White Angel Begonia	1 gal		24" x 24"				30" o.c. 30" o.c.
CM4	59		Carissa macrocarpa	'Boxwood Beauty' Carissa	3 gal		18" x 18"				24" o.c.
CM5	56		Carissa macrocarpa 'Emerald Blanket'	Emerald Blanket Dwarf Natal Plum	3 gal						24" o.c.
CRN	50		Clusia rosea 'Nana'	Dwarf Clusia	3 gal		24" x 24"		Native		30" o.c.
HP2	90		Hamelia patens	Dwarf Fire Bush	3 gal		24" x 24"		Native		40" o.c.
JAS	127		Jasminum volubile	Wax Jasmine	3 gal		15" x 18"				30" o.c.
RB2	30		Ruellia brittoniana	Mexican Petunia	3 gal		18" x 18"				30" o.c.
TJ4	24		Trachelospermum jasminoides 'Confederate'	Star Jasmine	3 gal		24" x 24"				36" o.c.
TD6	41		Tripsacum dactyloides	Dwarf Fakahatchee Grass	3 gal				Native		36" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SIZE	SPREAD	NATIVE	SPACING	REMARKS
EG	76		Evolvulus glomeratus 'Blue Daze'	Brazilian Dwarf Morning Glory	1 gal						18" o.c. 18" o.c.
NX3	19		Neoregelia x 'Fireball'	Fireball Bromeliad	1 gal						18" o.c. 18" o.c.
PO2	45		Peperomia obtusifolia	Baby Rubber Plant	1 gal		18" Ht.				24" o.c.
PX	30		Philodendron x 'Burla Marx'	Philodendron	3 gal		24" Ht.				24" o.c.
TA3	462		Trachelospermum asiaticum 'Minima'	Minima Jasmine	1 gal						12" o.c. 16" o.c.
SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SIZE	SPREAD	NATIVE	SPACING	REMARKS
ZOY	3,514 sf		Zoysia japonica 'Empire'	Zoysia Turf	sod						



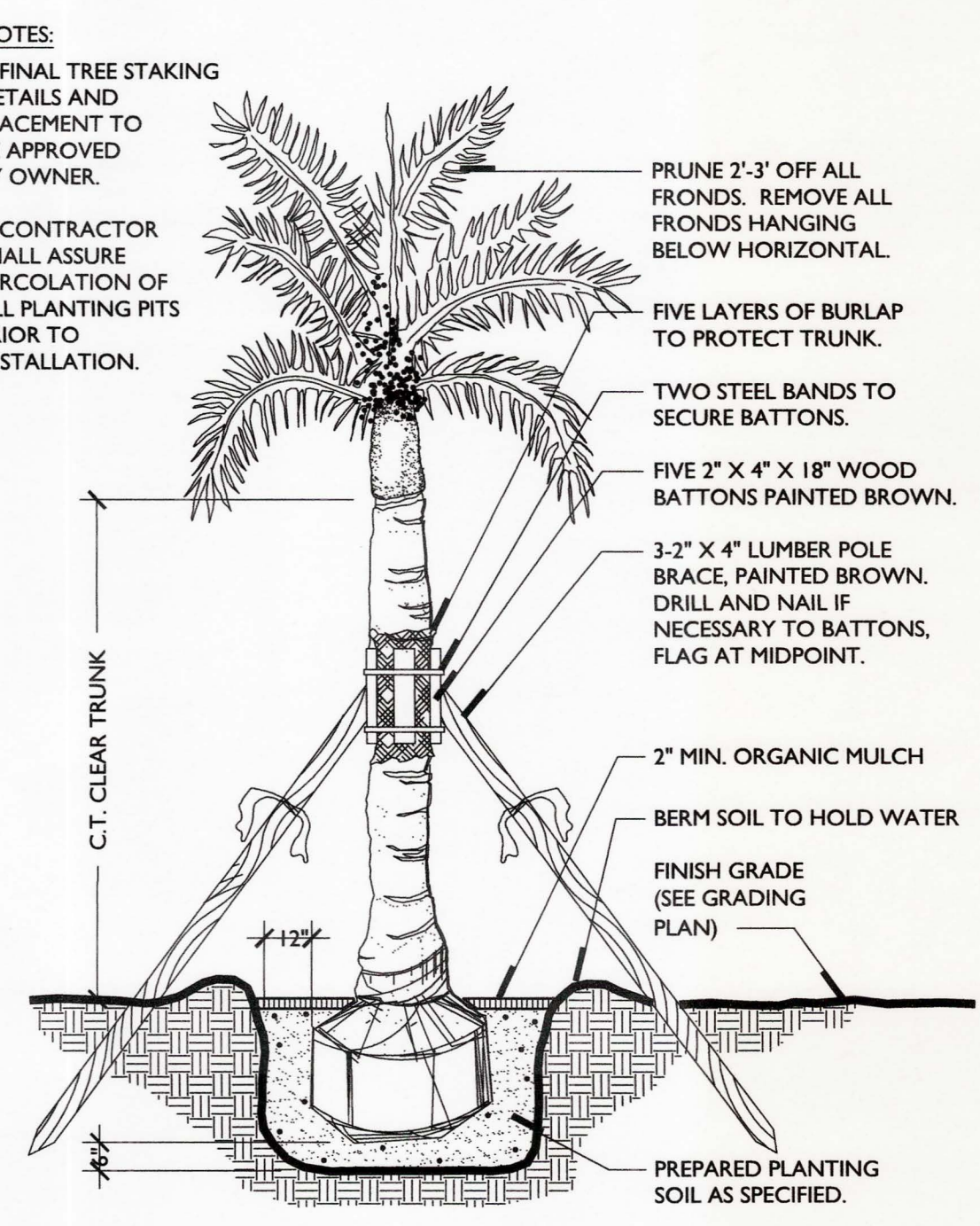
**AGNOLI BARBER & BRUNDAGE, INC.**  
 Professional Engineers, Planners, Surveyors, & Landscape Architects  
 Certificate of Registration No. LB 3664, LB 3664, and LC 20040630  
 Office: 4000 W. 11th St., Suite 200 Naples, FL 34108  
 Phone: (239) 437-3111  
 Fax: (239) 436-3203

CLIENT NAME: **WILDCAT RUN COUNTRY CLUB ASSOCIATION, INC.**  
 PROJECT: **20300 COUNTRY CLUB DRIVE ESTERO, FL 33928**

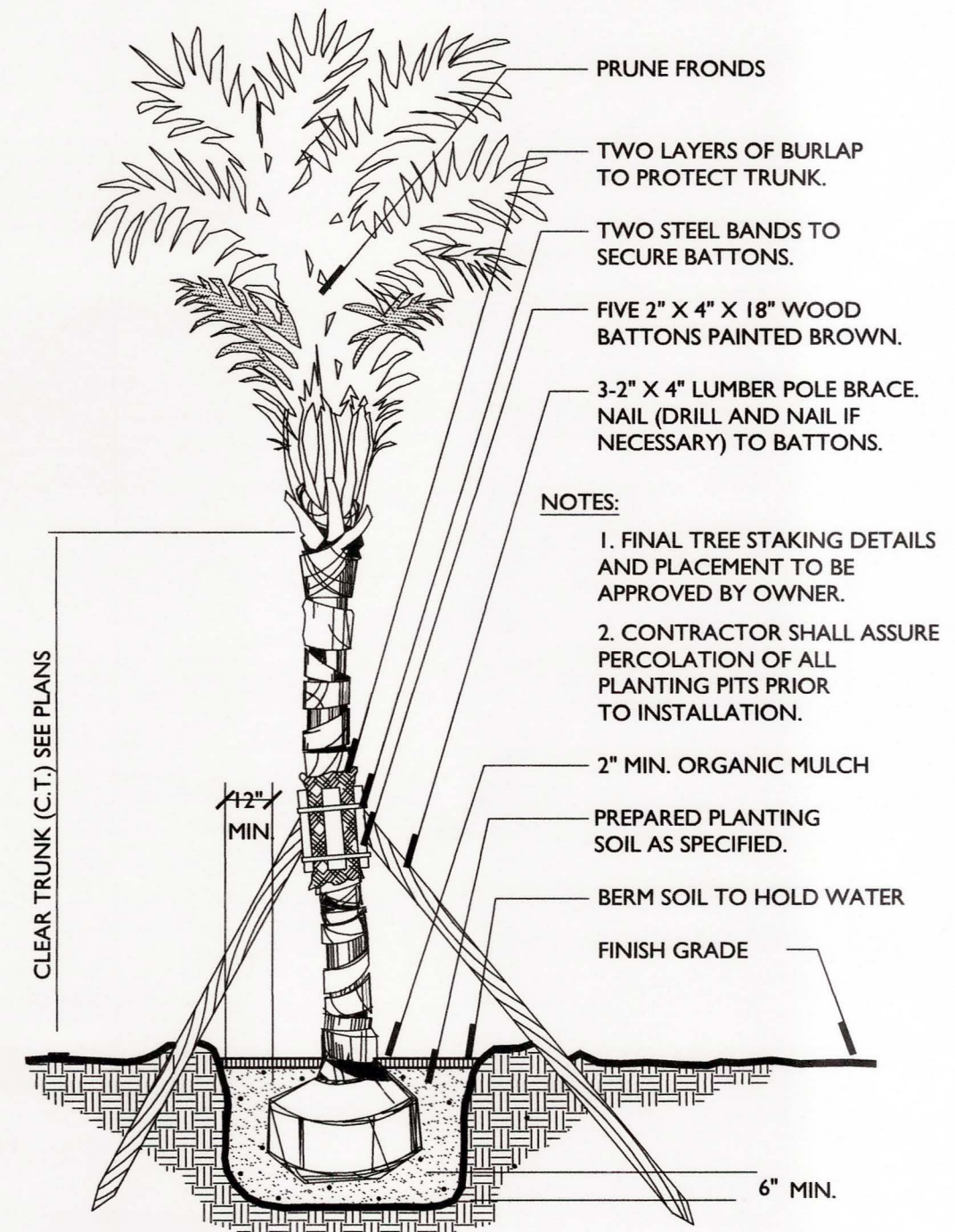
PROJECT NAME: **WILDCAT RUN CLUB HOUSE**  
 DRAWING TITLE: **SDP LANDSCAPE PLAN**

DESIGNED BY: ABB
DRAWN BY: BCG
CHECKED BY: BCG
REVIEWED BY: BCG
HOR. SCALE: 1"=40'
VERT. SCALE: N/A
DATE: December 2019
ACAD FILE NAME: <b>Landscape</b>
ABB PROJECT # <b>18-0094</b>
PLOT VIEW / LAYOUT <b>L3 LANDSCAPE</b>
SHEET <b>03</b> OF <b>06</b>
ACAD FILE # <b>11838</b>
REGISTERED LANDSCAPE ARCHITECT BRUNDA 12-20-19 STATE OF FLORIDA

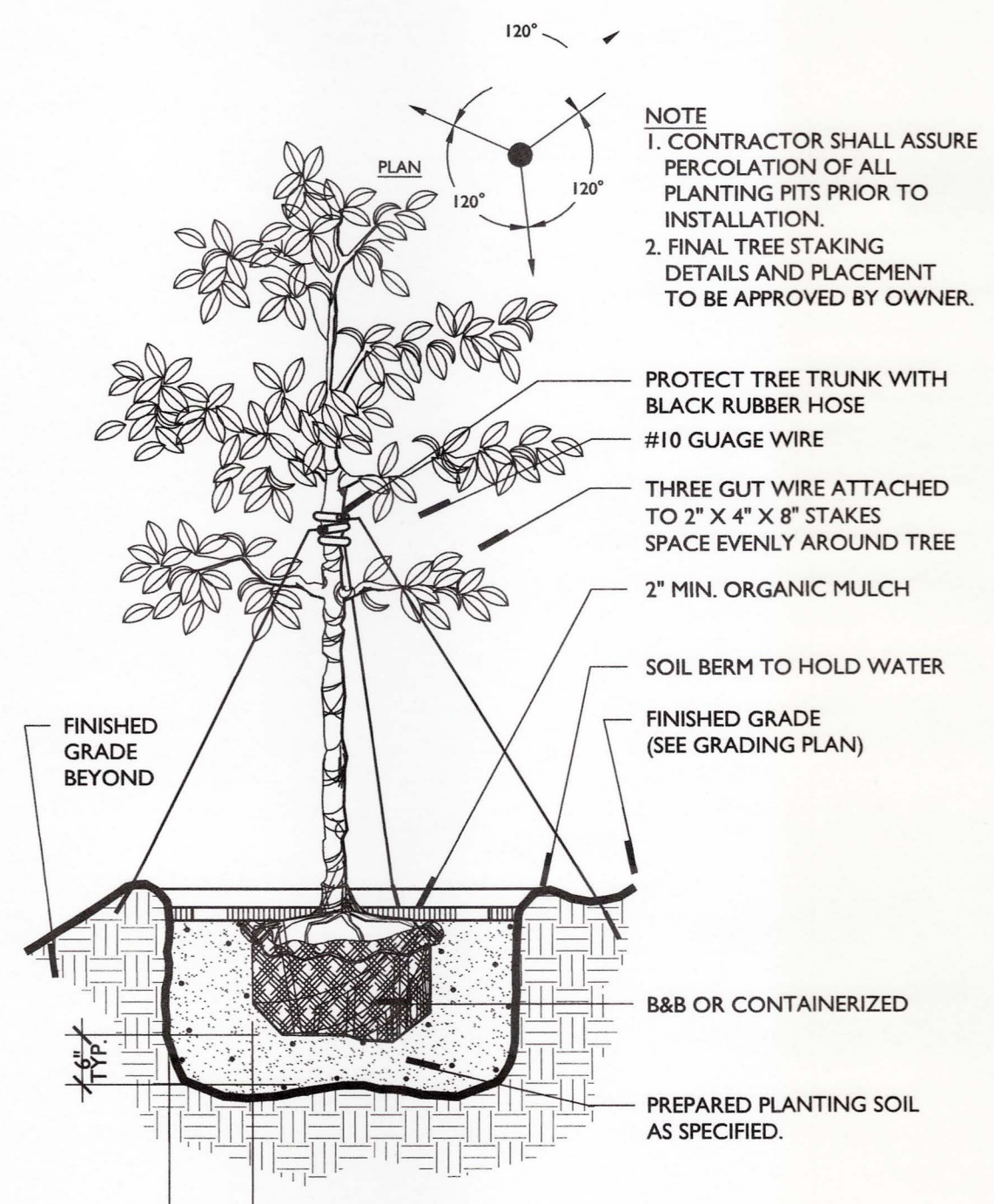
**NOTES:**  
 1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.  
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.



**1 SMALL PALM TREE DETAIL**  
 SECTION Scale: N.T.S.



**2 LARGE PALM TREE DETAIL**  
 SECTION Scale: N.T.S.

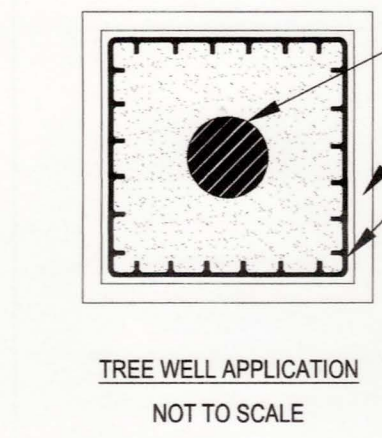


**3 SMALL TREE STAKE DETAIL**  
 SECTION Scale: N.T.S.

**SPECIFICATIONS:**

CP - SERIES: CP12-2, CP18-2, CP24-2, CP36-2, AND CP48-2. 90° 1/2"-3/4" RIBBED SIDE INTERLOCKING CONNECTION  
 MATERIAL: POLYETHYLENE WITH ULTRAVIOLET INHIBITORS  
 THICKNESS: .060 - .085

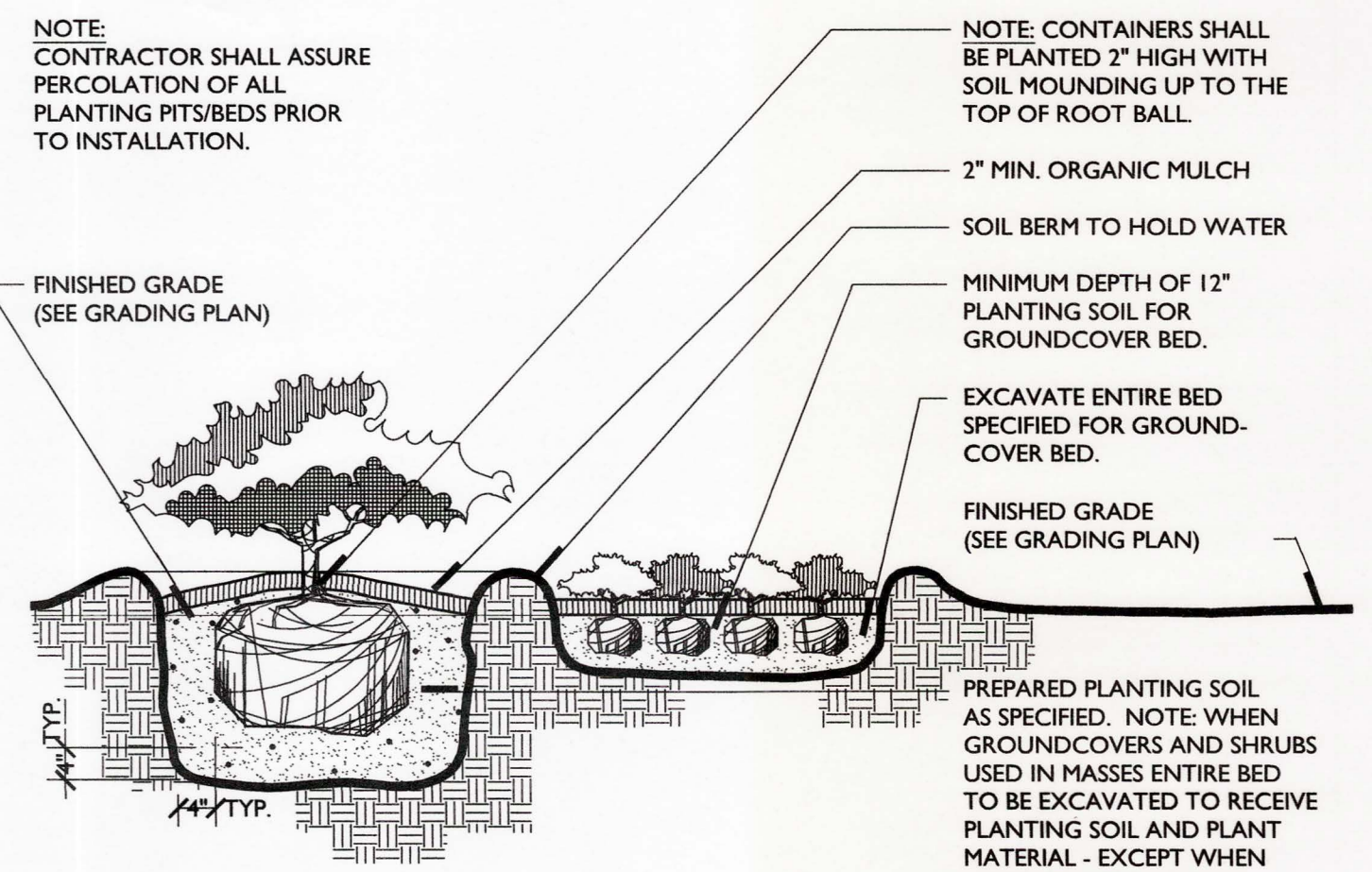
MATERIAL THICKNESS	POLYETHYLENE .060 - .085	VALUE POLYETHYLENE COPOLYMER
TENSILE STRESS @ YIELD	D638	4100 TO 4300 PSI
ELONGATION @ BREAK	D638	40%
TENSILE MODULUS OF ELASTICITY	D638	150,000 PSI
FLEXURAL STIFFNESS	-	-
CANTILEVER BEAM	D747	125,000 PSI
TENSILE IMPACT	D1822	50FT. LBS/IN'
ENVIRONMENTAL STRESS	-	-
CRACK RESISTANCE	D1693	1 HR.
HARDNESS, SHORE D	D2240	88



**NOTES:**

- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THESE DRAWINGS ARE NOT FOR CONSTRUCTION PURPOSES AND ARE FOR INFORMATION PURPOSES ONLY. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
- TOLERANCES MAY VARY IN ORDER TO MAINTAIN THE INTEGRITY OF POST-CONSUMER MATERIALS, AND ASSURE THE MATERIAL STRUCTURE. WE MAKE NO OTHER WARRANTIES, EXPRESS OR IMPLIED, AND SPECIFICALLY DISCLAIM THE WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR

**4 TYPICAL ROOT BARRIER**  
 APPLICATION DETAILS Scale: N.T.S.



**5 CONTAINER AND GROUND COVER DETAIL**  
 SECTION Scale: N.T.S.

**Note:**  
 Landscape Contractor is responsible for all plant material takeoff's including mulch and turf. Any discrepancies shall be the sole responsibility of the Landscape Contractor.

**Note:**  
 Landscape Contractor to provide rootbarrier protection to all curbed parking lot planting areas containing large material.

