

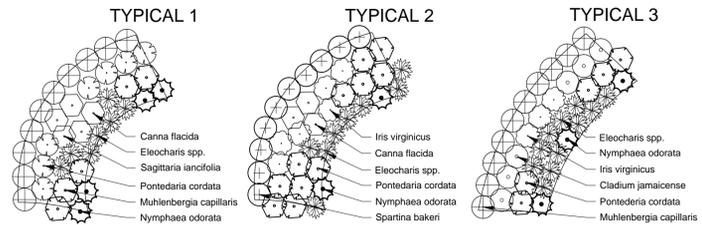
**LITTORAL PLANTING REQUIREMENT**

TOTAL LAKE PERIMETER = 556 LIN. FT.  
 LITTORALS REQUIRED (1 PLANT PER LIN. FT.) = 556 PLANTS  
 TOTAL LITTORALS REQUIRED & PROVIDED = 556 PLANTS

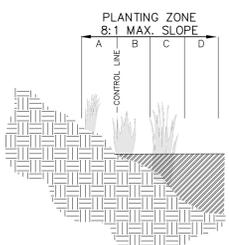
- NOTES:**  
 1) THE MINIMUM REQUIRED NUMBER OF NATIVE WETLAND HERBACEOUS PLANTS IS ONE PLANT PER LINEAR FOOT OF LAKE SHORELINE AS MEASURED AT THE CONTROL ELEVATION.  
 2) CLUSTERS MUST CONTAIN A MINIMUM OF 25 PLANTS WITHIN A 50-SQUARE-FOOT AREA.  
 3) AT LEAST FOUR SPECIES MUST BE PLACED.  
 4) MINIMUM REQUIRED HERBACEOUS PLANT SIZE IS A TWO-INCH CONTAINER, REFERRED TO AS A LINER.  
 5) TREES (10' HT, 2" CAL.) MAY BE SUBSTITUTED FOR HERBACEOUS PLANTS AT THE RATE OF ONE TREE PER FIVE PLANTS.  
 6) SHRUBS (24" HT, 3 GAL.) MAY BE SUBSTITUTED FOR HERBACEOUS PLANTS AT THE RATE OF ONE SHRUB PER THREE PLANTS.  
 7) COMPENSATING LITTORALS FOR BULKHEAD SHALL HAVE 2 PLANTS PER LINEAR FOOT OF BULKHEAD.  
 8) A MINIMUM OF 80 PERCENT SURVIVABILITY AT ONE YEAR IS REQUIRED FOR HERBACEOUS WETLAND PLANTS.

**LITTORAL ZONE PLANTS**

556 LITTORALS REQUIRED & PROVIDED  
 ZONE 1: 5,005 +/- SQ. FT.  
 79 MUHLY GRASS  
 79 PICKERELWEED  
 79 GOLDEN CANNA  
 79 SPIKERUSH  
 79 ARROWHEAD  
 161 FRAGRANT WATER LILY