**GENERAL LANDSCAPE NOTES**

- The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
- All recommended trees and plant materials will be graded as Nursery Grade No. 1 or better as outlined by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry "Grades and Standards for Nursery Plants", 7th Edition, 1998 as revised from time to time.
- All planting shall be done in accordance with the Florida Nurseriesmen's and Grower's Associations approved practices.
- All plants shall be fertilized with Agriform 20-10-5 tablets as per the manufacturers specifications in conjunction with note # 5.
- The planting soil shall be the approximate proportions as follows: 50% sand and 50% organic material consisting of native peat, well-decomposed sawdust, leaf mold and top soil. It shall provide a good pliable and thoroughly mixed medium with adequate aeration, drainage and water-holding capacity. It shall also be free of all extraneous debris, such as roots, stones, weeds, etc.
- All planting areas shall receive a 2" layer of eucalyptus or approved mulch, which is to be watered-in after installation.
- The plant material schedule is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant key, the plan shall prevail.
- Plants shall meet size, container, and spacing specifications. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
- All tree and shrub locations are subject to change. All locations shall be approved by Agnoli, Barber, & Brundage, Inc. (ABB) prior to planting.
- The Landscape Contractor shall be responsible for examining fully both the site and the bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of discovery. No account shall be made after contract completion for failure to report such condition, or for errors on the part of the Landscape Contractor at the time of bidding.
- The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth in this plan set and the specifications.
- Plant material shall be bid as specified unless unavailable, at which time the Landscape Architect will be notified by telephone and in writing of intended changes.
- Any and all questions concerning the plan set and/or specifications shall be directed to Agnoli, Barber, & Brundage, Inc. (ABB) (239) 597-3111.
- There shall be no additions, deletions or substitutions without the written approval of the Landscape Architect.
- The Landscape Contractor shall guarantee, in writing, plant survivability for a period of twelve (12) months from final acceptance by the Landscape Architect.
- All dimensions to be field-checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the Landscape Architect.
- All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the Landscape Architect with proper installation carried out by Landscape Contractor at no additional cost.
- All permits necessary are to be provided by the installing contractor unless otherwise specifically stated in the specifications.
- No contractor identification signs shall be permitted on the project, except for the project information signs.
- Existing sod shall be removed as necessary to accommodate new plantings.
- Any existing sod areas that are unnecessarily disturbed during the landscape installation shall be resodded to match existing.
- The Landscape Contractor will be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.

**General Planting Notes**

**PERFORMANCE:**

- The Landscape Contractor is to conform to all applicable Local, Community and County Codes.
- The Landscape Contractor is responsible to report all errors, omissions and discrepancies to Agnoli, Barber & Brundage, Inc. (ABB).
- ABB to flag all large and/or specimen material and all bedlines prior to installation.
- The Landscape Contractor is to alert ABB of any site changes that are contrary to the plan.
- The Landscape Contractor is to contact ABB before completion their proposal to discuss Large and/or specimen materials.
- Landscape contractor is responsible to remove all debris and trash from the job site upon completion.
- Care shall be taken not to disturb or damage any underground utilities. Any damages to these facilities during the planting operations shall be repaired at the expense of the guilty Contractor in a manner approved by the appropriate authority.

**EXISTING MATERIALS:**

- All plant material located outside building envelope shall remain protected throughout the duration of construction.
- General Contractor is responsible to have all exotic plant and noxious vines be removed and treated to prevent growth during site clearing.
- Trim and remove all dead pine tree limbs, palmetto fronds, etc.
- All weeds, patches, of grass, or dead material shall be removed from the lot or treated to prevent growth.
- Caution shall be exercised protect all existing sod, plant beds and irrigation systems on adjacent properties. Any damage to existing sod, plant beds or irrigation systems shall be replaced or repaired to their original state by the home builder at no additional cost to the adjacent property owner/resident.

**PLANT MATERIAL:**

- All building construction debris or foreign material shall be removed from planting areas and replaced with acceptable top soil by Owner / Builder.
- All plant material to be Florida grade #1 or better, as defined in Grades and Standards for Nursery Plants, State Plant Board of Florida. Plant material noted as specimen shall be Florida fancy grade.
- All finished site grading to be completed by Owner / Builder.

**MULCH:**

- All planting beds to be top dressed with eucalyptus or approved organic mulch to a minimum depth of 2 inches. No more than 25 percent by volume of the mulch used on a site may be cypress mulch.

**LAWN:**

- All lawn areas to be St. Augustine Turf unless otherwise noted.
- Lawn areas to be fine graded prior to installation. Newly laid sod to be solid, tightly butted and rolled upon completion of installation.
- Landscape contractor is responsible to lay sod up to all front street edge beyond front property line and all lake edge banks where applicable.
- Landscape contractor is responsible to hand rake all rock and other unwanted debris and trash prior to the installation of sod.
- Landscape contractor to lay sod up to all property lines, existing native areas and designated bedlines.

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.  
 CALL "SUNSHINE 811" BEFORE DIGGING  
 Dial 811 or visit www.sunshine811.com

**AGNOLI BARBER & BRUNDAGE, INC.**  
 Professional Engineers, Planners, Surveyors, & Landscape Architects  
 Certificate of Authorization No. LB 3664, EB 3664, and LC2000050  
 Office: 7400 West Blvd., Suite 200 Naples, FL 34108  
 Phone: (239) 597-3111  
 Fax: (239) 564-0201

CLIENT NAME:  
**WILDCAT RUN COUNTRY CLUB ASSOCIATION, INC.**  
 20300 COUNTRY CLUB DRIVE  
 ESTERO, FL 33928

PROJECT NAME:  
**WILDCAT RUN CLUB HOUSE**  
 DRAWING TITLE:  
**LANDSCAPE DETAILS**

DESIGNED BY: ABB  
 DRAWN BY: TMR  
 CHECKED BY: ABD  
 REVIEWED BY: DJA  
 HOR. SCALE: N/A  
 VERT. SCALE: N/A

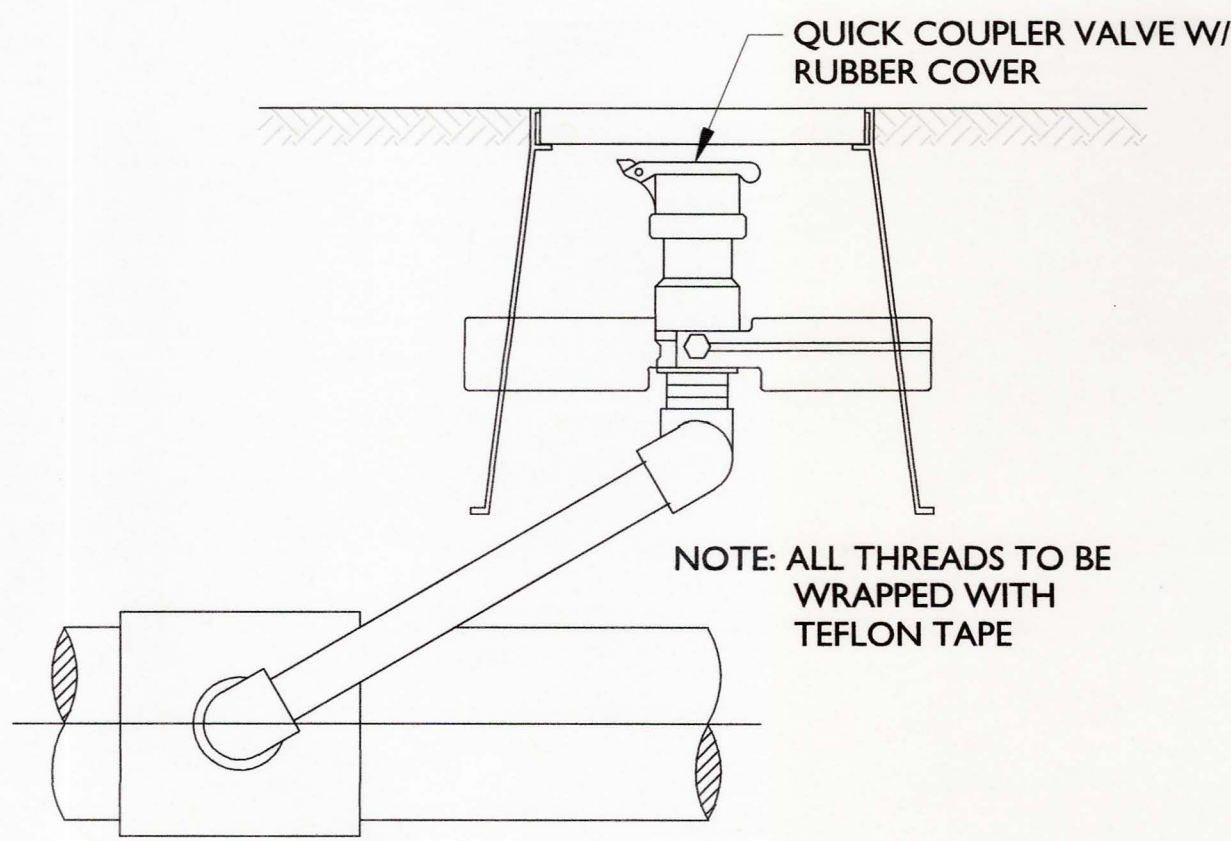
NO.	DATE	REVISIONS
1	12-27-2019	1 - Initial set of Estero Reserve Community - Notes
2	12-27-2019	2 - Revised final root barrier details

ACAD FILE NAME:  
**Landscape**  
 ABB PROJECT #:  
**18-0094**  
 PLOT VIEW / LAYOUT:  
**L4 DETAILS**  
 SHEET **04**  
 OF **06**

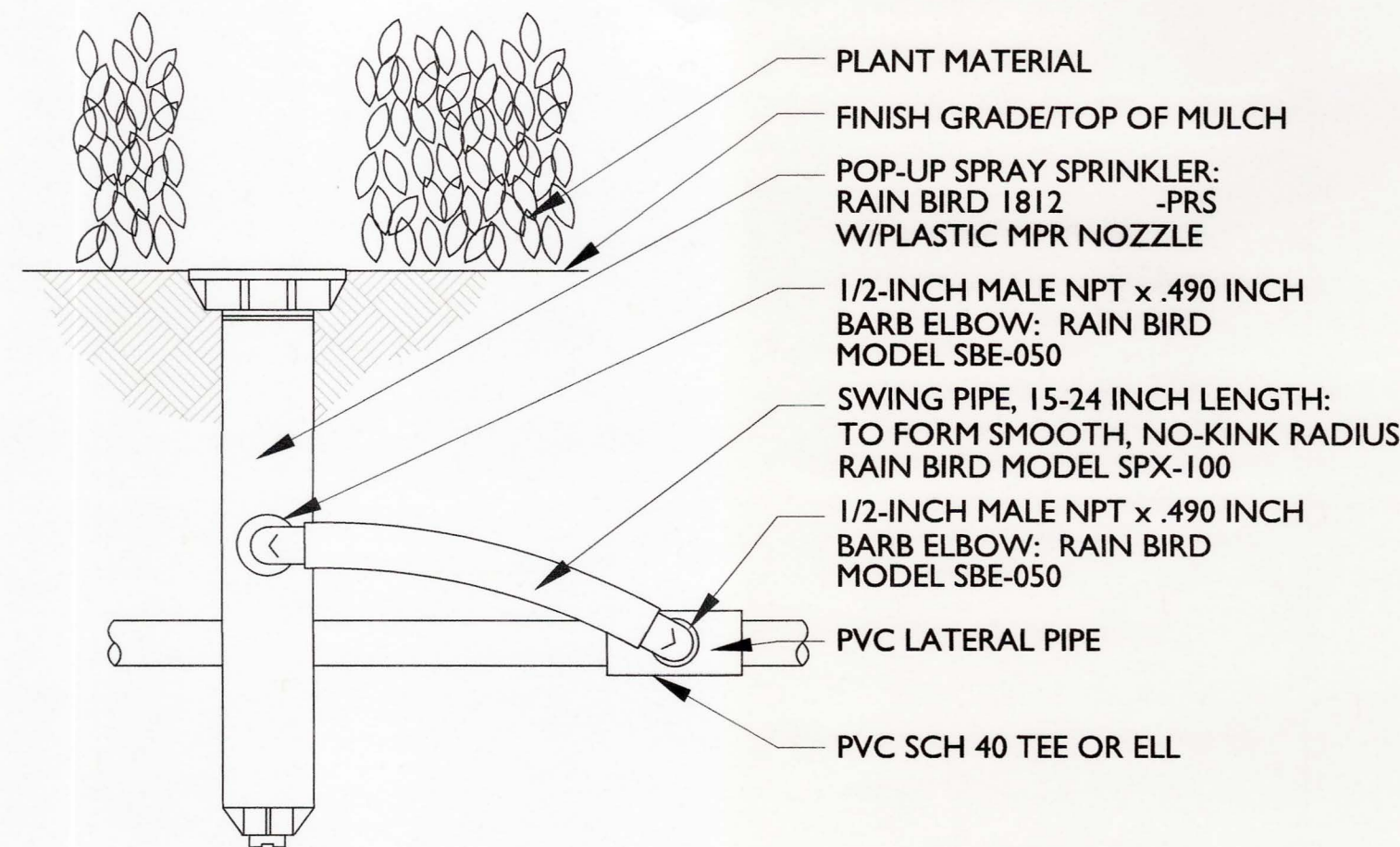
ACAD FILE #:  
**11838**  
 REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT  
 T. M. RAY  
 14465794  
 12-26-19  
 STATE OF FLORIDA



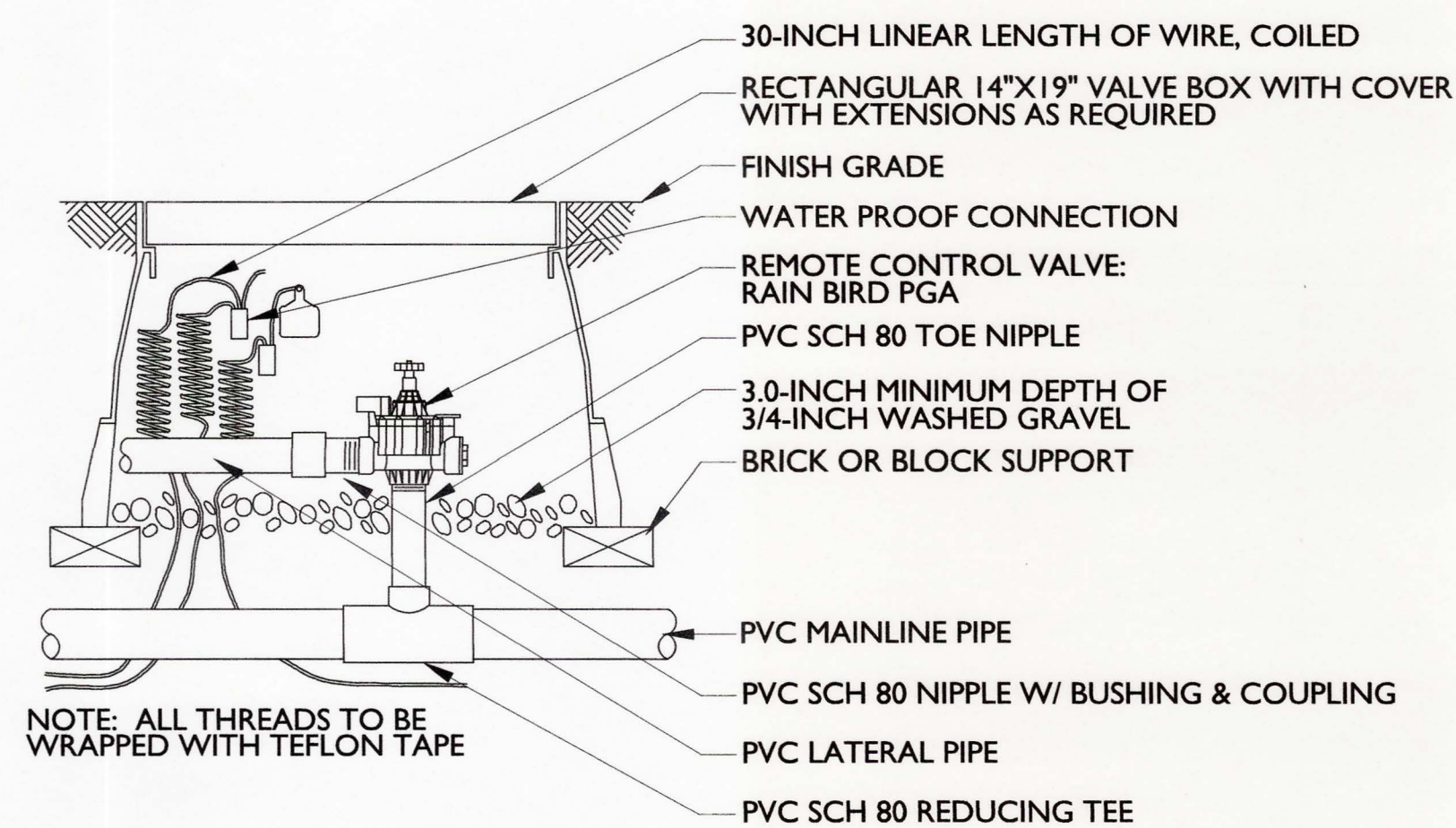




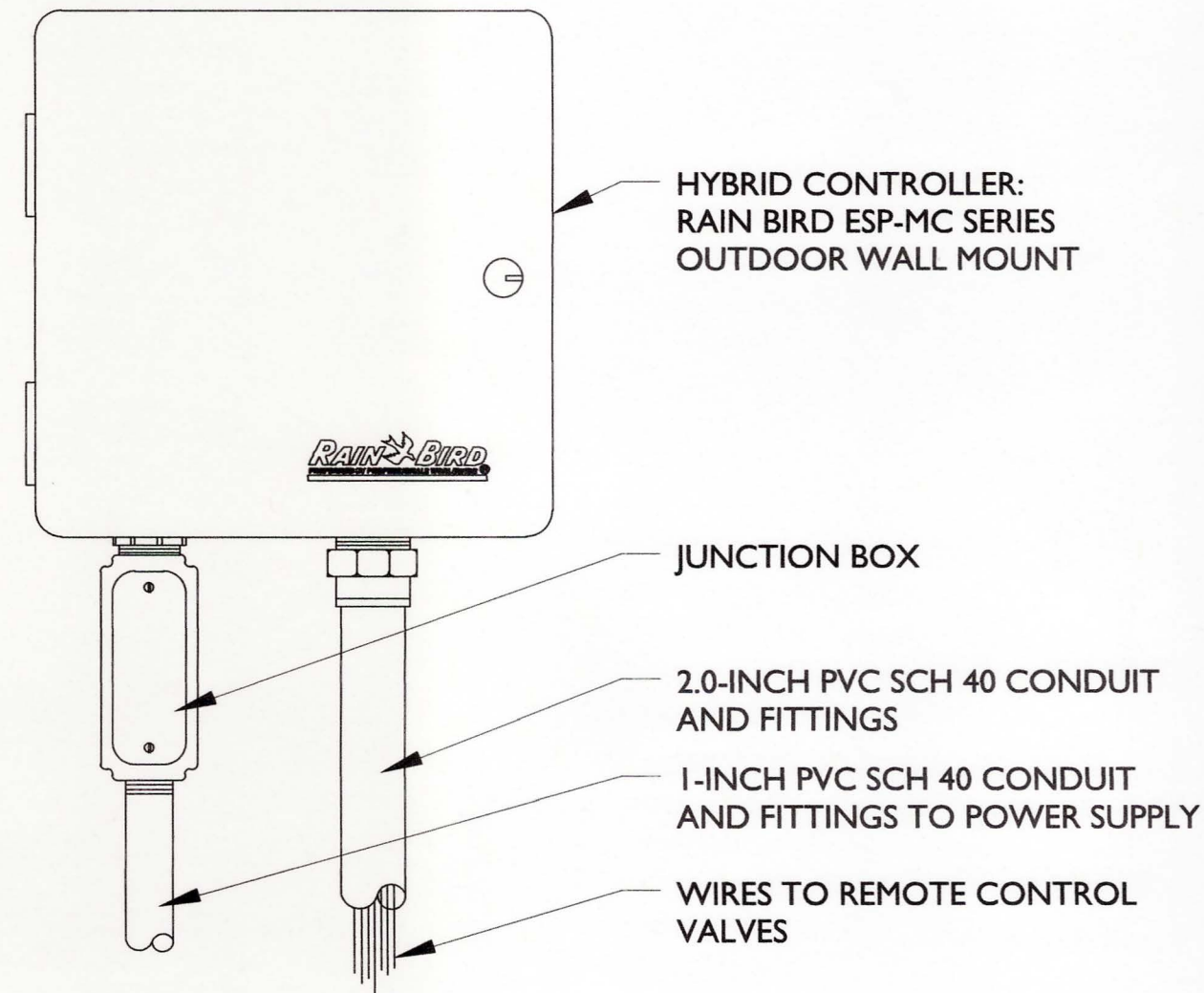
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Scale: N.T.S



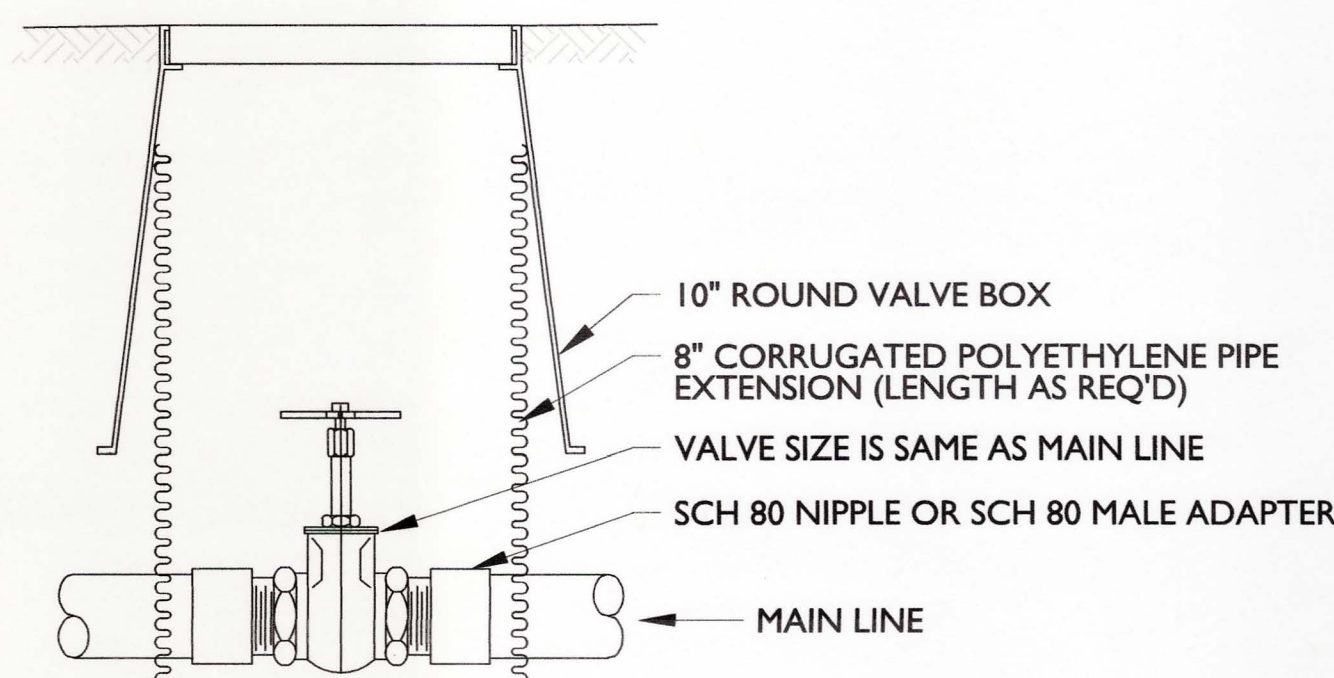
**2 12" Pop-up Spray Installation**  
Scale: N.T.S



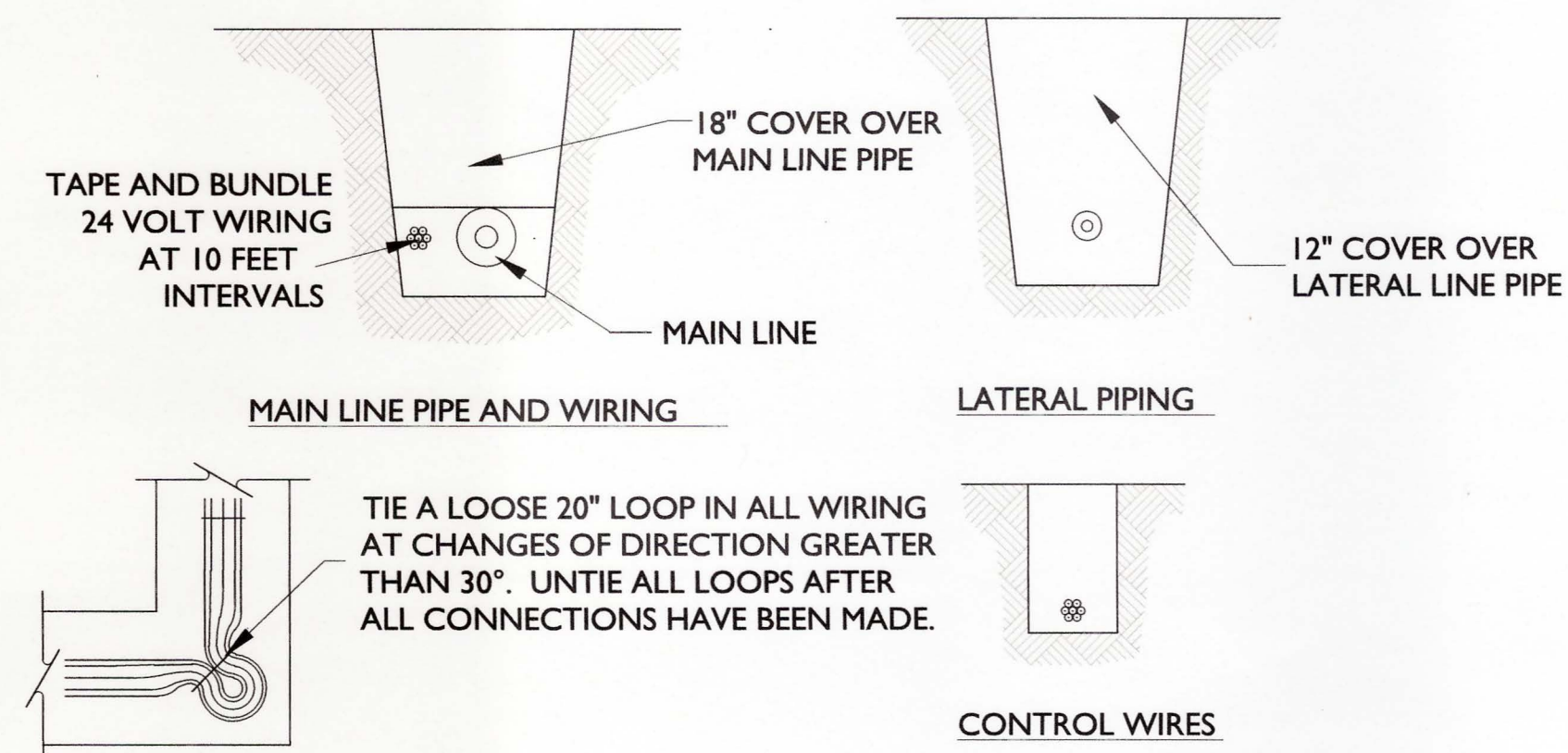
**3 Electric Control Valve Installation**  
Scale: N.T.S



**4 Wall Mount Controller Installation**  
Scale: N.T.S



**5 Isolation Valve Installation**  
Scale: N.T.S



**6 Typical Trench Detail**  
Scale: N.T.S

**GENERAL IRRIGATION NOTES**

- 1) Prior to excavation, contractor shall verify utility locations with telephone, gas, cable tv, and electric companies. Owner's representative and contractor to review site electrical, site grading and drainage, site irrigation and all other drawings pertaining to underground utility locations.
- 2) Contractor shall measure the static water pressure and shall report to Landscape Architect in writing a minimum of two (2) weeks prior to commencement of irrigation installation. Should static water pressure be less than 50 psi, contractor shall receive approval from Owner prior to proceeding.
- 3) Contractor shall provide full 100% head to head coverage. At no time shall water spray onto concrete footings or pavements.
- 4) Irrigation installation shall be coordinated with excavation, grading, building, paving and planting operations.
- 5) Contractor shall follow drawings, specifications and specific manufacturers recommendations to insure proper installation of the irrigation system. Contractor shall notify Owner in writing whenever there appears to be a conflict between any of the above stated documents. Contractor shall submit to the Landscape Architect a complete set of shop drawings prior to the implementation of the irrigation system. Contractor shall not begin construction of the irrigation system until approval is granted by the Landscape Architect.
- 7) Controller shall be installed at the Owner-approved location. The irrigation controller shall be installed according to manufacturer's recommendations. Controller shall be installed on a minimum 6" reinforced concrete slab or as recommended by the manufacturer. Contractor is responsible for the supply and connection of 120 volt power to the controllers.
- 8) One (1) rain sensor shall be installed at the Owner-approved location. To insure proper operation and protection of the sensor, sensor shall be installed according to manufacturer's recommendations. Contractor shall receive owner's approval for acceptable location prior to installation of the sensor.
- 9) Irrigation 24 volt common wire shall be 14 gauge and control wire shall be 14 gauge.
- 10) All valves are to be installed in valve boxes. Contractor is encouraged to install valves where possible to minimize the amount of individual valve boxes. Electric controlled valves shall be installed in a 24" x 18" rectangular box. Isolation valves shall be installed in a 10" round valve box. Contractor shall not install more than two (2) valves in a 24" x 18" rectangular valve box.
- 11) When installing threaded products, Contractor shall use manufacturer's recommended sealing compounds and/or teflon tape according to manufacturer's recommended practice for the specific application.
- 12) Contractor shall install all valves and common wiring beneath the irrigation main and/or laterals.
- 13) Contractor shall carefully backfill all trenches with the excavated material approved for backfilling, consisting of earth, loam, sandy clay, sand, soft shale, or other approved materials, free from large clods of earth or stone, sharp objects, rock, broken concrete or pavement, and large boulders shall not be used as backfill material.
- 14) The Contractor shall be responsible for constructing the system in complete accordance with all applicable codes ordinances and laws. Any modifications made to conform with said codes, laws and ordinances shall be completed at the Contractor's expense at no additional cost to the Owner.
- 15) The Contractor shall provide as-built drawings on a stable mylar, showing all heads, valves, and pipe lines to scale after completion of piping installation. The Contractor shall provide instruction sheets and parts list covering equipment.
- 16) The irrigation contractor is fully responsible for the work until the Owner gives final acceptance. Contractor will guarantee the quality of his materials and work for one (1) year. This period begins with the final acceptance of the Owner.
- 17) The Contractor is responsible for providing a complete and operable system for the irrigation of all landscape planting on site. Plans and specifications may not indicate all items necessary for the proper irrigation of the project and the contractor holds the responsibility for furnishing labor, materials and equipment required for a complete and proper project even if not in the initial specifications.
- 18) Contractor to modify proposed design to account for actual gpm and psi.
- 19) Contractor to modify proposed design to account for actual field conditions.

**SITE IRRIGATION NOTES**

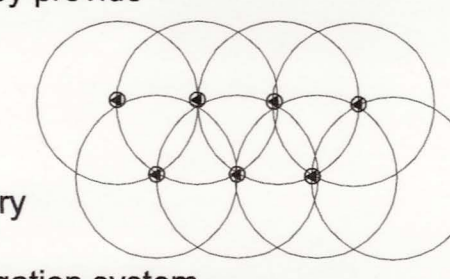
- 1) Landscape contractor to provide 100% coverage for all areas (including lawn).
- 2) The irrigation system shall be designed and installed to ensure that full and adequate water coverage occurs.
- 3) All above ground irrigation back-flow preventers/check valves shall be screened with plant material so that they are not visible.
- 4) Contractor shall adjust heads and spray as necessary to minimize overspray and ensure proper bed coverage. 5. All PVC pipe to be sized so water does not exceed 5' per second.
- 5) Contractor is to provide a full and functional irrigation system.
- 6) Two (2) spare wires shall be provided to all electrical valves for future use.
- 7) Open lawn areas and all other turf shall be on a separate zone than that of shrubs and groundcovers.
- 8) All trees to have bubblers provided on a separate zone.
- 9) Irrigation water shall be non-potable.
- 10) A back flow preventer will only be necessary if potable water is used for irrigation. Back flow preventer to be provided by Owner / Builder.
- 11) A rain sensor shall be installed on the irrigation system in an area free of overhead obstructions.
- 12) All secondary (circuit) irrigation lines 1 inch diameter to 3 inch diameter shall be class 160 pvc. Circuit water lines 1/2 inch to 3/4 inch diameter shall be class 315 pvc. Secondary irrigation lines shall be installed within the landscaped area at a minimum depth of 12 inches. pop-up sprinkler heads must be utilized within any mowable area. However, in no case may sprinkler heads nor secondary lines be installed within 1 foot of the back of roadway curb or on the front slope and ditch bottom of swale sections.
- 13) The irrigation contractor shall review the planting plans to determine the proposed plant materials for each head location prior to bidding. The irrigation contractor shall be responsible for modifying head installation types, depending on the final locations of all plant material.
- 14) All sprinkler heads are to be installed with a 18 inch minimum length flexible pvc pipe, using standard pvc fittings.
- 15) All heads shall be adjusted to reduce water waste on hard surfaces and walls.
- 16) The irrigation contractor is responsible for furnishing and installation of sleeves under pavements and all roadways as shown on the plans. The irrigation contractor shall coordinate sleeve locations with project superintendent prior to installation.
- 17) The irrigation contractor shall exercise care so as not to damage existing utilities. The irrigation contractor shall be responsible for determining the location of all underground utilities. The irrigation contractor shall repair or replace all items damaged as a result of his or her work.
- 18) All low voltage direct buried wiring shall be ul approved, type ul and a minimum size of #14 avg. The common wire shall be white and all wiring shall be the same color from controller valve. One spare wire shall be run along entire length of the mainline then terminate at the controller. All splices shall be in a valve or splice box. Provide 48 inch expansion coils at all valves. All splices shall be made with 3m-db4.
- 19) All irrigation lines crossing beneath roadways shall be encased in schedule 40 pvc, as shown on the plans. Sleeves shall be a minimum of 24 inches below edge of pavement surface, 18 inches depth within the right-of-way, and installed 90 degrees to roadway centerline. Subsequent installations shall be jack and bore. Contractor shall at all times block ends of sleeves to prevent buildup of sediment within sleeves.
- 20) All primary (main) irrigation lines shall be schedule 40 pvc, installed in sleeves 24 inches below pavement and 18 inches below ground surface outside of roadway crossing.
- 21) All piping under constant pressure shall be tested under hydrostatic pressure of not less than 100 p.s.i. for one hour with no more than 5 psi loss.
- 22) Irrigation contractor shall be responsible for the complete installation and electrical connection to the irrigation controllers.
- 23) The rain sensor shall be located in an area where no overhead obstructions that will alter rain fall or produce debris that may invalidate rainfall readings.
- 24) Refer to landscape drawings when trenching to avoid existing and proposed trees and shrubs. Hand digging shall be used beneath canopies of trees to avoid damaging roots. The irrigation contractor shall verify that the quantities indicated will provide the coverage as specified and report any discrepancies at time of bidding to the Landscape Architect.

**PROJECT IRRIGATION NOTES**

1. Irrigation Contractor responsible for field locating existing mainline, wire and lateral piping.
2. Connection into existing system to be adjusted as necessary based on conditions in the field, to provide fully operational system. Prior to beginning work, the existing system shall be operated by the contractor to determine the actual extent of the system.
3. Remove irrigation zone lines and heads within the construction boundary only. All components outside of the construction boundary are to remain in service, as is.
4. Irrigation Contractor responsible for relocating and capping existing lines as necessary prior to new construction. Extend lines as necessary and stub above ground for future connection.
5. Zone lines within the construction boundary that supply other areas shall be rerouted as required, and reconnected to their original valves, or to new valves on the existing system, as appropriate. These new lines may remain within the construction boundary, but shall be routed so that they are accessible after construction is complete.
6. All components removed shall be disposed of properly and not reused.
7. Irrigation Contractor to coordinate sleeve installation with General Contractor.
8. Disturbance to existing trees and plant material, as by trenching, shall be minimized.
9. Points of connection to be determined in the field. Irrigation Contractor shall verify points of connection can provide 60 gpm @ 55 psi.

**Coverage Detail**

Irrigation heads shall be placed so that they provide head - to - head coverage. 100% overlap  
If Irrigation Water is to be non-potable no back-flow preventer is required. A backflow preventer will only be necessary if potable water is used for irrigation. A Rain sensor shall be installed on the irrigation system.



**NOTE:**  
Existing irrigation will be retrofitted as necessary to provide 100% coverage and separation of high and low water use areas.

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.  
CALL "SUNSHINE 811" BEFORE DIGGING  
Dial 811 or visit www.sunshine811.com

Professional Engineers, Planners, Surveyors, & Landscape Architects Certificate of Authorization No. LR 1664, EB 1664, and LC 26006020 Office: 1401 Trail Blvd., Suite 200 Naples, FL 34108 Phone: (239) 597-3111 Fax: (239) 566-2203										
CLIENT NAME: <b>WILDCAT RUN COUNTRY CLUB ASSOCIATION, INC.</b> 20300 COUNTRY CLUB DRIVE ESTERO, FL 33928										
PROJECT NAME: <b>WILDCAT RUN CLUB HOUSE</b>	DRAWING TITLE: <b>IRRIGATION DETAILS</b>									
DESIGNED BY: ABD										
DRAWN BY: TMR										
CHECKED BY: ABD										
REVIEWED BY: DJA										
HOR. SCALE: N/A										
VERT. SCALE: N/A										
DATE: December 2019										
<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>12/12/19</td> <td>ISSUED FOR BIDDING</td> </tr> <tr> <td>2</td> <td>12/12/19</td> <td>REVISED PER COMMENTS FROM ARCHITECT</td> </tr> </tbody> </table>		NO.	DATE	REVISIONS	1	12/12/19	ISSUED FOR BIDDING	2	12/12/19	REVISED PER COMMENTS FROM ARCHITECT
NO.	DATE	REVISIONS								
1	12/12/19	ISSUED FOR BIDDING								
2	12/12/19	REVISED PER COMMENTS FROM ARCHITECT								
ACAD FILE NAME: <b>Landscape</b>										
ABB PROJECT #	<b>18-0094</b>									
PLOT VIEW \ LAYOUT	<b>L6 IRR DETAILS</b>									
SHEET	<b>06</b>									
OF	<b>06</b>									
ACAD FILE #	<b>11838</b>									

SITE DEVELOPMENT PLANS FOR:

# WILDCAT RUN CLUB HOUSE

LOCATED IN SECTION 30, TOWNSHIP 46 SOUTH, RANGE 26 EAST,  
VILLAGE OF ESTERO, LEE COUNTY, FLORIDA.

Digitally signed by Kevin M. Dowty  
DN: CN=Kevin M. Dowty  
+E=dowty@abbin.com,  
OU="Agnoli, Barber & Brundage, Inc.",  
O="Agnoli, Barber & Brundage, Inc.", L=Naples,  
S=Florida, C=US  
Date: 2019.12.20 16:13:35-05'00'

### REVIEWING AGENCIES

**LEE COUNTY**  
VILLAGE OF ESTERO COMMUNITY DEVELOPMENT SERVICES  
9401 CORKSCREW PALMS CIRCLE  
ESTERO, FL 33928  
TEL: (239) 221-5036

**POWER:**  
FLORIDA POWER AND LIGHT COMPANY  
12624 WINKLER ROAD  
FT. MYERS, FLA. 33908  
(239) 334-7754

**TELEVISION:**  
COMCAST  
23181 VILLAGE SHOPS WAY, SUITE 107  
ESTERO, FLA. 33928  
TEL:(800) 934-6489

**FIRE DISTRICT:**  
ESTERO FIRE RESCUE  
21300 FIRE HOUSE LANE  
ESTERO, FL. 33928  
TEL: (239) 350-8000

**WATER:**  
LEE COUNTY UTILITIES  
7391 COLLEGE PARKWAY  
FT. MYERS, FLA. 33907  
TEL: (239) 533-8845

**TELEPHONE:**  
CENTURY LINK  
P.O. BOX 2477  
NAPLES, FLA. 34104  
TEL: (239) 263-6319

**ENVIRONMENTAL:**  
DEPARTMENT OF ENVIRONMENTAL PROTECTION  
2295 VICTORIA AVENUE No. 364  
FT. MYERS, FLA. 34113  
TEL: (239) 332-6975

**SEWER:**  
LEE COUNTY UTILITIES  
7391 COLLEGE PARKWAY  
FT. MYERS, FLA. 33907  
TEL: (239) 533-8845

**WATER MANAGEMENT:**  
SOUTH FLORIDA WATER MANAGEMENT DISTRICT  
2301 MCGREGOR BOULEVARD  
FORT MYERS, FLA. 33901  
TEL: (239) 338-2929

PREPARED FOR:  
**WILDCAT RUN COUNTRY CLUB ASSOCIATION, INC.**  
20300 COUNTRY CLUB DRIVE  
ESTERO, FL 33928  
(239) 947-6066

PROPERTY ZONING: GOLF COURSE, DRIVING RANGE  
PROPERTY STRAP NUMBER: 30-46-26-E4-0100A.20CE  
LEGAL DESCRIPTION: AS PROVIDED BY SURVEYOR

FIRE PROTECTION BUILDING INFORMATION (PER 2018 NFPA)				
OCCUPANCY	CONSTRUCTION TYPE	TOTAL SF *		SPRINKLERED
		UNDER ROOF	CONDITIONED	
PRIVATE CLUBHOUSE	III-B	16,721	13,267	YES

\* PER NFPA BUILDING FLOOR AREA AND CONSTRUCTION TYPE PROVIDED BY ARCHITECT (HUMPHREY ROSAL ARCHITECTS)

SHEET INDEX	
SHEET NO.	SHEET TITLE
01	COVER SHEET
02	EXISTING CONDITIONS & DEMOLITION PLAN
03	MASTER SITE PLAN
04	DETAILED SITE PLAN
05	UTILITY PLAN
06	PAVING, GRADING & DRAINAGE PLAN
07	CONSTRUCTION DETAILS
08	CONSTRUCTION DETAILS 2
09	EROSION CONTROL PLAN
10	2018 AERIAL PHOTOGRAPH OVERLAY

**AGNOLI, BARBER & BRUNDAGE, INC.**  
Professional Engineers, Planners, Surveyors & Landscape Architects  
of FLA., AR., GA., MS., NC., SC., VA., and CO. (0200020)

Client: Kevin M. Dowty  
2040 W. Estero Blvd, Suite 200  
Estero, FL 33928  
Phone: (239) 221-5111  
Fax: (239) 221-5036

PROJECT NAME: WILDCAT RUN COUNTRY CLUB ASSOCIATION, INC. 20300 COUNTRY CLUB DRIVE ESTERO, FL 33928

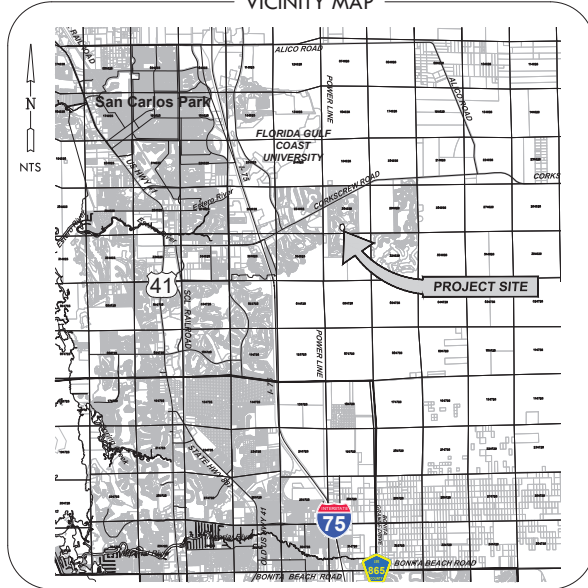
PROJECT NAME: WILDCAT RUN CLUB HOUSE  
DRAWING TITLE: COVER SHEET

DESIGNED BY: ABB  
DRAWN BY: KAC/RCR  
CHECKED BY: KAD  
REVIEWED BY: ABB  
HORIZ. SCALE: 1"=200'  
VERT. SCALE: NA  
DATE: November 2019  
DRAWING NO: 18-0094

12248-ME  
ABB PROJECT #  
18-0094  
PLOT VIEW / LAYOUT  
COVER SHEET  
SHEET 01 OF 10  
ACAD FILE #  
12248

KEVIN M. DOWTY  
LICENSE # 82330  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