1 TYPICAL 100 S.F. LITTORAL ZONE PLANTINGS N.T.S.

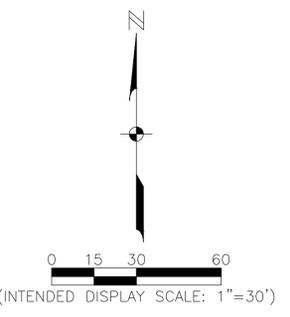
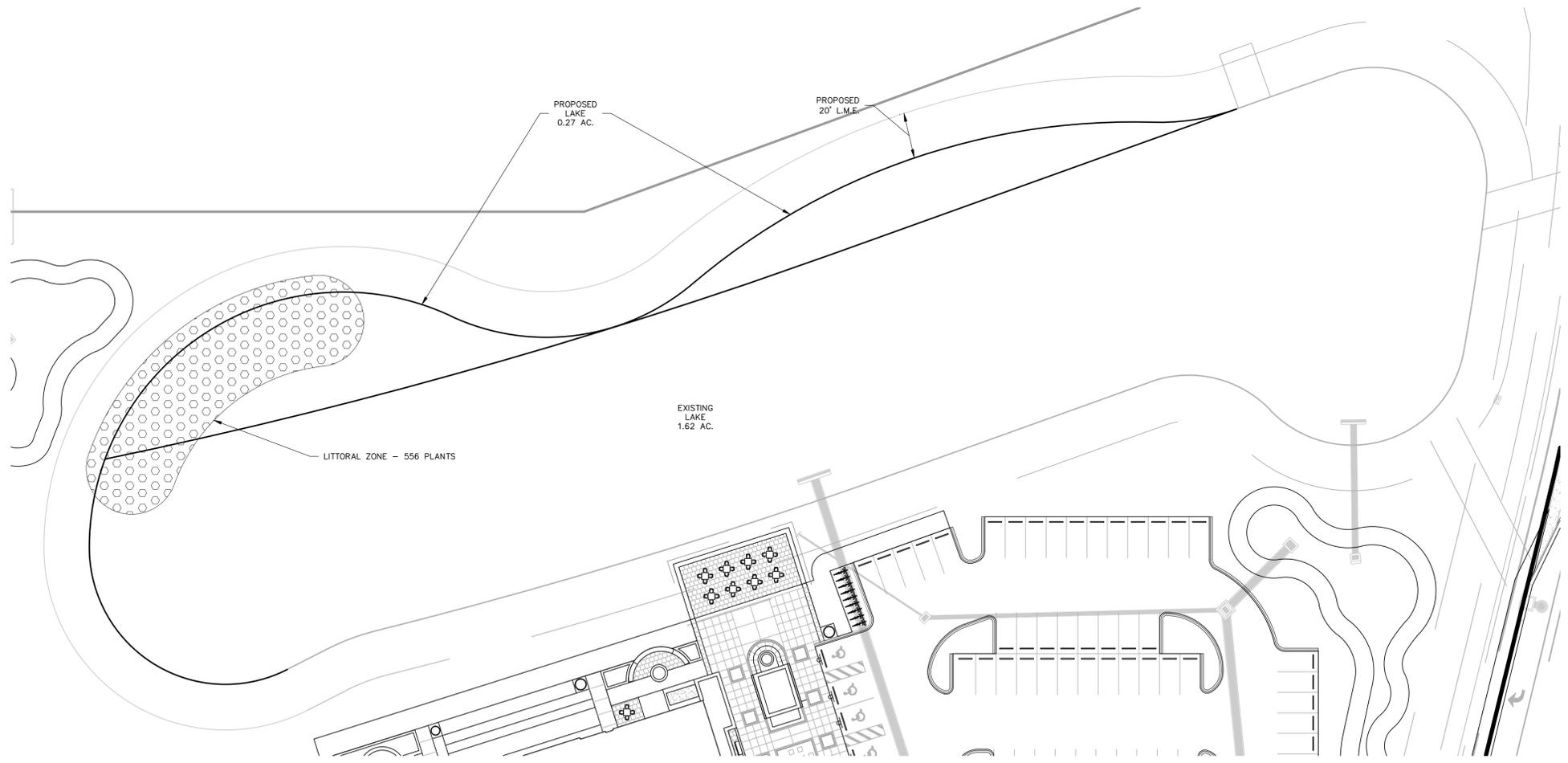


2 TYPICAL LITTORAL ZONE SECTION N.T.S.

**LITTORAL ZONE PLANT SCHEDULE**

QUANTITY	COMMON NAME	SCIENTIFIC NAME	MIN. CONTAINER SIZE/HEIGHT	ZONE	ON CENTER
79	MUHLY GRASS	MUHLENBERGIA CAPILLARIS	2" LINERS / 12"	A	36"
79	PICKERELWEED	PONTEDARIA CORDATA	2" LINERS / 12"	A,B	36"
79	GOLDEN CANNA	CANNA FLACIDA	2" LINERS / 12"	B	36"
79	SPIKERUSH	ELEOCHARIS SPP.	2" LINERS / 12"	C	36"
79	ARROWHEAD	SAGITTARIA LANCIFOLIA	2" LINERS / 12"	C	36"
161	FRAGRANT WATER LILY	NYMPHAEA ODORATA	1 GALLON POT	C,D	36"

- NOTES:**  
 ZONE A: +1' TO CONTROL LINE OF LAKE.  
 ZONE B: CONTROL LINE OF LAKE TO -1'.  
 ZONE C: -1' to -2' BELOW CONTROL LINE OF LAKE.  
 ZONE D: -2' to -4' BELOW CONTROL LINE OF LAKE.



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Stamps & Approvals

10/16	Rev. Per Estero Comments
12/16	Rev. Per Estero Comments

Rev	Date	Description
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**Lee Memorial Health System**



Freestanding Emergency Care  
 Facility and Surgical Services

23450 VIA COCONUT POINT  
 ESTERO, FL 33928

AHCA # 23/100012-170-1

Project Phase  
 DEVELOPMENT ORDER SUBMITTAL

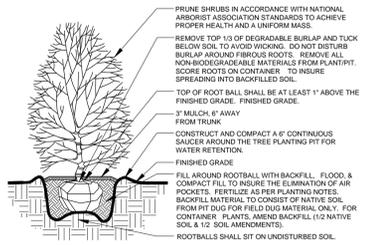
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Project Number 15821-00 Checked By

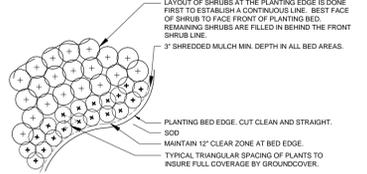
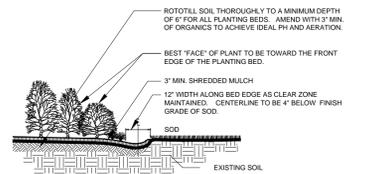
Sheet Title

**LITTORAL PLANTING PLAN**

Sheet Number **L13** Rev. No.



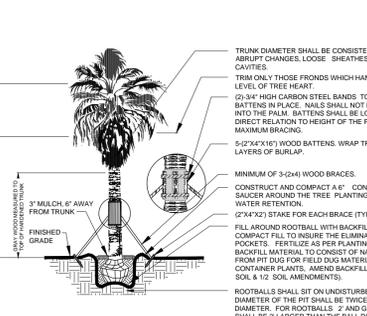
1 TYPICAL SHRUB PIT PLANTING N.T.S.



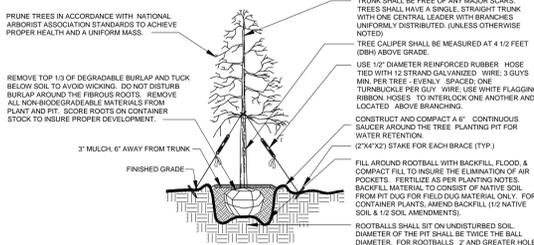
2 TYPICAL SHRUB BED PLANTING N.T.S.



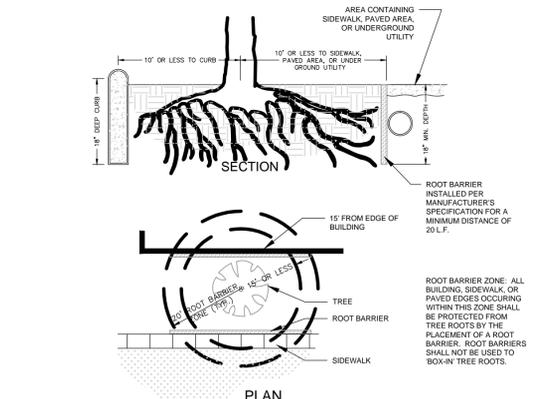
3 TYPICAL MULTI-TRUNK TREE PLANTING N.T.S.



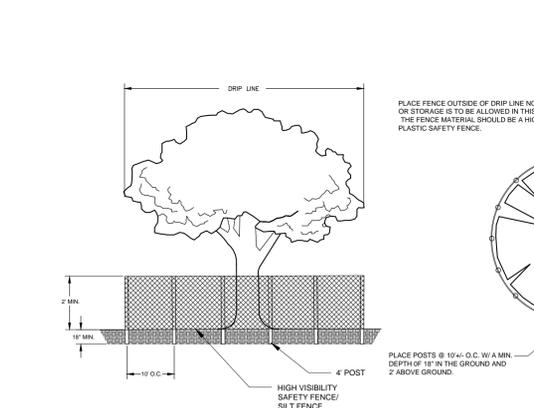
4 TYPICAL PALM TREE PLANTING N.T.S.



5 TYPICAL SINGLE TRUNK TREE PLANTING N.T.S.



6 TYPICAL ROOT BARRIER DETAIL N.T.S.



7 TYPICAL TREE/CONSERVATION AREA PROTECTION BARRIER N.T.S.

**SPECIFICATIONS**

**PLANT MATERIALS:** ALL TREES, PALMS, SHRUBS, GROUNDCOVERS, LITTORALS, WATER PLANTS, SOD AND VINES SHALL CONFORM TO THOSE SPECIES AND SIZES INDICATED ON THE DRAWINGS. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS AS DETERMINED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN MEANS A PLANT THAT IS TRAINED IN ITS DEVELOPMENT TO POSSESS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, BRANCHING, COMPACTNESS AND SYMMETRY. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. SINGLE TRUNK TREES SHALL HAVE A STRAIGHT, CENTRAL LEADER. MULTI-TRUNK TREES ARE TO HAVE 3-5 EQUAL SIZED TRUNKS UNLESS OTHERWISE SPECIFIED. PLANTS WITH MARKED OR BURNED TRUNKS WILL NOT BE ACCEPTED. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY IN ACCORDANCE WITH INTERNATIONAL SOCIETY OF ARBORIST GUIDELINES TO INSURE PROPER HEALTH AND VIGOROUS GROWTH. ALL MATERIALS SHALL BE SUBJECT TO JOHNSON ENGINEERING INC.'S APPROVAL.