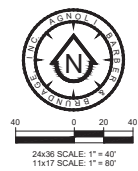
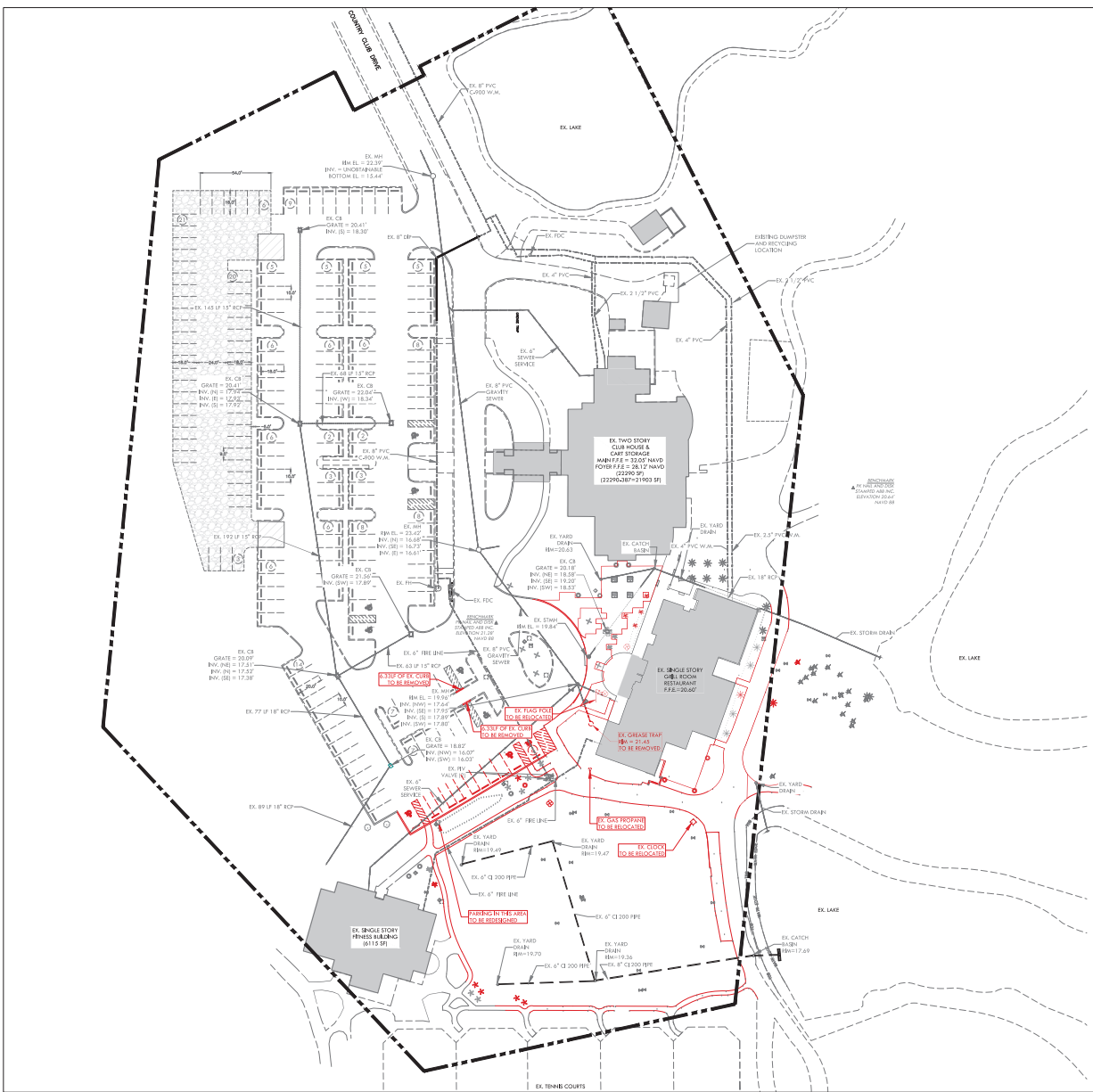
VICINITY MAP



LOCATION MAP



This item has been electronically signed and sealed by Kevin M. Dowty, P.E. on 12/20/2019 using a Digital Signature.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



**HATCHING LEGEND:**

EXISTING BUILDING

**LEGEND:**

EXISTING PARKING COUNT

**NOTE:**

ALL EXISTING TOPO REFER TO NAVD 88 DATUM.  
CONVERSION: NAVD = NGVD - 1.20'

**CLEARING NOTES:**

1. EXISTING VEGETATION AS DETERMINED BY THE OFFICE OF ESTERLAND DEVELOPMENT CODE LOCAL SHALL BE REMOVED FROM THE SITE AND SUBSEQUENT ANNUAL SPECIES REMOVAL (BY PERMITTEE) SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
2. THE PROPERTY OWNER IS RESPONSIBLE FOR REPLACEMENT OF ALL DEAD LANDSCAPE MATERIAL AND FOR MAINTENANCE OF THE REQUIRED IRRIGATION SYSTEM.
3. SEE LANDSCAPE AND IRRIGATION PLANS FOR ADDITIONAL INFORMATION REGARDING NATIVE TREES TO REMAIN AND/OR REPLANTATION OF NATIVE SPECIES.
4. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE APPLICANT SHALL INSTALL TEMPORARY CONSTRUCTION FENCE (i.e., BARRICADES) ALONG THE LIMITS OF CLEARING OF THE EXISTING VEGETATION TO REMAIN ON SITE. THE FENCE SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION.

**EXISTING LAND USE:**

DESCRIPTION	ACRES	SUBTOTAL %
EXISTING BUILDING AREA	0.60 AC	7.9%
EXISTING VEGETABLE USE	2.27 AC	30.0%
EXISTING CONCRETE BRICK/BREWALK AREA	0.71 AC	9.4%
EXISTING TENNIS/NOISE COURTS	0.83 AC	10.7%
EXISTING LAKE AREA	0.41 AC	5.4%
<b>SUBTOTAL IMPERVIOUS AREA</b>	<b>4.04 AC</b>	<b>53.4%</b>
OPEN PERVIOUS AREA	3.52 AC	46.6%
<b>SUBTOTAL PERVIOUS AREA</b>	<b>3.52 AC</b>	<b>46.6%</b>
<b>SUBTOTAL AREA</b>	<b>7.56 AC</b>	<b>100%</b>

NOTE: AREAS BASED ON TRACT BOUNDARY FROM PLAT BOOK 39, PAGE 29, WILDCAT RUN UNIT ONE.

**DEMOLITION NOTE:**  
ITEMS TO BE REMOVED OR RELOCATED ARE SHOWN IN RED

**AGNOLI BARBER & BRUNDAGE, INC.**  
Professional Engineers, Planners, Surveyors & Landscape Architects  
Certified by the State of Florida  
1930 N.W. 34th Street, Suite 200  
North, Ft. Lauderdale, FL 33309  
Phone: (954) 341-2111  
Fax: (954) 341-2229

**CLIENT NAME:**  
WILDCAT RUN COUNTRY CLUB ASSOCIATION, INC.  
20300 COUNTRY CLUB DRIVE  
ESTERO, FL 33928

**PROJECT NAME:**  
WILDCAT RUN CLUB HOUSE  
DRAWING TITLE:  
EXISTING CONDITIONS & DEMOLITION PLAN

DESIGNED BY: ABB  
DRAWN BY: AC, TMF  
CHECKED BY: KMD  
REVIEWED BY: ABB  
FOR SCALE: NA  
LURE SCALE: NA  
DATE: November 2019  
DRAWING: NWDV019

ACAD FILE NAME:	12248-ME
ABB PROJECT #	18-0094
PLOT VIEW / LAYOUT	EX. CONDITIONS
SHEET OF	02 OF 10
ACAD FILE #	12248

**PROFESSIONAL ENGINEER**  
Kevin M. Dowdy  
No. 82330  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

### REFUSE & SOLID WASTE STORAGE AREA CALCULATIONS

**EXISTING BUILDING AREA:**

- CLUB HOUSE & GOLF STORAGE = 91,903 SF
- GOLF ROOM RESTAURANT = 91,200 SF
- FINISH COURSE = 6,133 SF
- SUB-TOTAL = 37,138 SF

**PROPOSED BUILDING AREA:**

- RESTAURANT EXPANSION = 7,224 SF

**TOTAL AREA = 44,362 SF**

**REQUIRED STORAGE AREA:**

- BLDG. AREA = 44,362 SF
- FEET 23,000 SF = 214 SF
- 8 SF PER ADDITIONAL 1,000 SF (19,362 SF REMAINING / 8 SF) = 160 SF
- TOTAL STORAGE REQUIRED = 374 SF

**COLLECTION AREA**

- TOTAL STORAGE PROVIDED = 470 SF

**LAND USE REGULATIONS**  
ZONING: RUD

### BUILDING DATA TABLE

BUILDING HEIGHT	34'-6"
NUMBER OF STORES	1
GROSS EXISTING 1ST FLOOR AREA	8,973 SF
GROSS PROPOSED 1ST FLOOR AREA	7,648 SF
TOTAL BUILDING FOOTPRINT AREA	14,721 SF
FINISH FLOOR ELEVATION (NAVD)	20.60'

### MATCHING LEGEND:

[Pattern]	PROPOSED BUILDING
[Pattern]	EXISTING BUILDING
[Pattern]	PROPOSED PATHWAY
[Pattern]	PROPOSED CART PATH
[Pattern]	PROPOSED CONCRETE
[Pattern]	EX. GRAVEL LOT

- ### GENERAL NOTES
- THE CONTRACTOR SHALL BEGIN ON THE WORK SITE AT ALL TIMES COPIES OF ALL PERMITS NECESSARY FOR CONSTRUCTION.
  - THE CONTRACTOR SHALL IMMEDIATELY REPORT ALL FIELD CHANGES TO THE ENGINEER.
  - THE CONTRACTOR SHALL NOTIFY THE VENUE OF ESTERO DIVISION OF DEVELOPMENT SERVICES A MINIMUM OF 72 HOURS PRIOR TO ALL INSPECTIONS REQUIRED BY THE VENUE OF ESTERO LOC.
  - THERE ARE NO POTENTIAL IMPACTS TO GROUND AND SURFACE WATER, WETLANDS OR FLOOD PLAINS/PRESERVE AREAS ANTICIPATED DUE TO CONSTRUCTION OF THIS PROJECT.
  - THE CONTRACTOR SHALL NOTIFY THE OWNER AND CONTACT ALL UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES IN THE AREA 72 HOURS (MINIMUM) PRIOR TO COMMENCING CONSTRUCTION.
  - THE LOCATION OF EXISTING UTILITIES, PLANTING, VEGETATION, AND MISCELLANEOUS IMPROVEMENTS ARE INDICATED LOCATIONS ONLY. THE EXACT LOCATIONS SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD.
  - ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. ANY LAND CORNER MONUMENT IN DANGER OF BEING DISTURBED MUST BE PROPERLY REFINISHED BY THE CONTRACTOR.
  - EXISTING SURVEY POINTS SHALL BE REFERENCED TO A CONVENTION EQUIVALENT TO THAT WHICH IS USED PRIOR TO COMMENCING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.
  - CONTRACTOR TO UTILITY ORIGINATOR CONSTRUCTION ENTRANCES FOR EMPLOYEES AND DELIVERY OF MATERIALS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY DRAINAGE, CLEARING OR TREE REMOVAL PERMITS REQUIRED FOR THIS PROJECT.
  - A VEGETATION PERMIT IS REQUIRED PRIOR TO ANY SITE WORK. PROTECTIVE BARRICADES MUST BE CONSTRUCTED AND INSPECTED PRIOR TO WORK BEGINS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND FILING A NOTICE OF INTENT AND SHIP PLAN WITH BOTH THE EPA AND VENUE OF ESTERO DEVELOPMENT SERVICES DIVISION AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

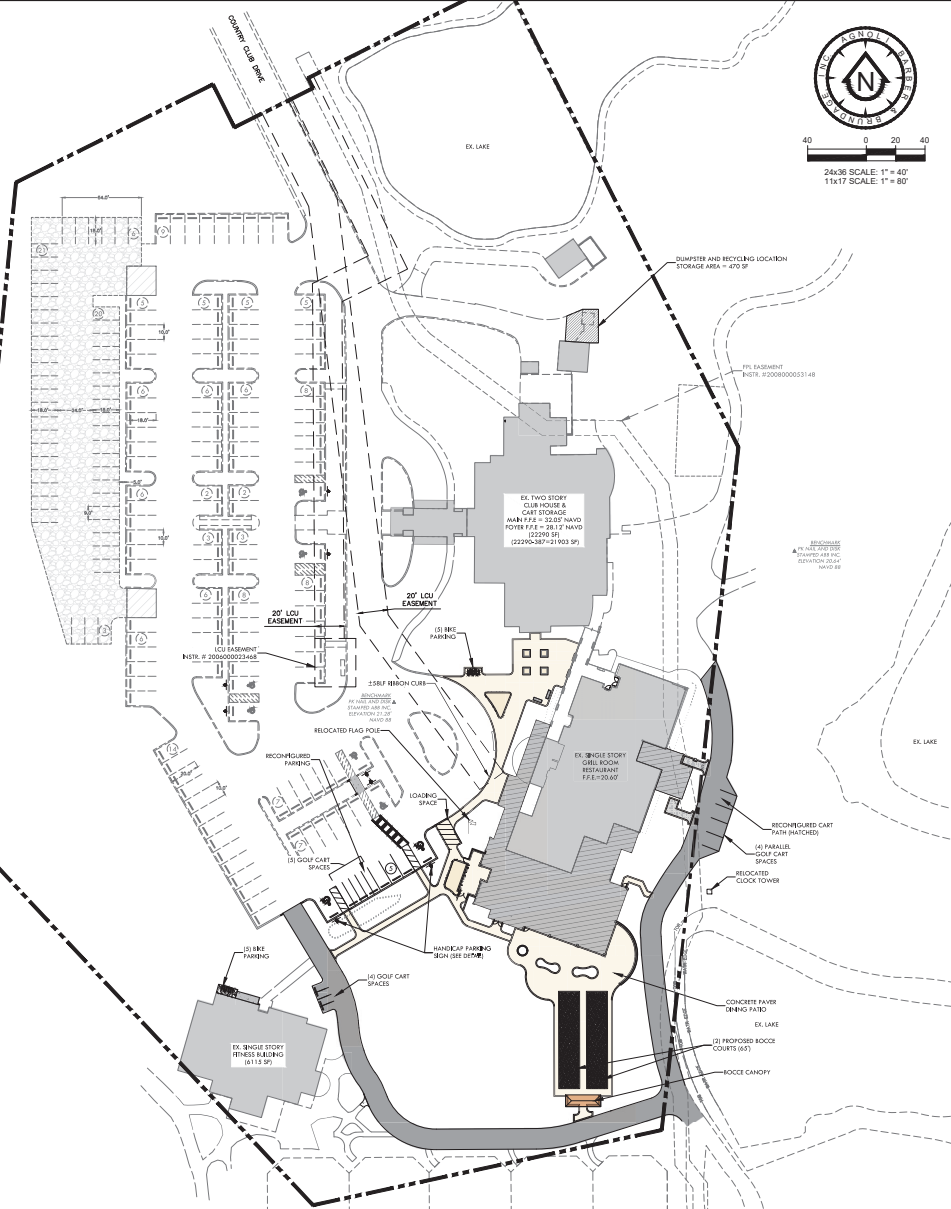
### PARKING SUMMARY (PER IDC 34-2020)

USE	REQUIRED	PROVIDED
Club House		
Rooftop Golf Course	3 per court 2 courts X 3 = 6	6
Golf Course and Restaurant	6 per hole 18 holes X 0 = 108; OR 12.5 per 1,000 sq ft 100,000 X 12.5 = 130	130
Tennis Courts	3 per court 5 courts X 3 = 15	15
Fitness Center	3 per 1,000 sq ft 10,000 X 3 = 30	31
<b>TOTAL OVERALL SPACES</b>	<b>182</b>	<b>182</b>
Handicap Spaces (PER ADA Module)	1% TO 2% TOTAL PROVIDED SPACES IN LOT = 4 AC	8
Loading Spaces (PER IDC 34-1987)	1 space for first 10,000 sq ft 1 space per additional 20,000 sq ft	2
Bicycle Parking (PER IDC 10-610.4.3-0)	3% OF REQUIRED; 182 SPACES X 3% = 9	10

### SITE DATA TABLE

DESCRIPTION	ACRES	SUBTOTAL %
<b>EXISTING LAND USE</b>		
BUILDING AREA	0.66 AC	7.9%
VEHICULAR USE	2.97 AC	36.0%
CONCRETE BRKCS/SIDEWALK AREA	0.71 AC	9.4%
TENNIS/POCCO COURTS	0.05 AC	0.7%
LAKE AREA	0.41 AC	5.4%
OPEN AREA	3.22 AC	40.6%
<b>TOTAL</b>	<b>7.56 AC</b>	<b>100%</b>
<b>PROPOSED LAND USE</b>		
BUILDING AREA	0.75 AC	9.9%
VEHICULAR USE	2.25 AC	29.8%
CONCRETE BRKCS/SIDEWALK AREA	0.58 AC	7.7%
TENNIS/POCCO COURTS	0.10 AC	1.3%
LAKE AREA	0.41 AC	5.4%
OPEN AREA	3.05 AC	40.3%
<b>TOTAL</b>	<b>7.56 AC</b>	<b>100%</b>
<b>EXISTING LAND USE</b>		
BHYPERDUAL AREA	4.04 AC	53.4%
HYPERDUAL AREA	3.52 AC	46.6%
<b>TOTAL</b>	<b>7.56 AC</b>	<b>100%</b>
<b>PROPOSED LAND USE</b>		
BHYPERDUAL AREA	4.06 AC	53.7%
HYPERDUAL AREA	3.50 AC	46.3%
<b>TOTAL</b>	<b>7.56 AC</b>	<b>100%</b>

NOTE: AREAS BASED ON TRACT BOUNDARY FROM PLAT BOOK 39, PAGE 59, WILDCAT RUN UNIT ONE.



AGNOU BARBER & BRUNDAGE, INC.  
Professional Engineers, Planners, Surveyors & Landscape Architects  
Certified as Authorized Signers  
1800 N.W. 12th Ave., Suite 200  
Napa, FL 34108  
Phone: (813) 835-2111  
Fax: (813) 835-2112

Client Name:  
**WILDCAT RUN COUNTRY CLUB ASSOCIATION, INC.**  
20300 COUNTRY CLUB DRIVE  
ESTERO, FL 33928

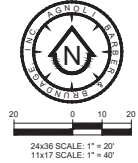
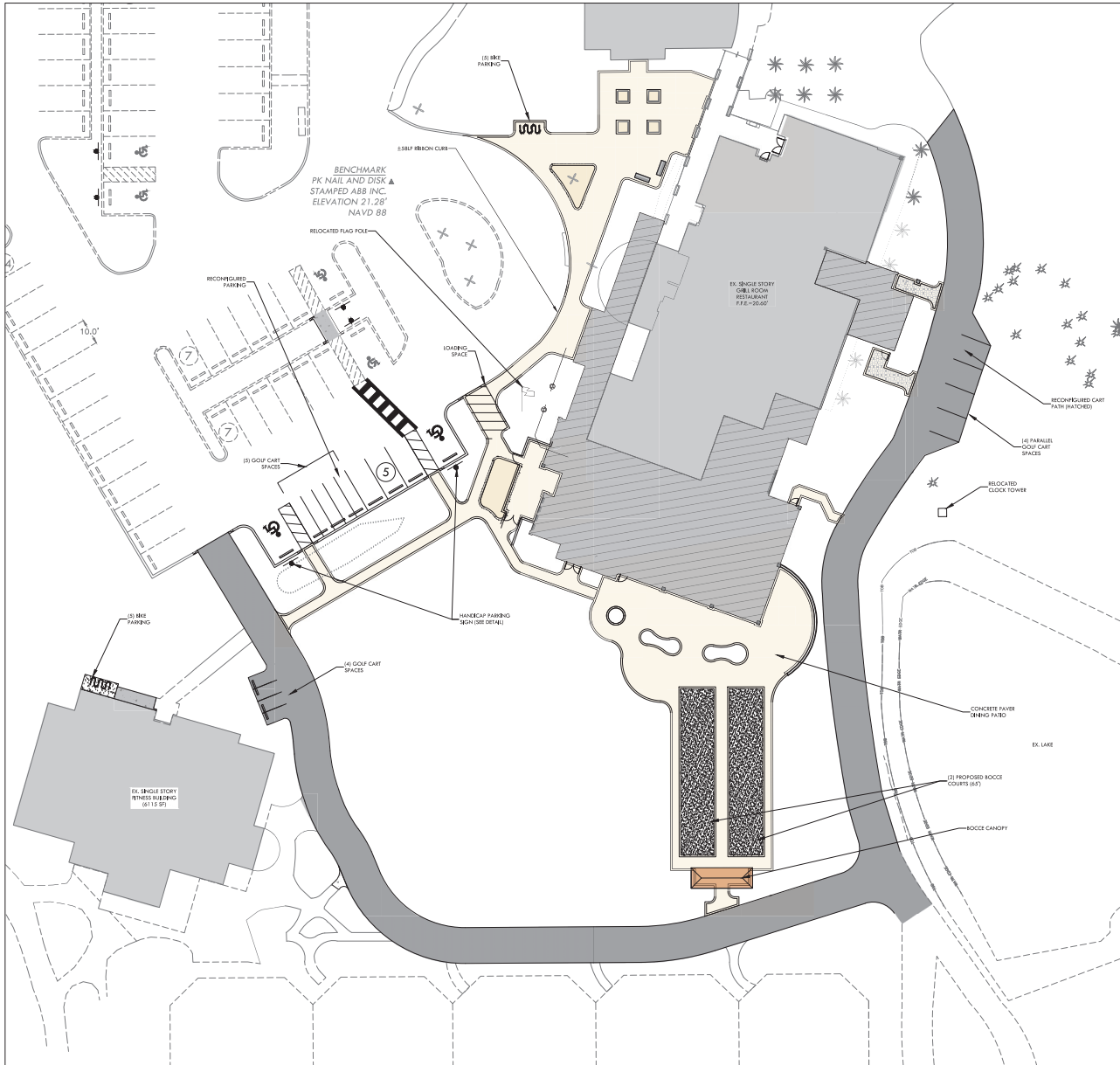
Project Name:  
**WILDCAT RUN CLUB HOUSE**  
Drawing Title:  
**MASTER SITE PLAN**

DESIGNED BY: ABB  
DRAWN BY: AC, TMR  
CHECKED BY: KMD  
REVIEWED BY: ABB  
PROJ. SCALE: NA  
USER SCALE: NA  
DATE: December 2019  
DATE: 12/10/19

ACADEMIC # 12248-ME  
ABB PROJECT # 18-0094  
PILOT VIEW / LAYOUT  
**MASTER SITE PLAN**  
SHEET 03 OF 10  
ACADEMIC # 12248

Professional Engineer  
No. 082930  
STATE OF FLORIDA  
AGNOU BARBER & BRUNDAGE, INC.

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**HATCHING LEGEND:**

(Diagonal hatching)	PROPOSED BUILDING
(Solid gray)	EXISTING BUILDING
(Horizontal hatching)	PROPOSED PATHWAY
(Vertical hatching)	PROPOSED CART PATH
(Solid black)	PROPOSED CONCRETE

- GENERAL NOTES:**
1. THE APPROVAL OF THESE CONSTRUCTION PLANS DOES NOT AUTHORIZE CONSTRUCTION OF REQUIRED IMPROVEMENTS UNLESS AND IN ACCORDANCE WITH FURNISHMENT OF RECORD.
  2. INTERNAL PARKING LOT LANDSCAPING WILL BE CONCURRENT WITH L.D.C. 10-4-16B, 10-4-16, & 10-4-17, OR CURRENT DEVELOPMENT CODE RULE AT THE TIME OF DEVELOPMENT ORDER PERMITTING.
  3. ALL LANDSCAPING, OPEN SPACE, AND BUFFERING TO BE IN COMPLIANCE WITH L.D.C. REQUIREMENTS.
  4. NO KNOWN ARCHAEOLOGICAL SITES EXIST WITHIN THE PROJECT AREA.
  5. THIS SITE CAN BE USED SAFELY FOR THE DEVELOPMENT AS SHOWN WITHOUT UNUSUAL DANGER FROM FLOOD OR ADVERSE SOIL AND / OR FOUNDATION CONDITIONS.
  6. THE PROJECT WILL NOT UTILIZE BLASTING.
  7. ALL PROPOSED PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH CURRENT FOOT STANDARDS.
  8. ALL CONCRETE WHEEL STOPS SHALL BE IN NATURAL COLOR ONLY.
  9. ALL PROPOSED SIDEWALKS SHALL BE A MINIMUM 2' WIDE PER STANDARDS AND SHALL MATCH EXISTING BRICK PAVING TYPE SIDEWALKS WHEREVER POSSIBLE.
  10. ALL HANDICAP PARKING, RAMP, BEARING AND STEERING SHALL COMPLY WITH THE MOST RECENT ACCESSIBILITY REGULATIONS MANUAL BY THE DEPARTMENT OF COMMUNITY AFFAIRS, FLORIDA BOARD OF BUILDING CODES AND STANDARDS.
  11. ALL DIMENSIONS SHOWN REFERENCE THE EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
  12. ALL CURB WITHIN PROPERTIES TYPE B CURB UNLESS OTHERWISE NOTED.
  13. REFER TO FOOT INLET 522-02 FOR DETAILABLE MARKINGS AND SIDEWALK CURB RAMP DETAIL - SPECIFICATIONS. ADOPTED DIRECTION MARKINGS SHALL BE ON THE FOOT APPROVED QUANTITY PRODUCTIONS LET.
  14. EXPANSION JOINTS IN ALL CURBS AND CONCRETE SIDEWALKS PER FOOT STANDARD SPECIFICATIONS BOOK SECTIONS 505 AND 522.
  15. THE DISTANCE EXTENDING 5 FEET FROM THE ENTRY DOORS SHALL SLOPE AWAY FROM THE BUILDING AND SUCH SLOPE SHALL NOT EXCEED 2 PERCENT.
  16. UNLESS OTHERWISE INDICATED, ALL SIDEWALKS SHALL HAVE A MINIMUM CROSS SLOPE OF 1 PERCENT, MAXIMUM 2 PERCENT. A MAXIMUM 3 PERCENT SLOPE IN DIRECTION OF TRAVEL, AND THE SLOPE SHALL SHED WATER AWAY FROM THE BUILDING.

**AGNOLI BARBER & BRUNDAGE, INC.**  
 Professional Engineers, Planners, Surveyors & Landscape Architects  
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 Naples, FL 34108  
 Phone: (239) 439-3311  
 Fax: (239) 439-3320

CLIENT NAME:  
**WILDCAT RUN COUNTRY CLUB ASSOCIATION, INC.**  
 20300 COUNTRY CLUB DRIVE  
 ESTERO, FL 33928

PROJECT NAME:  
**WILDCAT RUN CLUB HOUSE**  
 DRAWING TITLE:  
**DETAILED SITE PLAN**

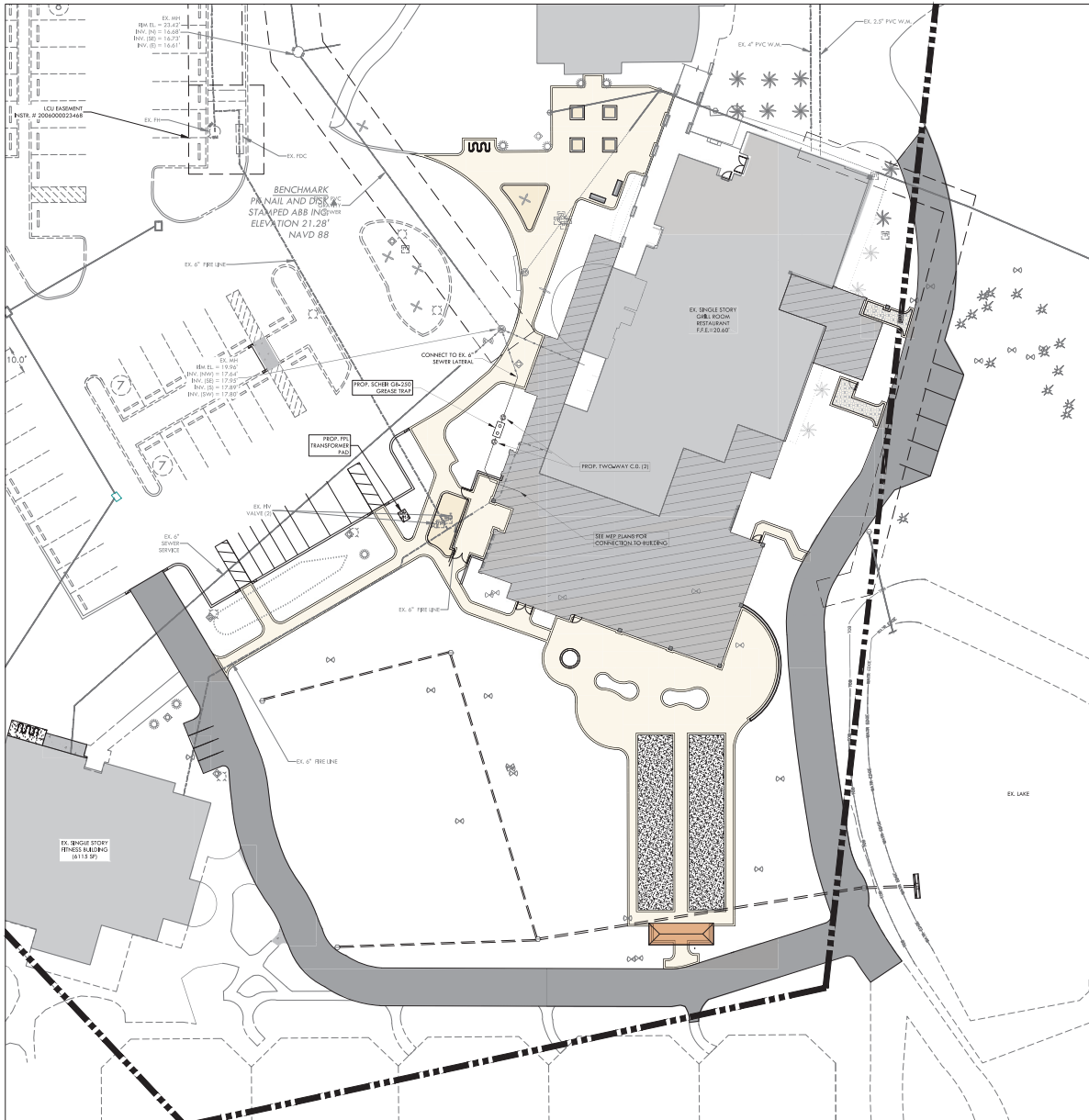
DESIGNED BY: ABB  
 DRAWN BY: AC/TMP  
 CHECKED BY: KAD  
 REVIEWED BY: ABB  
 TITLE SCALE: NA  
 LAYER SCALE: NA  
 DATE: December 2019

NO.	DATE	DESCRIPTION
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ACADE FILE NAME:  
 12248-ME  
 ABB PROJECT #  
 18-0094  
 PLOT VIEW \ LAYOUT  
**DETAILED SITE PLAN**  
 SHEET **04**  
 OF **10**  
 ACADE FILE #  
 12248



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**HATCHING LEGEND:**

	PROPOSED BUILDING
	EXISTING BUILDING
	PROPOSED PATHWAY
	PROPOSED CART PATH
	PROPOSED CONCRETE

**GREASE INTERCEPTOR CALCULATION:**

FOR HYDROMECHANICAL INTERCEPTORS

**REQUIRED:**

CAPACITY = (MEALS PER DAY) x (GREASE PRODUCTION VALUE) x (DAYS PER PUMP-OUT CYCLE)

= 230 (MEALS/DAY) x (0.02'S LB/MEAL) x (90 DAYS)

= 426.6 LB REQUIRED

**PROVIDED:**

(1) SCHER GR-250 WITH 6" INLET/OUTLET

CAPACITY = 1,731 LB @ 100 GPM

= 1,186 LB @ 200 GPM

= 731 LB PROVIDED

- UTILITY NOTES:**
- CONTRACTOR IS RESPONSIBLE TO REPAIR AND REPLACE IMMEDIATELY ANY BURIED WATER SERVICES, MAINS, TELEPHONE LINES, CABLE TV LINES, RESERVE LINES, OR SEWER LINES DISTURBED BY CONSTRUCTION OPERATIONS.
  - CONTRACTOR SHALL INSURE THAT ALL SEWER LINES MAINTAIN 48" MINIMUM COVER. MAINTAIN MINIMUM 18" VERTICAL CLEARANCE, 10' HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWER GRAVITY OR FORCE MAIN OR ENGAGE THE SEWER LINE FOR 10' EACH WAY FROM THE CONNECT. WATER MAIN JOINTS TO BE CENTERED ON SANITARY CROSSING IN ACCORDANCE WITH F.A.C. 62-555.31(4)(2) AND 65-604-400(2). WATER MAINS SHALL HAVE 5" MINIMUM COVER.
  - CONTRACTOR SHALL COORDINATE ALL CONNECTIONS TO OR RELOCATION OF EXISTING UTILITIES WITH APPROPRIATE UTILITY OWNERS.
  - CONTRACTOR SHALL MAINTAIN A CURRENT AND UPDATED SET OF AS-BUILT DRAWINGS AT ALL TIMES AND PROVIDE ONE COPY TO THE ENGINEER UPON COMPLETION OF CONSTRUCTION.
  - ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE COUNTY UTILITIES REQUIREMENTS AND STANDARD SPECIFICATIONS.
  - ALL POTABLE WATER MAINS SHALL BE PVC AWWA C900, CLASS 150, OR 18. EXCEPT WATER MAINS UNDER PAVEMENT OR STORM DRAINAGE SHALL BE CLASS 50 OR EXTENDED 5' PAST E.O.P. OR CURBING. WATER MAINS SHALL BE BLUE IN COLOR. ALL FIRE MAINS SHALL BE PVC AWWA C900, CLASS 200 (R1) AND SHALL BE BLUE IN COLOR.
  - ALL SANITARY FORCE MAINS SHALL BE PVC AWWA C900 CLASS 30 OR 18 EXCEPT FORCE MAINS UNDER PAVEMENT SHALL BE PVC AWWA C900, CLASS 50, OR 14 EXTENDED 5' PAST E.O.P. OR CURBING. FORCE MAINS SHALL BE GREEN IN COLOR.
  - MAINTAIN 5' HORIZONTAL SEPARATION BETWEEN PRESSURE MAINS AND DRAINAGE STRUCTURES.
  - ALL WATER SERVICE TAPS UNDER ASPHALT SHALL HAVE BOM BODY GATE VALVES AND RELATED VALVE REEF AND PAD.
  - ALL PORTABLE METERS SHALL HAVE REDUCED PRESSURE BACK FLOW PREVENTION DEVICES PER THE COUNTY UTILITIES STANDARDS.
  - ALL GRAVITY SANITARY SEWER MAINS SHALL BE PVC SDR 26 PER ASTM D3034.
  - ALL SANITARY SEWER LATERALS SHALL BE 4" PVC SDR 26 AT 1.04% MIN SLOPE.
  - ALL CLEANOUTS SHALL HAVE U.S. FOUNDRY CLEAN-OUT RING AND COVER.
  - ALL WATERMANS TO HAVE A MINIMUM OF 5' HORIZONTAL CLEARANCE AROUND STORM DRAINAGE STRUCTURES AND THE BACK OF CURB.
  - ALL SEWER WYES SHALL HAVE A MINIMUM OF 5' OF SEPARATION DOWNSTREAM FROM ALL MANHOLES.

**AGNO BARBER & DRUNDAGE, INC.**  
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 Surveyors & Landscape Architects  
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 Fax: (954) 339-1229

Client Name: **WILDCAT RUN COUNTRY CLUB ASSOCIATION, INC.**  
 20300 COUNTRY CLUB DRIVE  
 ESTERO, FL 33928

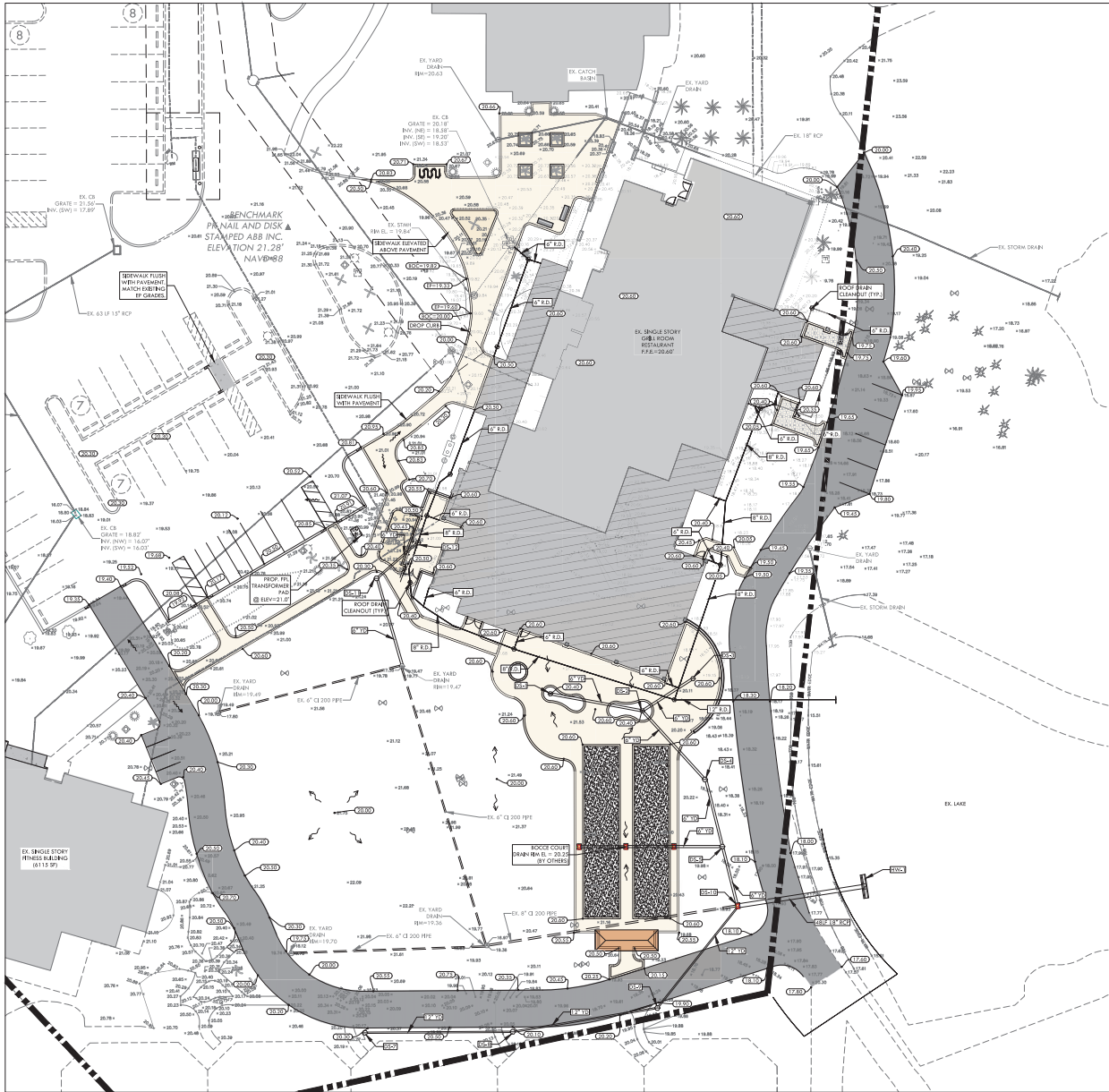
Project Name: **WILDCAT RUN CLUB HOUSE**  
 Drawing Title: **UTILITY PLAN**

DESIGNED BY: ABB  
 DRAWN BY: AC/TMP  
 CHECKED BY: KMD  
 REVIEWED BY: ABB  
 PLOT SCALE: NA  
 SHEET SCALE: NA  
 DATE: November 2019  
 DRAWING NUMBER: 12248-05

12248-ME  
 18-0094  
 UTILITIES  
 SHEET 05 OF 10  
 12248

STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 No. 82330  
 KEVIN M. DOWTY

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**WATER QUALITY CALCULATION:**  
 PER SWQMD PERM# 36-00255-5  
**REQUIRED:**  
 REQUIRED VOLUME = 1" OVER BASIN AREA  
 DRAIN 215.2 & 3 AREA: 92.08 + 170.43 = 170.41 AC  
 REQUIRED VOLUME = 1.42 ACFT  
**PROVIDED:**  
 WATER QUALITY TREATMENT VOLUME PROVIDED BY EXISTING  
 STORMWATER MANAGEMENT SYSTEM  
 INTERCONNECTED LAKES & FLOWWAYS FOR BASIN

**HATCHING LEGEND:**  
 [Symbol] PROPOSED BUILDING  
 [Symbol] EXISTING BUILDING  
 [Symbol] PROPOSED PATHWAY  
 [Symbol] PROPOSED CART PATH  
 [Symbol] PROPOSED CONCRETE

SURFACE WATER MANAGEMENT PARAMETERS	
PERM# 36-00255-5	SYS. 2-3
CONTROL ELEVATION (FT + NAVD)	13.82
15-MIN, 72 HOUR FLOOD ELEV. (FT + NAVD)	SYS. 2 = 17.92
15-MIN, 72 HOUR FLOOD ELEV. (FT + NAVD)	SYS. 3 = 117.32
FINAL ELEVATION	3246 X
MINIMUM ROAD CROWN ELEV. (FT + NAVD)	18.57
MINIMUM FINISHED FLOOR ELEV. (FT + NAVD)	18.57
ACHIEVABLE DETENTION (CFS)	53
DESIGN DISCHARGE (CFS)	35

*NOTE: THE ABOVE DATA IS TAKEN FROM SWQMD APPLICATION #202461-5*

STORM STRUCTURES		
YARD DRAINS	RM. ELEV.	INVERTS
DS-1	20.42'	SE=17.40'
DS-2	20.42'	NW=17.00'
		NE=17.00'
		SE=17.00'
DS-3	20.50'	S/W=17.50'
DS-4	19.00'	N/W=16.00'
		SE=16.00'
DS-5	18.50'	N/W=15.50'
		N/E=15.50'
DS-6	20.30'	E=17.30'
DS-7	20.10'	N/W=17.10'
DS-8	19.90'	S/W=16.90'
		NE=16.90'
DS-11	20.00'	SE=17.00'
		NE=17.00'
DS-12	20.42'	S/W=17.42'
CATCH BASIN TYPE C		
CS-1	18.00'	NW=15.00'
		NE=14.00'
		S/W=16.5'
HEADWALL		
HWC-1		E=13.00'

- GENERAL PAVING AND DRAINAGE CONSTRUCTION NOTES:**
- CONTRACTOR TO VERIFY THE LOCATION OF ANY UNDERGROUND UTILITIES, CABLES, ETC., PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND REPAIR ANY DAMAGE DURING CONSTRUCTION. NO UNDERGROUND UTILITIES HAVE BEEN LOCATED BY ENGINEER.
  - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION'S (FDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND FDOT'S ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION, WHICH ARE INCORPORATED BY REFERENCE. PAYMENT PROVISIONS BY REFERENCING SHALL NOT APPLY.
  - UNLESS OTHERWISE INDICATED ON THE DRAWINGS, ALL REFS ARE TO BE PROVIDED WITH FOOT FLARED END SECTIONS, OPTIONAL SHAPE. FIRE-RESISTING NOTES INCLUDE THE SLOPING OF THE TERMINAL STRUCTURES.
  - THE DRAINAGE SYSTEM SHALL BE CONSTRUCTED WITH STANDARD ROUND REINFORCED CONCRETE PIPE.
  - CONTRACTOR SHALL BE REQUIRED TO SAW OUT THROUGH THE EXISTING IMPOOR WHERE NEW PAVEMENT MATCHES EXISTING PAVEMENT.
  - CONTRACTOR SHALL SUPPLY SATISFACTORY DENSITY TESTS OF SUBGRADE AND BASE TO THE ENGINEER PRIOR TO PAYMENT AND/OR FINAL ACCEPTANCE (1" TEST PER 350 S.F.). ALL TESTING COSTS SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
  - CONTRACTOR SHALL CLEAR AND GRUB SURFACES PRIOR TO PLACING RILL.
  - IF A REQUIRED DIMENSION IS NOT SHOWN, CONTACT THE ENGINEER.
  - NO ADVERSE IMPACTS TO SURFACE OR GROUNDWATER WILL OCCUR AS A RESULT OF THIS DEVELOPMENT. THE SEE CAN BE USED SAFELY FOR BLENDING PURPOSES WITHOUT UNDUL DANGER FROM FLOODING OR ADVERSE SOIL OR FOUNDATION CONDITIONS.
  - ALL EXISTING TOPOS REFER TO NAVD DATUM. CONVERSION: NAVD = NGVD + 1.79'
  - ALL ROOF DRAINS (R.D.) ARE PVC SD8-26 AT MN 1.04% SLOPE.