**BALLED & BURLAPPED:** ALL PLANT ROOT BALLS SHALL BE 10% ABOVE GRADE AND THE WIRE BASKETS, BURLAP, STRING AND ROPE MUST BE REMOVED. ALL BALLED & BURLAPPED STOCK SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED, FREE FROM DISEASE AND INSECTS. SECURE IN THE ROOTBALL, AND POSSESS ADEQUATE ROOT SYSTEMS. ALL BURLAP SHALL BE REMOVED FROM THE TOP ONE-THIRD OF THE BALL TO PREVENT WICKING. ANY BURLAP THAT IS NOT BIODEGRADABLE SHALL BE CAREFULLY REMOVED TO PREVENT DAMAGE TO FEEDER ROOTS. GROW BAGS SHALL BE REMOVED IN THEIR ENTIRETY. ALL BALLED & BURLAPPED STOCK THAT IS NOT IMMEDIATELY PLANTED, SHALL BE HELED IN AND THOROUGHLY WATERED UNTIL PLANTING. LIFTING, MOVING, OR ADJUSTING THE PLANT MATERIAL BY THE TRUNK IS PROHIBITED.

**CONTAINER GROWN STOCK:** ALL CONTAINER GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED (NOT ROOT BOUND), AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION. ALL CONTAINER GROWN STOCK THAT IS NOT IMMEDIATELY PLANTED, SHALL BE STORED IN A MANNER TO SHADE THE CONTAINERS FROM DIRECT SUNLIGHT TO MINIMIZE ROOT DAMAGE. ALL CONTAINER STOCK SHALL BE THOROUGHLY WATERED PRIOR TO PLANTING AND DURING STORAGE UNTIL PLANTING. LIFTING AND MOVING OF THE PLANT MATERIAL SHALL BE BY THE CONTAINER ONLY.

**MEASUREMENTS:** TREES' HEIGHTS SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS SHALL NOT INCLUDE TERMINAL GROWTH. SHRUBS' HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT SHALL NOT INCLUDE ANY TERMINAL GROWTH. PALMS SHALL BE MEASURED BY THREE HEIGHT CLASSIFICATIONS: OVERALL HEIGHT, CLEAR WOOD, AND GRAY WOOD. OVERALL HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE FROND HEIGHT AT TIME OF INSTALLATION. CLEAR WOOD SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE BOTTOM OF THE FROND SHEATH. GRAY WOOD SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE TOP OF HARDENED WOOD.

**PLANTING SOIL AND BACKFILL:** PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRIABLE, NATIVE SOIL WITHOUT MIXTURE OF SUBSOIL MATERIALS. IT SHALL BE FREE FROM HEAVY CLAY, STONES, LIME, LUMPS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, NOXIOUS GRASSES OR WEEDS. IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. AMEND BEDS WITH 3\"/>

**COMMERCIAL FERTILIZER:** FERTILIZERS SHALL BE UNIFORM IN COMPOSITION, DRY, AND FREE FLOWING AND DELIVERED TO THE SITE IN ORIGINAL UNOPENED BAGS BEARING ALL THE MANUFACTURER'S LABELS. ALL FERTILIZER IS TO BE SLOW RELEASE AND COMPLETE WITH NECESSARY MICRONUTRIENTS. AFTER INSTALLATION, FERTILIZER SHALL BE CLEANED FROM ALL HARDSCAPE SURFACES AND WATERED IN THOROUGHLY PER MANUFACTURER'S SPECIFICATIONS. TREES AND SHRUBS MIXTURE SHALL CONSIST OF A SLOW RELEASE THE FORMULATION OF 3 PARTS NITROGEN TO 1 PART PHOSPHORUS TO 2 PARTS POTASSIUM (3-1-2 RATIO). ALL TREES AND SHRUBS SHALL BE FERTILIZED BI-MONTHLY DURING THE GROWING SEASON AT A RATE OF 4-6 LBS. OF A PER 100 SQ. FT. OF BEDS / TREE CANOPY (3\"/>

**MULCH:** MULCH MATERIAL SHALL BE GRADE A, ARSENIC FREE, ORGANIC, NATURAL COLOR, SHREDDED MULCH, FREE FROM WEED SEEDS, AND APPLIED TO A MINIMUM 3\"/>

**SOD:** ALL SOD SHALL MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETY TYPE, AND FREE FROM WEEDS, INSECTS, AND DISEASES OF ANY KIND. JOINTS SHALL BE STAGGERED AND BUTT TIGHT TO MINIMIZE AIR GAPS. THE GRADE SHALL BE SMOOTH, FREE OF DEBRIS, POSITIVELY DRAINED, AND MOIST TO SOD INSTALLATION. THE SOD SHALL BE ROLLED IN TWO DIRECTIONS PERPENDICULAR FROM ONE ANOTHER AFTER INSTALLATION TO ENSURE PROPER GROUND CONTACT. IN AREAS WHERE A ROLLER CANNOT BE USED, HAND TAMPING SHALL BE REQUIRED. SOD SHALL BE INSTALLED AND WATERED WITHIN 24 HOURS AFTER HARVESTING.