A  
B  
D  
BRUNDRAGE, INC.

Professional Engineers, Planners, Surveyors & Landscape Architects  
 Certificate of Authorization No. 5348  
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 Fort Lauderdale, FL 33301  
 Phone: (954) 331-1919  
 Fax: (954) 331-2559

CLIENT NAME:  
**WILDCAT RUN COUNTRY CLUB ASSOCIATION, INC.**  
 20300 COUNTRY CLUB DRIVE  
 ESTERO, FL 33928

PROJECT NAME:  
**WILDCAT RUN CLUB HOUSE**  
 DRAWING TITLE:  
**PAVING, GRADING & DRAINAGE PLAN**

DESIGNED BY: ABB  
 DRAWN BY: AC/TM/B  
 CHECKED BY: KNO  
 REVIEWED BY: ABB

HON. SCALE. N.A.  
 LURE SCALE: 1/8" = 1'-0"  
 DATE: December 2019  
 DATUM: NAVD 83

ACAD FILE NAME:  
**12248-ME**

ABB PROJECT #:  
**18-0094**

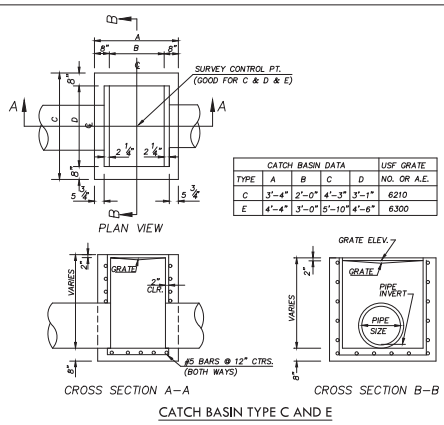
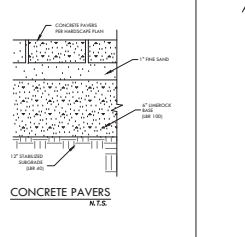
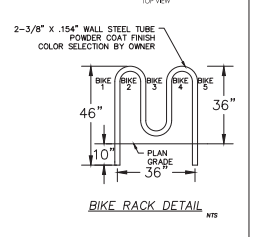
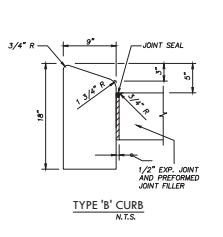
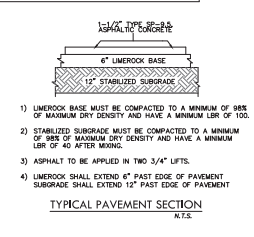
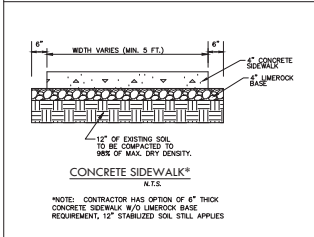
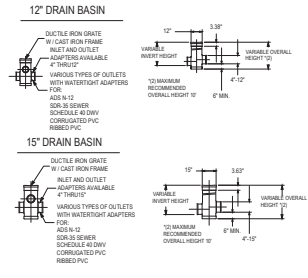
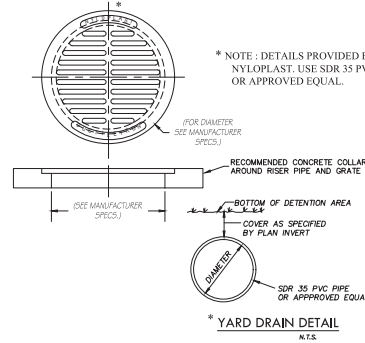
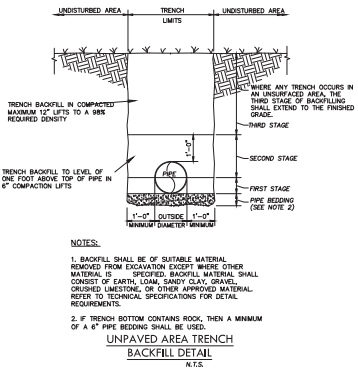
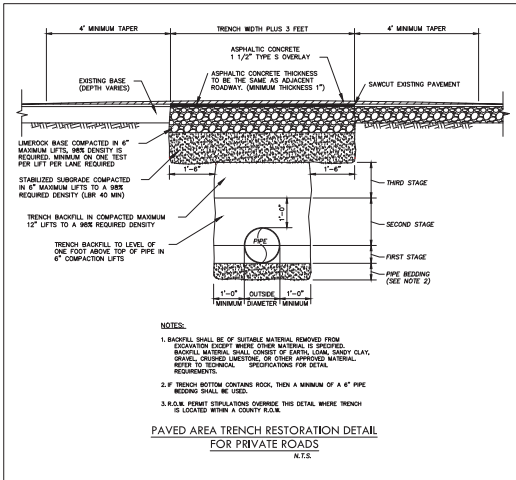
PLOT VIEW / LAYOUT:  
**PGD**

SHEET  
 OF **06  
 10**

ACAD FILE #:  
**12248**

REVISED BY: ABB  
 DATE: 12/20/19

This Item has been electronically signed and sealed by Kevin M. Dowdy, PE, on 12/20/2019 using a Digital Signature.  
 Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



**AGNOLI BARBER & BRUNDAGE, INC.**  
Professional Engineers, Planners, Surveyors & Landscape Architects  
12400 W. Bill Harjo Blvd, Suite 200  
Tampa, FL 33627  
Phone: (813) 971-1111  
Fax: (813) 971-2011

**CLIENT NAME:** WILDCAT RUN COUNTRY CLUB ASSOCIATION, INC.  
**PROJECT NAME:** WILDCAT RUN CLUB HOUSE  
**DRAWING TITLE:** CONSTRUCTION DETAILS

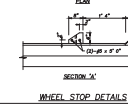
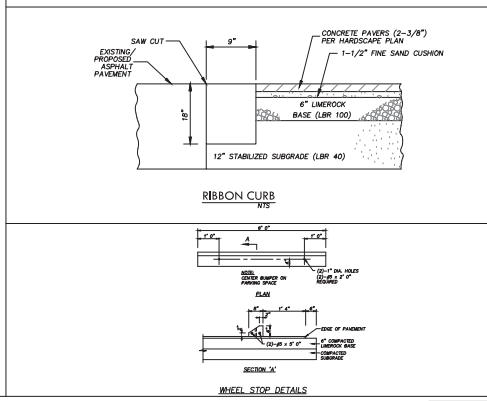
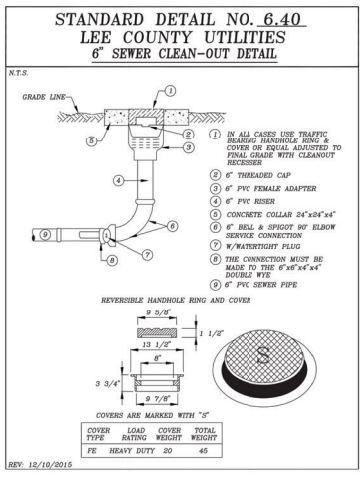
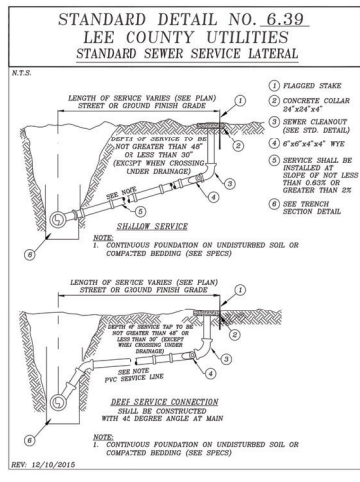
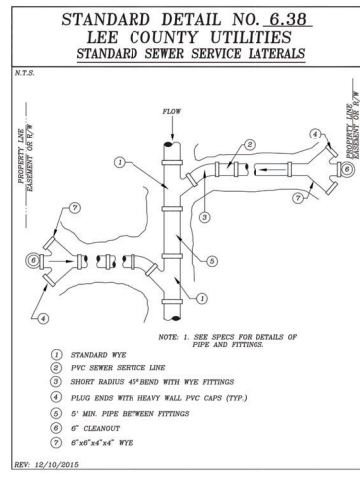
**DESIGNED BY:** ABB  
**DRAWN BY:** KACTHE  
**CHECKED BY:** KAD  
**REVIEWED BY:** ABB  
**HOOR SCALE:** 1/8" = 1'-0"  
**DATE:** November 2019  
**DATE:** November 2019

12248-ME
18-0094
DETAILS (11)
SHEET 07 OF 10
ACAD FILE # 12248

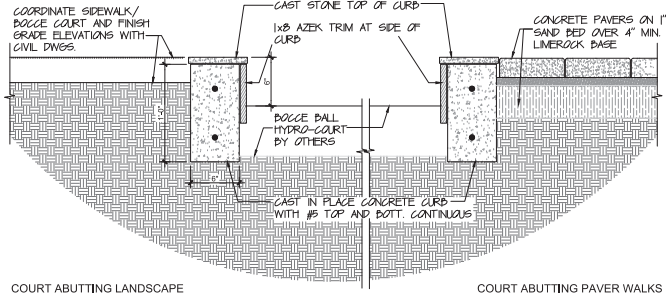
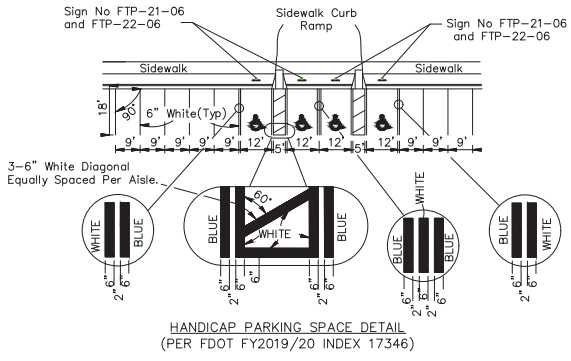
**12248-ME**  
18-0094  
DETAILS (11)  
SHEET 07 OF 10  
ACAD FILE # 12248

**KEVIN M. DOWDY**  
Professional Engineer  
No. 88330  
STATE OF FLORIDA  
Professional Seal

This item has been electronically signed and sealed by Kevin M. Dowdy, P.E. on 12/20/2019 using a Digital Signature.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.







NOTE TO GC:  
COORD. WITH BOGGE BALL INSTALLER LOCATION OF HYDRATION AND DRAINAGE SLEEVES PRIOR TO CONSTRUCTION

**BOGGE COURT DETAILS**

SCALE: 1/4" = 1'-0"

**ZURN Z886**  
9-1/4 [159] WIDE REVEAL TRENCH DRAIN SYSTEM

SPECIFICATION SHEET  
TAG \_\_\_\_\_

Dimensional Data (inches and [mm]) are Subject to Manufacturing Tolerances and Change Without Notice

REVEAL CHANNELS ARE POLYMER CONCRETE, CONCRETE, INDEPENDENT AND REINFORCED. SEE LITERATURE APPLICATIONS AND USER GUIDES.

**ENGINEERING SPECIFICATION:** Zurn Z886 Channels are 9" (228mm) long, 6-1/4" (163mm) wide reveal and have a 4" (102mm) front. Modular channel sections are made of 9% water absorption, High Density Polyethylene (HDPE). Channels have a positive mechanical connection between adjacent sections that will not separate during the installation and mechanically lock onto the polymer reinforced (FRP) Channels. Channels have a positive mechanical connection between adjacent sections that will not separate during the installation and mechanically lock onto the polymer reinforced (FRP) Channels. Channels have a positive mechanical connection between adjacent sections that will not separate during the installation and mechanically lock onto the polymer reinforced (FRP) Channels. Channels have a positive mechanical connection between adjacent sections that will not separate during the installation and mechanically lock onto the polymer reinforced (FRP) Channels.

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No.	Shallow In.	Deep In.	(Flt)	(Flt)	(Flt)
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8802	4.10	4.50	110	0.27	122
8803	4.70	5.30	130	0.34	152
8804	5.30	5.90	150	0.41	182
8805	5.90	6.50	160	0.48	212
8806	6.50	7.10	180	0.55	242
8807	7.10	7.70	190	0.62	272
8808	7.70	8.30	211	0.69	302
8809	8.30	8.90	220	0.76	330
8810	8.90	9.50	241	0.83	371
8811	9.50	10.10	250	0.90	400
8812	10.10	10.70	272	0.97	430
8813	10.70	11.30	280	1.04	460
8814	11.30	11.90	300	1.11	480
8815	11.90	12.50	310	1.18	500

**FRAMES**

Front	W	H	Flt	Flt	Flt
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**MA**





An aerial architectural rendering of a golf clubhouse and its parking lot expansion. The clubhouse is a large, multi-story building with a prominent red-tiled roof and a central tower. It is surrounded by lush greenery, including palm trees and manicured lawns. A large, dark asphalt parking lot with numerous parking spaces is situated in front of the clubhouse. In the background, a golf course with green fairways and a dark water hazard is visible. The overall scene is bright and sunny, suggesting a tropical or subtropical climate.

# Presentation for the Village of Estero : Design Review Board

## Wildcat Run Country Club Grille Room Expansion



**HUMPHREY • ROSAL**  
**ARCHITECTS**

NAPLES, FLORIDA 239-263-4201  
[www.HumphreyRosal.com](http://www.HumphreyRosal.com)

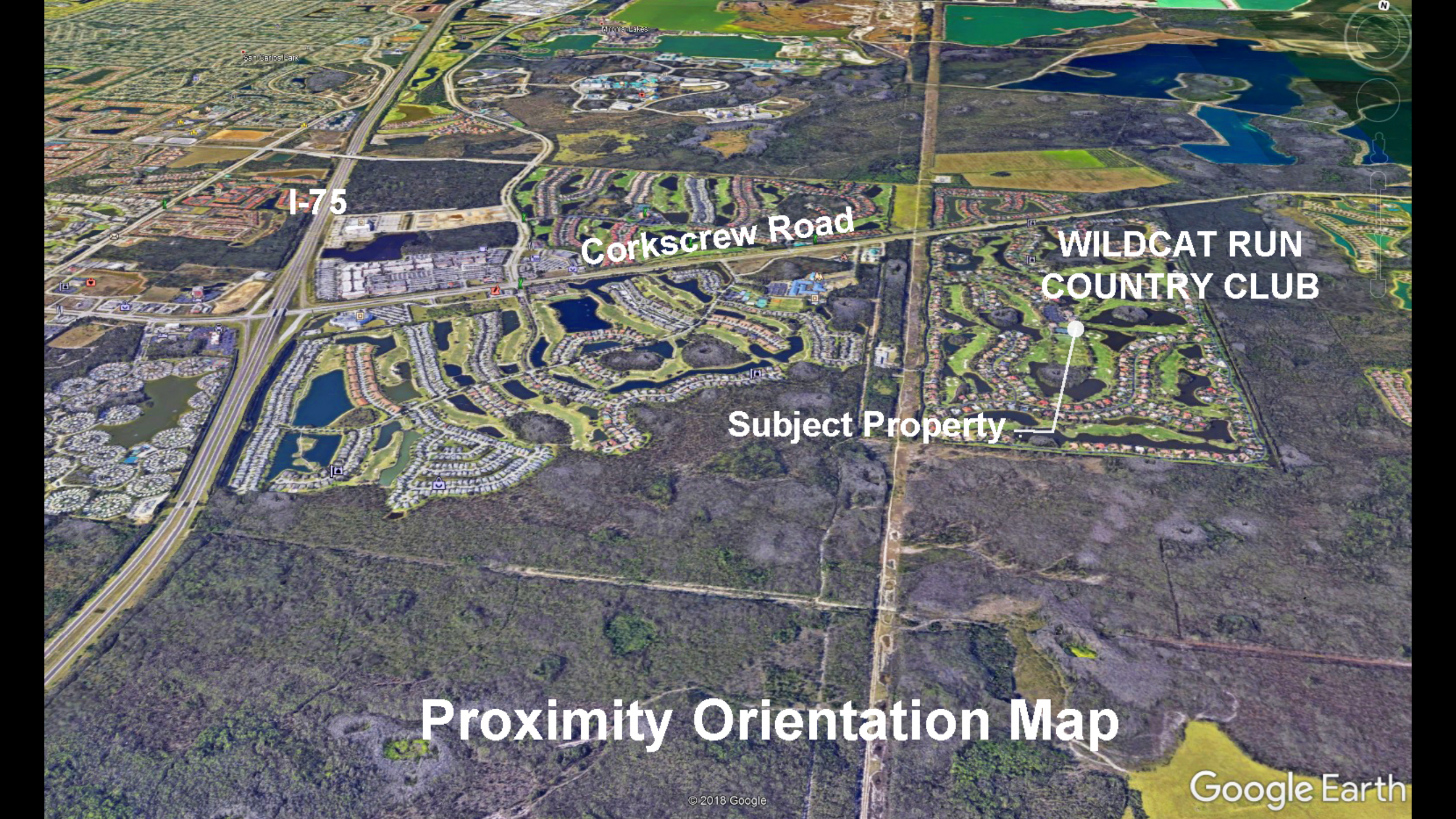
I-75

Corkscrew Road

WILDCAT RUN  
COUNTRY CLUB

Subject Property

# Proximity Orientation Map



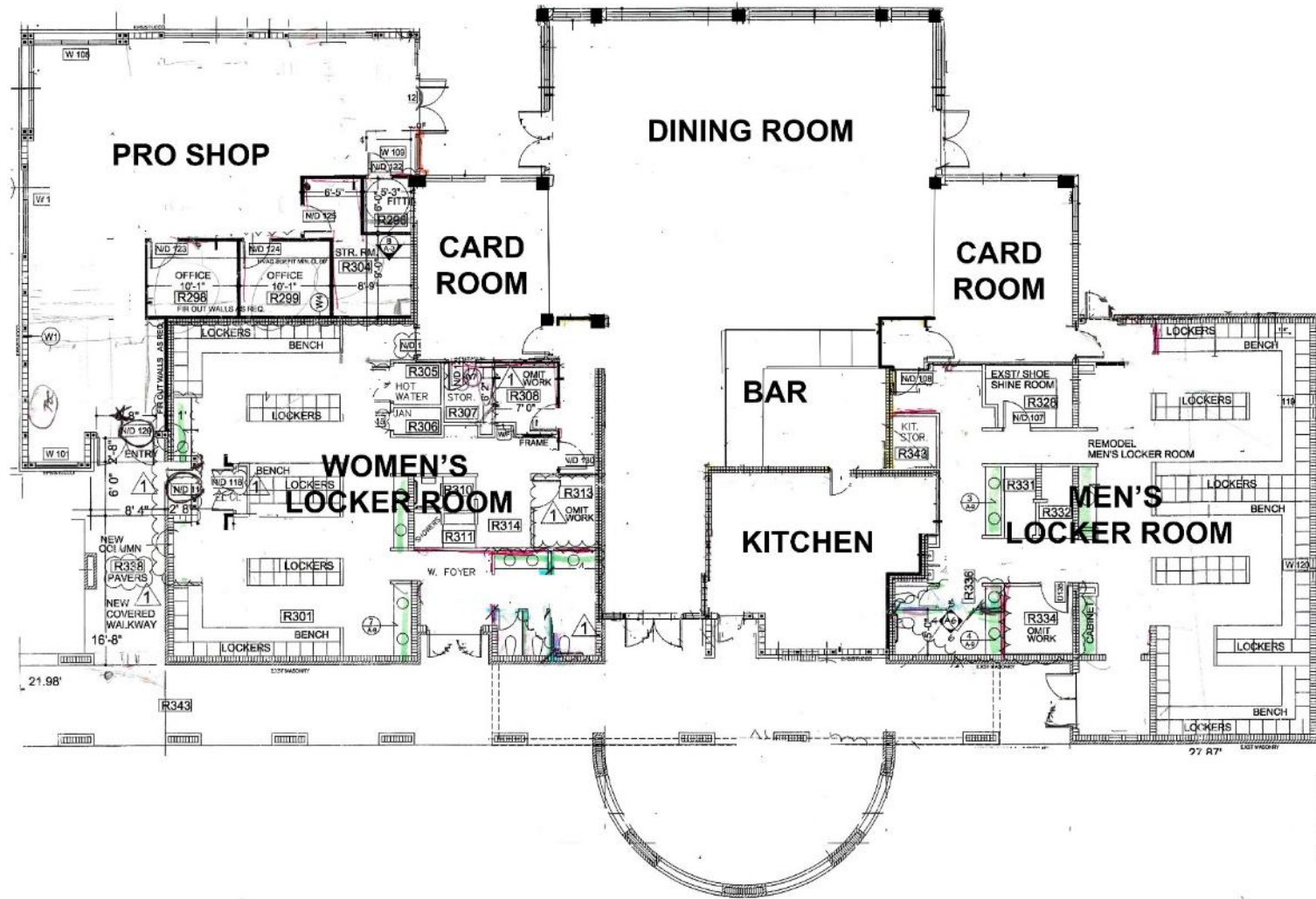
An aerial photograph of a golf club's amenity campus. The scene includes a large parking lot filled with cars, several buildings with red-tiled roofs, a tennis court, and a golf course with a pond and palm trees. The image is overlaid with white text labels for different parts of the campus.

**Main  
Clubhouse**

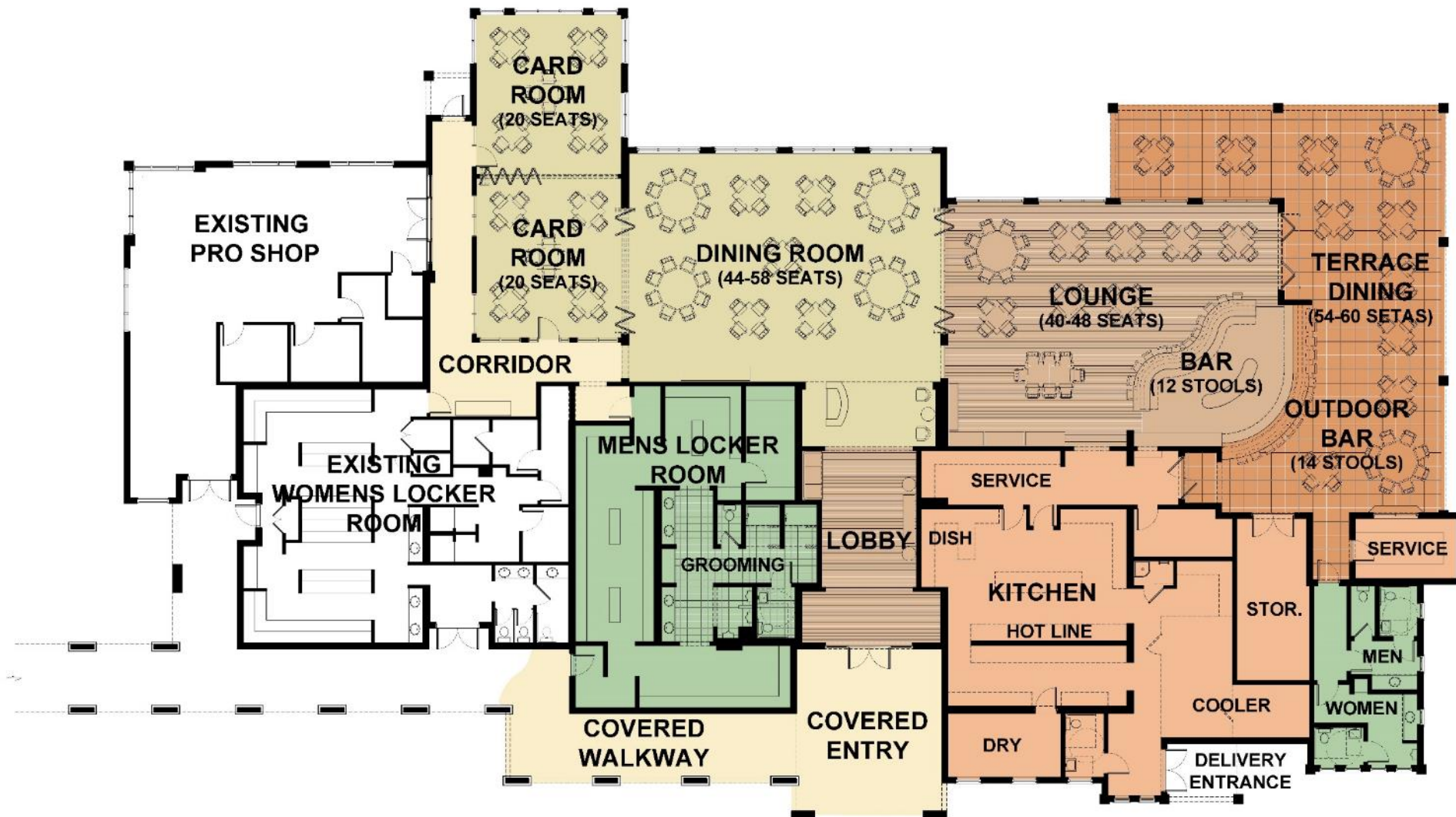
**Grille Room**

**Fitness  
Center**

**Existing Amenity Campus**



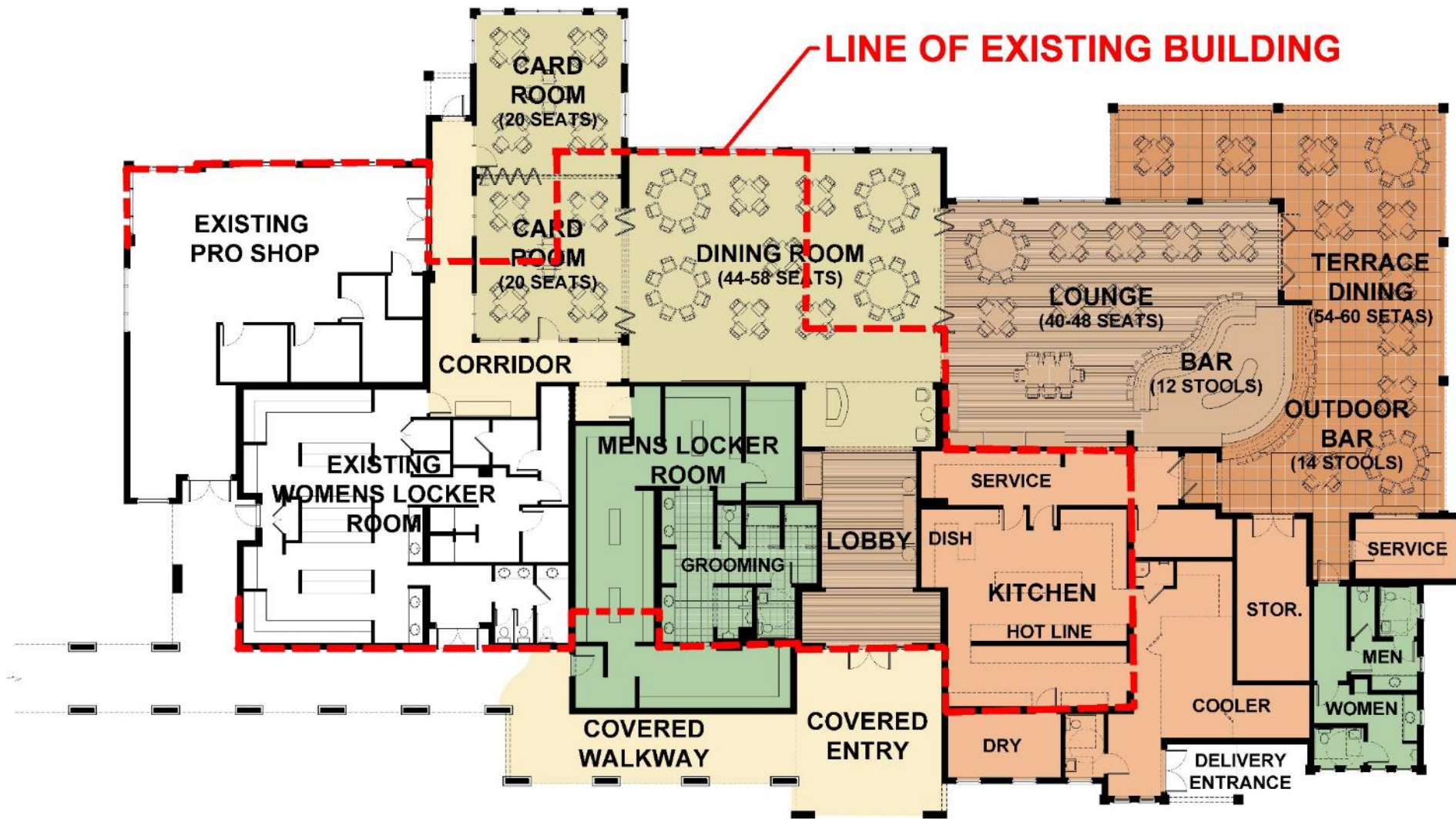
**EXISTING FACILITY FLOOR PLAN**



**WILDCAT RUN COUNTRY CLUB**  
**Phase 2B : Casual Dining**  
**& Social Gathering Area**





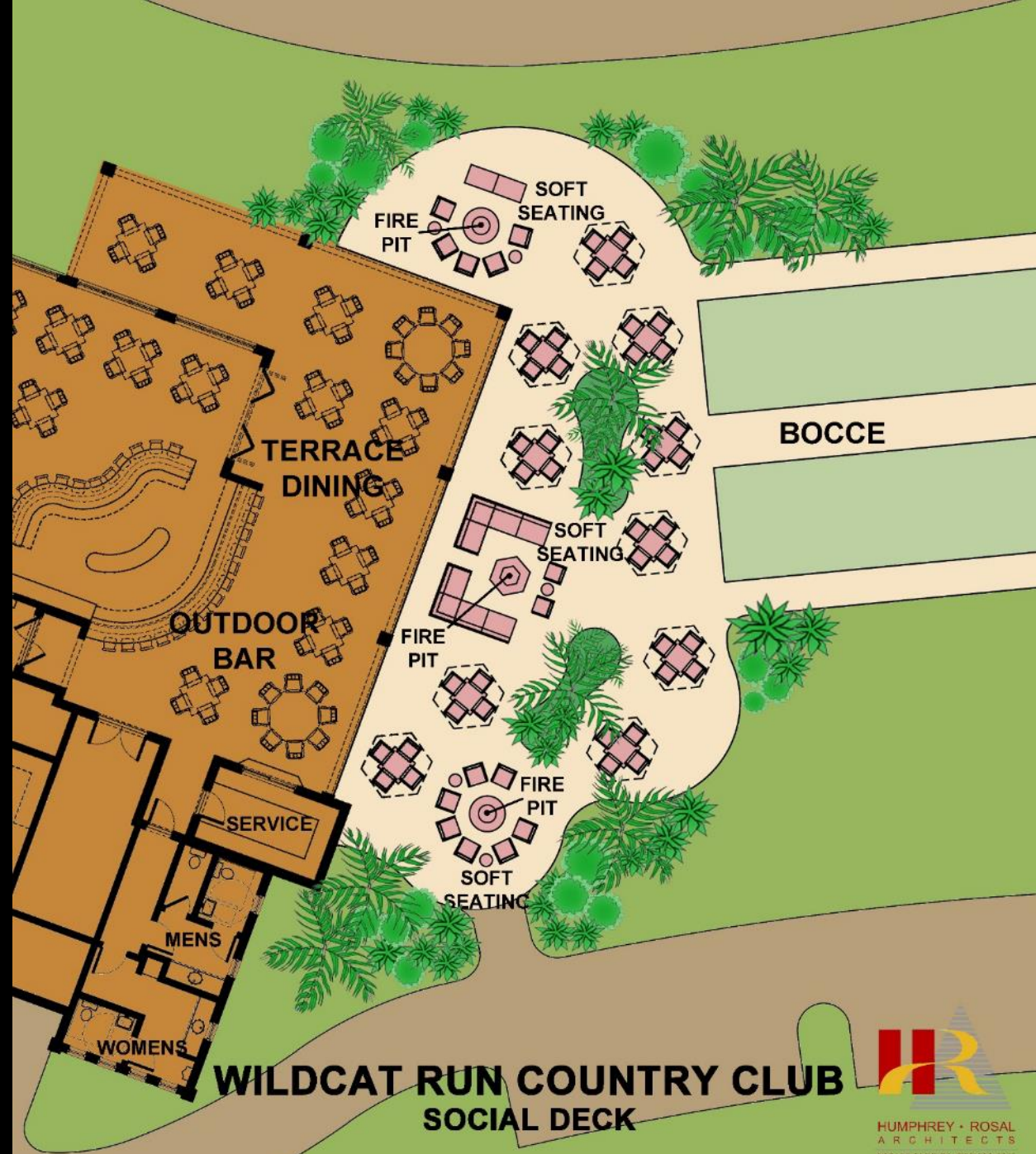


**WILDCAT RUN COUNTRY CLUB**  
**Phase 2B : Casual Dining**  
**& Social Gathering Area**





**WILDCAT RUN COUNTRY CLUB**  
**GRILL ROOM EXPANSION : SITE PLAN**



**WILDCAT RUN COUNTRY CLUB  
SOCIAL DECK**



HUMPHREY • ROSAL  
ARCHITECTS  
VAP, CA, FL, OR, WA, DC, TX, AZ, UT



**Existing Front Elevation**

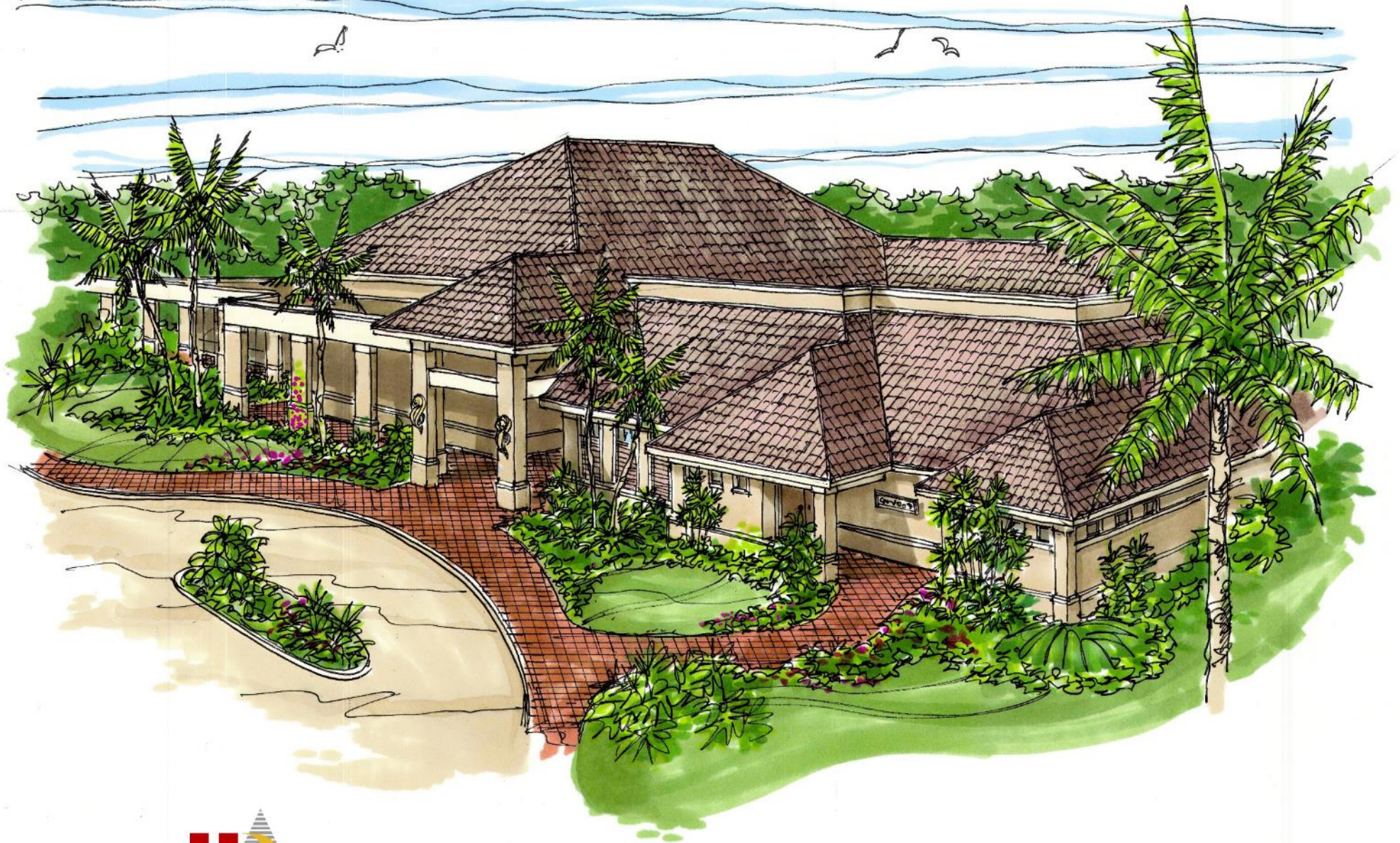


20306

**Existing Front Elevation**

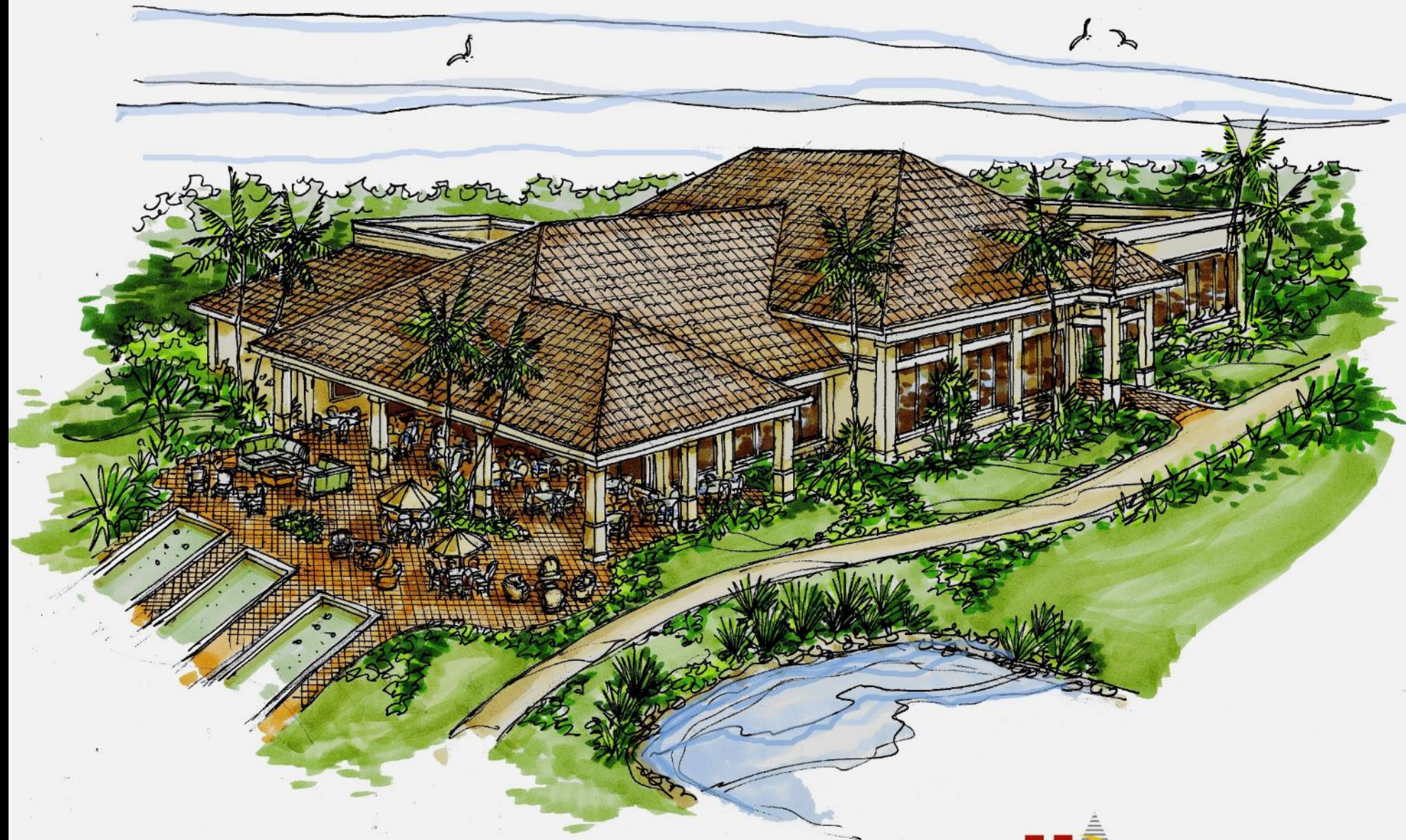


**Existing Side/Rear Elevation**



# Wildcat Run Country Club

## Grille Room Expansion : Entry Elevation Concept



**Wildcat Run Country Club**  
**Grille Room Expansion : Concept Elevation**







**WEST ELEVATION**



**SOUTH ELEVATION**



**EAST ELEVATION**



**NORTH ELEVATION**



**Wildcat Run Country Club**  
**Grille Room Bar Concept**





# Wildcat Run Country Club

## Dining Room Concept



# Project Material & Color Palette

**Boral Roof Tile:  
Galena Smooth**

Desert Tan with Black Antique



**Body Color  
Sherwin Williams**

SW 7029  
**Agreeable Gray**

Interior / Exterior  
Locator Number: 243-C1

SW 7757  
**High Reflective White**

Interior  
Locator Number: 256-C1

**Trim Color**

**Tremron: Stonehurst Pavers  
Tuscan Paver Stone**



**YKK Aluminum Windows  
Bone White**

**GENERAL NOTES:**

1. THE SITE CAN BE SAFELY USED FOR BRIDGING PURPOSES WITHOUT UNBARE DANGER FROM FLOODS OR ADVERSE SOILS OR FOUNDATIONS SUBJECT TO SUB-STRUCTURE ESTIMATION AND DESIGN OF EACH STRUCTURE BY AN ARCHITECT OR GEOTECHNICAL ENGINEER.
2. THE CONTRACTOR SHALL RETAIN ON THE WORK SITE AT ALL TIMES COPIES OF ALL PERMITS NECESSARY FOR CONSTRUCTION.
3. THE CONTRACTOR SHALL IMMEDIATELY REPORT ALL FIELD CHANGES TO THE ENGINEER.
4. THE CONTRACTOR SHALL NOTIFY THE VILLAGE OF ESTERO DIVISION OF DEVELOPMENT SERVICES A MINIMUM OF 72 HOURS PRIOR TO ALL INTERACTIONS REQUIRED BY THE VILLAGE OF ESTERO IUC.
5. THERE ARE NO POTENTIAL IMPACTS TO GROUND AND SURFACE WATERS, WETLANDS OR FLOOD PLAINS/PRESERVE AREAS ANTICIPATED DUE TO CONSTRUCTION OF THIS PROJECT.
6. THE CONTRACTOR SHALL NOTIFY THE OWNER AND CONTACT ALL UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES BY THE AREA 72 HOURS PREVIOUSLY PRIOR TO COMMENCING CONSTRUCTION.
7. THE LOCATION OF EXISTING UTILITIES, PLANTING, VEGETATION, AND ANY OTHER LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. ANY LAND CORNER ENDANGERED BY DAMAGE OR BEING DESTROYED MUST BE PROTECTED BY THE CONTRACTOR.
8. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. ANY LAND CORNER ENDANGERED BY DAMAGE OR BEING DESTROYED MUST BE PROTECTED BY THE CONTRACTOR.
9. EXISTING IMPROVEMENTS SHALL BE RESTORED TO A CONDITION EQUIVALENT TO THAT WHICH EXISTED PRIOR TO COMMENCING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.
10. CONTRACTOR TO UTILIZE DESIGNATED CONSTRUCTION DIVERSIONS FOR EMPLOYEES AND DELIVERY OF MATERIALS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY DRAINAGE, CLEARING OR TREE REMOVAL PERMITS REQUIRED FOR THIS PROJECT.
12. A VEGETATION PERMIT IS REQUIRED PRIOR TO ANY SITE WORK. PROTECTIVE BARRICADES MUST BE CONSTRUCTED AND INSPECTED PRIOR TO PERMIT ISSUANCE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND FILING A NOTICE OF RIGHT AND SURV PLAN WITH BOTH THE BIA AND VILLAGE OF ESTERO DEVELOPMENT SERVICES OFFICE AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