**SUBSTITUTIONS:** NO SUBSTITUTION OF ANY MATERIALS' VARIETIES, GRADES, OR SIZES SHALL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM JOHNSON ENGINEERING, INC. ANY DEAD, UNHEALTHY, NON-COMFORMING PLANT MATERIAL SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITHIN 7 DAYS OF NOTICE FROM THE OWNER OR JOHNSON ENGINEERING, INC. THE CONTRACTOR SHALL NOT BE LIABLE FOR 'ACTS OF GOD' AND VANDALISM, NEGLIGENCE AND THEFT BY OTHERS.

**WARRANTY:** THE CONTRACTOR SHALL WARRANT ALL WORKMANSHIP FOR THE PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE FROM THE OWNER AND JOHNSON ENGINEERING, INC. ANY DEAD, UNHEALTHY, NON-COMFORMING PLANT MATERIAL SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITHIN 7 DAYS OF NOTICE FROM THE OWNER OR JOHNSON ENGINEERING, INC. THE CONTRACTOR SHALL NOT BE LIABLE FOR 'ACTS OF GOD' AND VANDALISM, NEGLIGENCE AND THEFT BY OTHERS.

**QUALITY ASSURANCE:** THE CONTRACTOR SHALL PROVIDE SUBSTANTIAL PROOF TO JOHNSON ENGINEERING, INC. THAT HE / SHE HAS A MINIMUM OF 5 YEARS EXPERIENCE IN THE FIELD OF LANDSCAPE CONTRACTING WITH PROJECTS OF SIMILAR SCOPE. THE CONTRACTOR MUST SUPPLY AT ALL TIMES ON SITE WHEN WORK IS BEING PERFORMED A QUALIFIED SUPERVISOR WITH A MINIMUM OF 18 MONTHS FIELD EXPERIENCE. ALCA LANDSCAPE CERTIFICATIONS CAN SUBSTITUTE IN LIEU OF THE EXPERIENCE REQUIREMENT AT JOHNSON ENGINEERING, INC.'S DISCRETION.

**LANDSCAPE CONSTRUCTION NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES AND SERVICES BOTH UNDERGROUND AND OVERHEAD PRIOR TO THE COMMENCEMENT OF WORK. PROTECTION OF ALL UTILITIES AND SERVICES THROUGHOUT THE COURSE OF WORK IS EXPECTED.
2. ALL LANDSCAPE AREAS (EXCEPT FOR PLANTING BEDS) SHALL BE SODDED UNLESS OTHERWISE INDICATED ON THE DRAWINGS. CONTRACTOR SHALL GET APPROVAL OF FINE GRADING FROM LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF TURF. GRADING FOR LANDSCAPE BERMING SHOWN ON PLANS AND DETAILS IS APPROXIMATE ONLY. CONTRACTOR SHALL CONFER WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCING THIS WORK TO CONFIRM ACTUAL SHAPES AND ELEVATIONS OF THE LANDSCAPE BERMING. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FINISH GRADE ALL LANDSCAPE AREAS ELIMINATING ALL BUMPS, DEPRESSIONS, ROCKS, STICK, OR OTHER DEBRIS PRIOR TO THE INSTALLATION OF PLANT MATERIAL. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING POSITIVE SHEET FLOW DRAINAGE AWAY FROM ALL STRUCTURES AND TO ALL DRAINAGE WAYS SHOWN OR IMPLIED ON THE DRAWINGS.
3. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO RELOCATE/ REPOSITION ANY PLANTS AS SITE CONDITIONS MAY DICTATE DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL TRADES SO AS TO AVOID ANY CONFLICT WITH THE EXECUTION OF WORK BY OTHERS. OWNER SHALL NOT BE RESPONSIBLE FOR THE DAMAGE TO PLANT MATERIALS CAUSED BY OTHER TRADES OR SUBCONTRACTORS. THE CONDITION OF PLANT MATERIAL SHALL BE IN ACCORDANCE TO THE LANDSCAPE ARCHITECT.
5. INSTALLATION OF INTERLOCKING PAVERS SHALL HAVE A BASE USING ROAD-BASE CRUSHED STONE OR ASTM D2940, COMPACTED TO 95% DENSITY FOR PEDESTRIAN & LIGHT VEHICULAR TRAFFIC. 98% FOR HEAVY VEHICULAR TRAFFIC. PROVIDE PITCH FOR DRAINAGE. ONE INCH PER TEN FEET OF PAVING SURFACE, TO BE DONE DURING SUB-GRADE PREPARATION. BEDDING SAND SHOULD BE 1\"/>

8. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS.
9. ALL PRINCIPALS OF FLORIDA-FRIENDLY LANDSCAPING AND DESIGN STANDINGS SHOULD BE UTILIZED.
10. CALL SUNSHINE ONE CALL SERVICE AT 811 BEFORE YOU DIG.
11. ALL TREES AND PALMS THAT ARE STAKED OR GUYED AT TIME OF INSTALLATION, SHALL HAVE ALL NYLON STRIPS OR WOOD BRACING SHALL BE REMOVED WITHIN ONE YEAR OF FINAL INSPECTION.
12. ALL ABOVE GROUND ELEMENTS, INCLUDING BUT NOT LIMITED TO A/C UNITS, DUMPSTERS TRANSFORMERS, GENERATORS, LIFT STATIONS, AND IRRIGATION PUMPS SHALL BE SCREENED WITH LANDSCAPING TO 36\"/>

**LANDSCAPE IRRIGATION NOTES:**

1. SET DRAIN AND CHECK VALVES AS APPROPRIATE PER MANUFACTURER'S RECOMMENDATIONS.
2. GROUP (WHEN PRACTICAL) AND LOCATE VALVES BOXES AND CONTROLLERS IN AN UNOBTRUSIVE / ACCESSIBLE LOCATIONS APPROVED BY JOHNSON ENGINEERING, INC.
3. HEAD SPACING, WORKING PRESSURE, AND PIPE SIZES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
4. USE BUBBLERS, DRIP, ROTORS, AND SPRAY HEADS WHEN APPROPRIATE. HEADS SHALL BE INSTALLED TO PROVIDE 100% HEAD-TO-HEAD COVERAGE TO ALL LANDSCAPED AREAS. A MOISTURE OR RAIN SENSOR SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
5. HEADS SHALL BE INSTALLED TO MINIMIZE OVERSPRAY TO ALL IMPERVIOUS AREAS INCLUDING: SIDEWALKS, ROADS, DRIVES AND OTHER VEHICLE USE AREAS. NO OVERSPRAY ON WALLS, COLUMNS OR OTHER VERTICAL ARCHITECTURAL FEATURES SHALL BE ALLOWED.
6. ALL LITTORAL PLANTING AREAS SHALL HAVE INDEPENDENT ZONES TO ENSURE THE FLEXIBILITY OF REDUCING IRRIGATION APPLICATIONS DURING EXTENDED PERIODS OF RAINFALL. CUSTOMIZATION OF THE WATERING SCHEDULING SHALL INCLUDE DAILY, WEEKLY, AND MONTHLY OPTIONS.
7. GROUP PLANT MATERIALS ACCORDING TO SFWMD XERISCAPE PRINCIPLES WHEN PRACTICAL.
8. TURFGRASS AREAS AND PLANTING BEDS SHALL HAVE SEPARATE ZONES AND RUN INDEPENDENTLY FROM ONE ANOTHER WHEN PRACTICAL.
9. THE IRRIGATION SYSTEM IS TO BE COMPUTERIZED SO IT MEASURES MOISTURE CONTENT IN THE SOIL.

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Stamps & Approvals

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**Lee Memorial Health System**  
**LEE HEALTH**  
 Coconut Point  
 Freestanding Emergency Care  
 Facility and Surgical Services  
 23450 VIA COCONUT POINT  
 ESTERO, FL 33928

AHCA # 23/100012-170-1  
 DEVELOPMENT ORDER SUBMITTAL

Date	08/05/16	Drawn By	
Project Number	15821-00	Checked By	

**LANDSCAPE NOTES AND DETAILS**

Sheet Number **L14** Rev. No.

**STATUTORY LANDSCAPE NOTES:**

- SEE ENGINEERING PLANS FOR ALL OTHER REQUIRED CALCULATIONS. THIS VEGETATION PLAN MEETS AND/OR EXCEEDS THE MINIMUM REQUIREMENTS OF THE LANDSCAPING SECTION OF THE VILLAGE OF ESTERO LANDSCAPING CODE.
- SEVENTY-FIVE PERCENT (75%) OF THE TOTAL NUMBER OF REQUIRED TREES AND FIFTY PERCENT (50%) OF THE TOTAL NUMBER OF REQUIRED SHRUBS USED IN BUFFERS AND LANDSCAPE SHALL BE OF INDIGENOUS NATIVE VARIETIES.
- ALL REQUIRED TREES AT THE TIME OF INSTALLATION MUST, UNLESS SPECIFIED LARGER ON THE PLANS:
  - BE A MINIMUM 45 GALLON CONTAINER
  - HAVE A 12 TO 14 PLANTED HEIGHT
  - HAVE A (3.5") CALIPER OF TRUNK DIAMETER
  - HAVE A 6' DIAMETER SPREAD OF CANOPY
- PALMS MUST HAVE A MINIMUM OF 10' OF CLEAR TRUNK AT THE TIME OF INSTALLATION.
- ALL TREES NOT HAVING A MATURE CANOPY OF A TWENTY FEET (20') MINIMUM SHALL BE MASSIED TO CREATE AN EQUIVALENT TWENTY FEET (20') OF CANOPY.
- ALL TREES ADJACENT TO WALKS, BIKE PATHS, AND RIGHTS-OF-WAY MUST BE MAINTAINED WITH EIGHT FOOT OF CLEAR TRUNK.
- REQUIRED SHRUBS AND HEDGES MUST BE A MINIMUM OF 24" (48" FOR TYPE F BUFFERS) IN HEIGHT ABOVE THE ON-SITE ADJACENT PAVEMENT SURFACE REQUIRED TO BE BUFFERED AND/OR SCREENED WHEN MEASURED AT THE TIME OF PLANTING. THEY MUST BE A MINIMUM THREE (3) GALLON CONTAINER SIZE, AND SPACES 18" TO 36" ON CENTER. REQUIRED SHRUBS AND HEDGES MUST BE AT LEAST 36" (60" FOR TYPE F BUFFERS) IN HEIGHT WITHIN 12 MONTHS OF INSTALLATION, EXCEPT FOR VISIBILITY AT INTERSECTIONS AND WHERE PEDESTRIAN ACCESS IS PROVIDED. REQUIRED HEDGES MUST BE PLANTED IN DOUBLE STAGGERED ROWS AND MAINTAINED TO FORM A CONTINUOUS, UNBROKEN, VISUAL SCREEN WITHIN 12 MONTHS OF INSTALLATION.
- PLANT MATERIALS SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", PARTS I AND II, DEPARTMENT OF AGRICULTURE, STATE OF FLORIDA (AS AMENDED).
- ALL TREES INSTALLED IN RESPONSE TO THE REQUIRED INTERNAL LANDSCAPE AREAS, ALSO KNOWN AS INTERNAL CANOPY TREES SHALL BE LOCATED WHERE AND AS SHOWN ON THE DRAWINGS. PALMS MAY BE SUBSTITUTED ON A 3:1 BASIS AND CLUSTERED WITH CONSENT OF LANDSCAPE ARCHITECT.
- PLANTINGS IN EASEMENTS: UTILITY, POWER, OR DRAINAGE EASEMENTS MAY OVERLAP REQUIRED BUFFERS; HOWEVER NO REQUIRED TREES OR SHRUBS MAY BE LOCATED IN ANY UTILITY, POWER, OR STREET EASEMENT OR RIGHT-OF-WAY.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN THROUGH FINAL ACCEPTANCE (CERTIFICATE OF COMPLIANCE) A TREE PROTECTION BARRIER FOR ALL INDIVIDUAL OR MASSES OF INDIGENOUS PLANT MATERIALS BEING CREDITED AND/OR PRESERVED. ANY TREES USED FOR CREDIT THAT ARE DAMAGED DURING CONSTRUCTION, SHALL BE REPLACED AT A 5:1 RATIO FOR TREES AND 3:1 RATIO FOR PALMS.
- PLANT MATERIAL PROVIDED IN COMPLIANCE TO THE VILLAGE OF ESTERO MAY ONLY BE PRUNED TO PROMOTE HEALTH, UNIFORM, AND NATURAL GROWTH OF THE SPECIFIC PLANT EXCEPT WHERE NECESSARY TO PROMOTE PUBLIC HEALTH, SAFETY, AND WELFARE. PRUNING MUST BE IN ACCORDANCE TO AND ACCEPTABLE WITH THE "PRUNING STANDARDS" (LATEST EDITIONS) ISSUED BY THE NATIONAL ARBORIST ASSOCIATIONS. SEVERELY PRUNED AND/OR DAMAGED TREES MUST BE REPLACED. "HAT-RACKING" PRACTICES ARE PROHIBITED.