**CLEARING NOTES:**

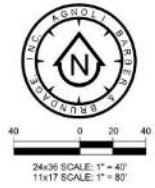
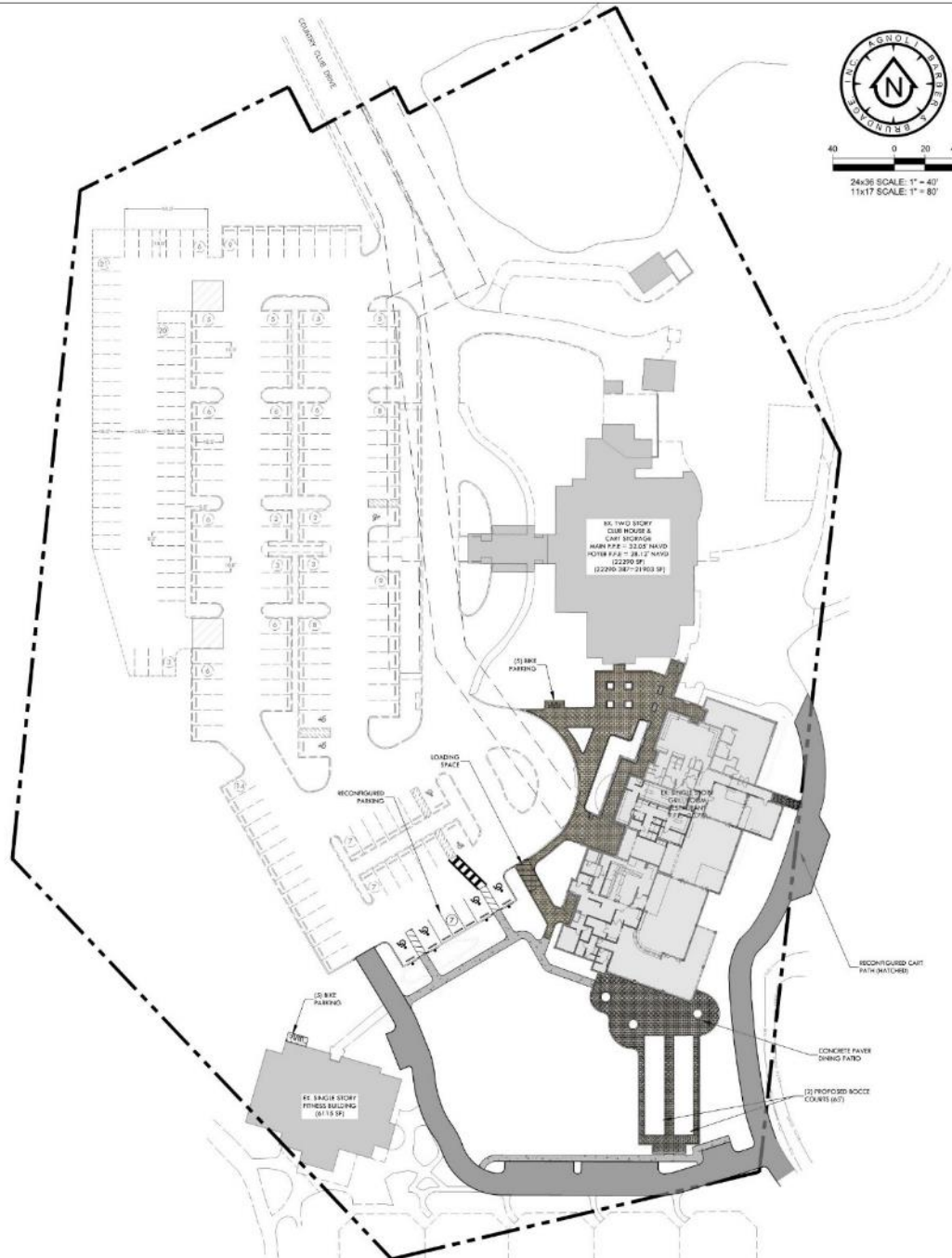
1. EXISTING VEGETATION AS DEFINED BY THE VILLAGE OF ESTERO LAND DEVELOPMENT CODE (SIC) SHALL BE REMOVED FROM THE SITE AND SUBSEQUENT ANNUAL EROSION CONTROL (ON PERMITS) SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
2. THE PROPERTY OWNER IS RESPONSIBLE FOR RESTRUCTURING OF ALL SOILS, LANDSCAPE MATERIAL, AND FOR MAINTENANCE OF THE REGISTERED IRRIGATION SYSTEM.
3. SEE LANDSCAPE AND IRRIGATION PLANS FOR ADDITIONAL INFORMATION REGARDING NATIVE TREES TO RETAIN AND/OR REVEGETATION OF NATIVE SPECIES.
4. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE APPLICANT SHALL INSTALL TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES ALONG THE LIMITS OF CLEARING OF THE EXISTING VEGETATION TO REMAIN ON SITE. THIS TEMP SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION.

**HATCHING LEGEND:**

- PROPOSED BUILDING
- EXISTING BUILDING
- PROPOSED FAIRWAY
- PROPOSED CART PATH
- PROPOSED CONCRETE

**PARKING SUMMARY (PER IDC 34-2022)**

	USE	REQUIRED	PROVIDED
EXISTING	CLUB HOUSE	2 per court 2 courts x 2 = 4	6
	CLUB HOUSE	4 per hole 88 holes x 6 = 528; OR 13.2 min 1,000sq ft 13.2 min 1,000sq ft x 12.5 = 131	153
	CLUB HOUSE	2 per court 5 courts x 3 = 15	15
PROPOSED	CLUB HOUSE	5 per 1,000sq ft 1,000sq ft x 5 = 5	31
	TOTAL OVERALL SPACES	183	205
HANDICAP SPACES (PER ADA Manual)		20% TO 200 TOTAL SPACES PER LOT 17% PL	9
LOADING SPACES (PER IDC 3.6.1987)		1 space for the 10,000sq ft plus 1 space per additional 20,000sq ft	2
BICYCLE PARKING (PER IDC 10-610.63.3)		3% OF REQUIRED 183 SPACES x 3% = 9	10



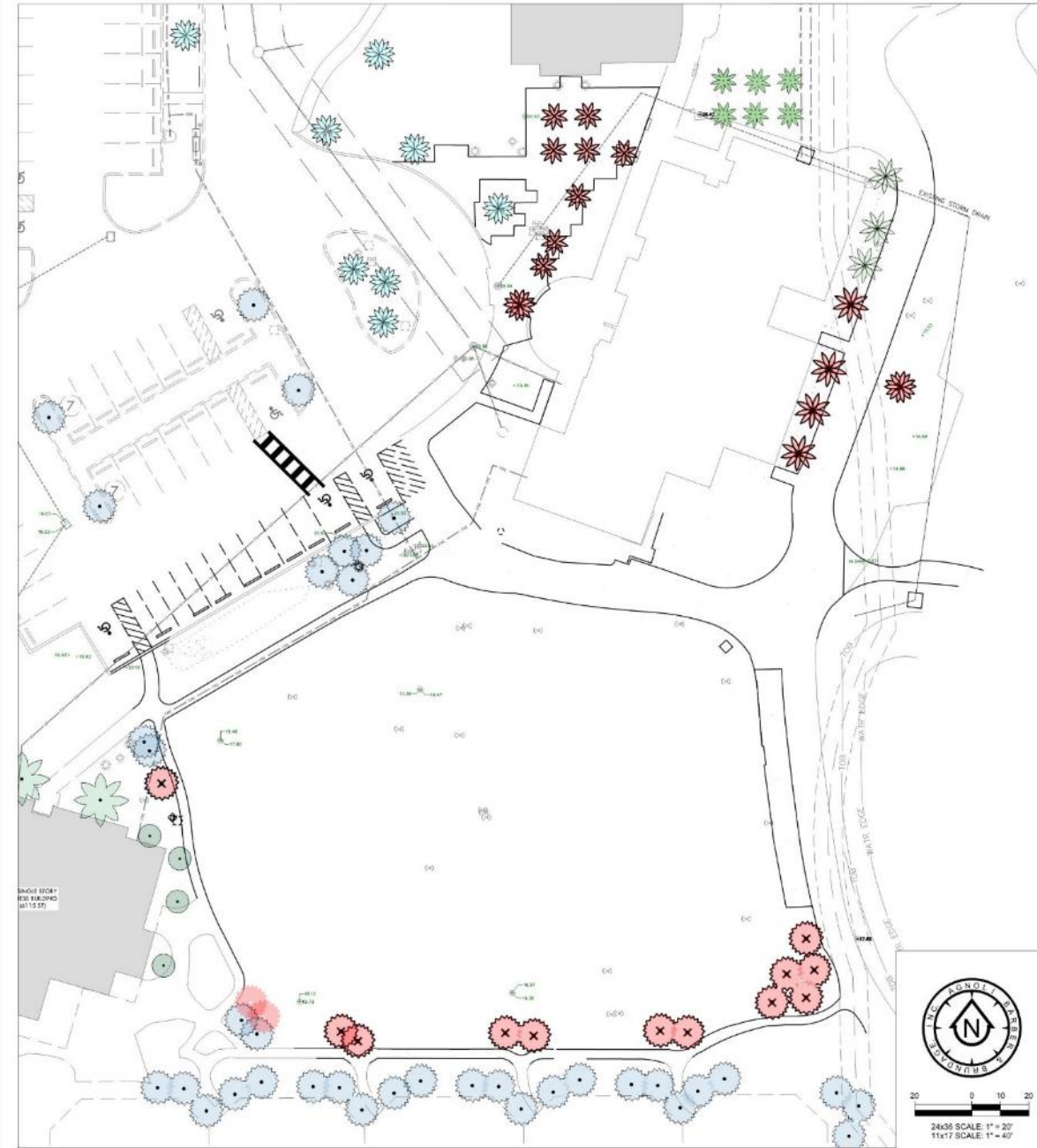
**AGNOLI BUBBER & BRUNDAGE, INC.**  
 Professional Engineers, Planners, Surveyors & Landscape Architects  
 12248 Country Club Drive, Suite 200  
 Estero, FL 33928  
 Phone: 239-338-2222  
 Fax: 239-338-2223

**CLIENT NAME:** WILDCAT RUN COUNTRY CLUB ASSOCIATION, INC.  
**20300 COUNTRY CLUB DRIVE ESTERO, FL 33928**







**PROJECT NAME:** WILDCAT RUN CLUB HOUSE  
**DRAWING TITLE:** MASTER SITE PLAN

**DESIGNED BY:** ABB  
**DRAWN BY:** JCT/TAB  
**CHECKED BY:** EMD  
**REVIEWED BY:** ABB  
**PLP SCALE:** N/A  
**MSF SCALE:** N/A  
**DATE:** September 2019  
**DRAWN:** NAVD 88

**ACAD FILE NAME:** 12248-ME  
**ABB PROJECT #:** 18-0094  
**PLOT VIEW / LAYOUT:** MASTER SITE PLAN  
**SHEET** 03  
**OF** 10  
**ACAD FILE #:** 12248



LANDSCAPE DEMOLITION LEGEND:

-  EXISTING ALEXANDER PALM TO REMAIN
-  EXISTING DATE PALM TO REPAIR
-  EXISTING PORTUL PALM TO REMAIN
-  EXISTING SABAL PALM TO REMAIN
-  EXISTING DATE PALM TO BE REMOVED
-  EXISTING SABAL PALM TO BE REPLACED

**AENOLI  
BARBER &  
BRINDAGE, INC.**  
Professional Engineers, Planners, Architects,  
& Landscape Architects  
15000 N. W. 22nd Avenue, Suite 200  
Miami, Florida 33170  
Phone: (305) 551-1234  
Fax: (305) 551-1235

CLIENT NAME:  
**WILDCAT RUN COUNTRY CLUB  
ASSOCIATION, INC.**  
20300 COUNTRY CLUB DRIVE  
ESTERO, FL 33928

PROJECT NAME:  
**WILDCAT RUN CLUB HOUSE**

DRAWING TITLE:  
**EXISTING CONDITIONS /  
DEMOLITION PLAN**

DESIGNED BY:	AAA
DRAWN BY:	BCD
CHECKED BY:	BCD
REVIEWED BY:	BCD
PCR SCALE:	1"=40'
VF SCALE:	N/A
DATE:	September 2019

18-0094-Landscape	
ABB PROJECT #	17-0131
PCO VIEW (LAYOUT)	L2 SURVEY
SHEET	02
OF	07
PCO FILE #	11838



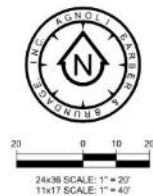
**NOTE**  
LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL TAKEOFFS INCLUDING H&C AND T&P. ANY DISCREPANCIES SHALL BE THE SOLE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

**PLANT SCHEDULE**

SYMBOL	CODE	QTY	SCIENTIFIC NAME	COMMON NAME	CODE	QTY	SIZE	SPACING	NOTES	SPACING	REMARKS
[Symbol]	00	2	Buddleja bonariensis	Sheela Lady Bush Olive	25 gal	1.5'F	18" X 20"	4' x 5'			4" Min Spacing 1.20' Min. Co. 10' Max Spacing (Per LDC 4.06.03 B)
[Symbol]	002	2	Buddleja bonariensis	Sheela Lady	45 gal	2'F	12" X 14"	8' x 8'	Native		
[Symbol]	003	2	Buddleja bonariensis	Sheela Lady	70 gal	2'F	12" X 14"	8' x 8'	Native		6" E Min Spacing 2' Min. Co. 10' Max Spacing (Per LDC 4.06.03 B)
[Symbol]	L01	3	Ligustrum japonicum	Japanese Privet	FG		18" X 22"	8' x 8'			High Crossway, Medium Density
[Symbol]	005	1	Phoenix rostrata	Medium Palm	---		18" X 22"				
[Symbol]	0002	1	Boraginaceae	Adiantum Plant	---		18" X 22"				
[Symbol]	002	23	Baccharis palmata	Coastal Palm	FG		14" X 18"	8' x 8'	Native		8' x 8' Min Spacing 4' Min. Co. 10' Max Spacing (Per LDC 4.06.03 B)
[Symbol]	002	7	Robusta Mirabilis	Formal Palm	FG		14" X 18"				Full High Cover
[Symbol]	006	2	Robusta Mirabilis	Formal Palm	FG		6' GW				
[Symbol]	0002	1	Boraginaceae	Coastal Palm	---		24" X 24"		No		
[Symbol]	008	13	Chorizanthe (leafy)	Red Tip	FG		24" X 24"	30" x 30"	Yes		
[Symbol]	004	34	Cordia alba	Sea Grape	2 gal		24" X 24"		Native	30" x 30"	
[Symbol]	001	1	Cordia alliodora 'Black Magic'	Black Magic Ti	2 gal		18" X 18"				
[Symbol]	004	4	Cordia alliodora 'Red Papper'	Red Ti Plant	2 gal						
[Symbol]	001	26	Quercus laevis	Gulfstream	2 gal		24" X 24"		Native	30" x 30"	
[Symbol]	002	21	Hibiscus rosa-sinensis 'Swinecote Pink'	Swinecote Pink Hibiscus	2 gal		24" X 24"				
[Symbol]	001	21	Leucaena leucocephala 'New Dawn'	Red Rose	2 gal		24" X 24"				
[Symbol]	001	42	Passiflora foetida	Yew Flw	2 gal		24" X 24"				30" x 30"
[Symbol]	001	23	Banksia repens 'Carina'	Iron Bark Plant	2 gal		24" X 24"	30" x 30"	Yes		
[Symbol]	001	38	Wrightia lucida	Swinecote White Ti	2 gal		24" X 24"				30" x 30"
[Symbol]	0002	1	Boraginaceae	Coastal Palm	---		24" X 24"		Native	30" x 30"	
[Symbol]	002	23	Hamamelis virginica	Flw Bush	2 gal		24" X 24"		Native	30" x 30"	
[Symbol]	002	33	Hamamelis virginica	Coastal Palm	2 gal		18" X 18"				30" x 30"
[Symbol]	002	77	Juniperus horizontalis	Min. Juniper	2 gal		18" X 18"				30" x 30"
[Symbol]	002	30	Baccharis palmata	Coastal Palm	2 gal		18" X 18"				30" x 30"
[Symbol]	0002	1	Boraginaceae	Coastal Palm	---		12" X 12"				12" x 12"
[Symbol]	002	58	Basselia alba	Basal	2 gal		12" X 12"				12" x 12"
[Symbol]	001	209	Thymaspis americanus 'Minka'	Minna Juniper	1 gal	6" x 6"	12" x 12"				12" x 12"

**SDP LANDSCAPE CALCULATIONS**

- A. Vehicular Use Area (VUA) (Per LDC Sec. 4.06.03) - at least 10% of the amount of VUA shall be devoted to shelter landscaping area. One tree shall be provided for every 300sq ft of required shelter landscaping area.**
- Total Planned VUA = X square feet  
Total Landscape Required = X square feet  
Total Landscape Provided = X square feet  
Total Trees Required = X  
Total Trees Provided = X
- B. Building Foundation Plantings (BFP) (Table 4.06.05 c) - 45% building Footc x 12' = total planting area required. Trees and palms required at a rate of 1 per 400 square feet of required foundation planting.**
- Total Buffer Footc = X square feet  
Total Planting Required = X square feet  
Total Planting Provided = X square feet  
Total Paving Applied (20%) = X square feet  
Total Provided in Buffer = X square feet
- Total Foundation Planting = X  
Total Trees Required = X  
Total Trees Provided = X
- C. Native species (Per LDC Sec. 4.06.05 D (1) - at least 75% of the trees and 50% of the shrubs used in full) these requirements may be waived for native species.**
- Total Trees = X  
Native Trees Provided = X  
Percentage Native = 75%
- Total Shrubs = X  
Native Shrubs Provided = X  
Percentage Native = 75%



**GENERAL LANDSCAPE NOTES**

- The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
- All recommended trees and plant materials will be graded to Nursery Grade No. 1 or better as outlined by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry "Grades and Standards for Nursery Plants", 7th Edition, 1998 as revised from time to time.
- All planting shall be done in accordance with the Florida Nurseries' and Growers' Association approved practices.
- All plants shall be forked with Agriform 20-10-5 tables as per the manufacturer's specifications in conjunction with more #5.
- The planting soil shall be the appropriate proportions as follows: 50% sand and 50% organic material consisting of peat moss, well-decomposed manure, soil, mulch and top soil. It shall provide a good grade and thoroughly mixed medium with adequate aeration, drainage and water-holding capacity. It shall also be free of all extraneous debris, such as roots, stones, weeds, etc.
- All planting areas shall receive a 2" layer of mulch or approved mulch, which is to be watered after installation.
- The plant material schedule is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant list, the plan shall prevail.
- Plants shall meet size, container, and spacing specifications. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
- All trees and shrubs locations are subject to change. All locations shall be approved by Agnoli, Barber, & Brundage, Inc (ABB) prior to planting.
- The Landscape Contractor shall be responsible for excavating fully both the site and the bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of discovery. No account shall be made other than contract completion for failure to report such conditions or for errors on the part of the Landscape Contractor at the time of bidding.
- The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth in this plan set and the specifications.
- Plant material shall be bid as specified unless infeasible, at which time the Landscape Architect will be notified by telephone and in writing of intended changes.
- Any and all questions concerning the plan set and/or specifications shall be addressed to Agnoli, Barber, & Brundage, Inc (ABB) (239) 597-3111.
- There shall be no additions, deletions or substitutions without the written approval of the Landscape Architect.
- The Landscape Contractor shall guarantee, in writing, plant survivability for a period of twelve (12) months from final acceptance by the Landscape Architect.
- All dimensions to be field-checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the Landscape Architect.
- All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the Landscape Architect with proper installation carried out by Landscape Contractor at no additional cost.
- All permits necessary are to be provided by the installing contractor unless otherwise specifically stated in the specifications.
- No contractor identification signs shall be permitted on the project, except for the project information sign.
- Existing soil shall not be removed as necessary to accommodate new plantings.
- Any existing soil areas that are unnecessarily disturbed during the landscape installation shall be regraded to match existing.
- The Landscape Contractor will be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.



A photograph of the Aurora Borealis (Northern Lights) over a rocky coastline at night. The sky is dark blue and black, filled with stars and a bright, glowing star-like object. The aurora appears as vibrant green and yellow-green bands of light, some of which are reflected in the water below. The foreground shows a rocky shore with large, dark rocks and a body of water that reflects the light from the aurora and the stars.

**Thank You**