- THE FOLLOWING EXOTIC SPECIES OF PLANTS AS LISTED IN THE FLORIDA EXOTIC PEST PLANT COUNCIL'S 2007 INVASIVE PLANT LIST SHALL BE REMOVED AND MAINTAINED FROM OPEN SPACES IN PERPETUITY.
  - MELALEUCA SPP. (PUNK, CAJEPUT, PAPERBACK TREE)
  - CASUARINA SPP. (AUSTRALIAN PINE)
  - SCHINUS SPP. (BRAZILIAN PEPPER, FLORIDA HOLLY)
  - ACACIA AURICULIFORMIS (EARLEAF ACACIA)
  - RHODMYRTUS TOMENTOSUS (DOWNY ROSE MYRTLE)
  - SOLANUM VIARUM (TROPICAL SODA APPLE)
  - ALBIZIA LEBBECK (WOMAN'S TONGUE)
  - BISCHOFIA JAVANICA (BISHOPWOOD)
  - CURIANOPSIS ANACARDIODES (CARROTWOOD)
  - DALBERGIA SISSOCO (ROSEWOOD)
  - DIOSCOREA ALATA (AIR POTATO)
  - EUCALYPTUS CAMALDULENSIS (MURRAY RED GUM)
  - FICUS SPP. (WEEPING FIG, CUBAN LAUREL FIG)
  - LYGODIUM (JAPANESE CLIMBING FERN, OLD WORLD CLIMBING FERN)
  - SAPIUM SEBIFERUM (CHINESE TALLOW)
  - SYZYGIUM (JAVA PLUM, ROSE APPLE)
  - THESPIA OPULNEA (CORK TREE)
  - WEDDIA TRILOBATA (WEDDIA)
  - ABRUS PRECATORIUS (ROSARY PEA)
  - ARDISIA SPP. (CORAL ARDISIA, SHOEBUTTON ARDISIA)
  - ASPARGUS AETHIOPICUS (ASPARGUS FERN)
  - BAUHINIA VARIEGATA (ORCHID TREE)
  - CALOPHYLLUM ANTLANUM (SANTA MARIA)
  - CINNAMONMUM CAMPHORA CAMPHOR TREE)
  - COLOCASIA ESCULENTA (WILD TARO)
  - COLUBRINA ASIATICA (LEATHER LEAF)
  - DIOSCOREA ALATA (WINGED YAM)
  - EICHHORNIA CRASSIPES (WATER-HYACINTH)
  - ESCHENIA UNIFLORA (SURIANAM CHERRY)
  - HYDRILLA VERTICILLATA (HYDRILLA)
  - HYGROPHILA POLYSPERMA (GREEN HYDRO)
  - HYMENOCHEME IMPLEXICALLUS (WEST INDIAN MARSH GRASS)
  - IMPERATA CYLINDRICA (COGON GRASS)
  - JASMINUM DICHOTOMUM (GOLD COAST JASMINE)
  - JASMINUM FLUMINENSE (BRAZILIAN JASMINE)
  - LANTANA CAMARA (LANTANA)
  - LIGUSTRUM SINENSE (CHINESE PRIVET)
  - LUDWIGIA PERUVIANA (PERUVIAN PRIMROSEWILLOW)
  - MACFADYENA UNGUIS-CATI (CAT'S CLAW VINE)
  - MANILKARA ZAPOTA (SAPODILLA)
  - MIMOSA PIGRA (CATCLAW MIMOSA)
  - NEPHROLEPIS CORDIFOLIA (SWORD FERN)
  - NEPHROLEPIS MULTIFOLIA (ASIAN SWORD FERN)
  - NEURADIA REYNAUDIANA (CANE GRASS)
  - PAEDERIA CRUDDASIANA (ONION VINE)
  - PAEDERIA FOETIDA (SKUNK VINE)
  - PANICUM REPENS (TORPEDO GRASS)
  - PENNISETUM PUPUREM (NAPIER GRASS)
  - PISTIA STRATIOTES (WATER LETTUCE)
  - PSIDIUM CATTLEIANUM (STRAWBERRY GUAVA)
  - PSIDIUM GUAJAVA (GUAVA)
  - PUERARIA MONTANA VAR. LOBATA (KUDZU)
  - RHYNCHELTRUM REPENS (NATAL GRASS)
  - RUELLIA TWEEDIANA (MEXICAN PETUNIA)
  - SCAEVOLA TACCADA (BEACH NAUPAKA)
  - SCHIFFERIA ACTINOPHYLLA (QUEENSLAND UMBRELLA TREE)
  - SENNA PENDULA VAR. GLABRATA (CLIMBING CASSIA, CHRISTMAS CASSIA)
  - SOLANUM TAMPICENSE (WETLAND NIGHTSHADE)
  - SYNGONIUM PODOPHYLLUM (ARROWHEAD VINE)
  - TECTARIA INCISA (INCISED HALBERD FERN)
  - UROCHLOA MUTICA (PARA GRASS)
- AN AUTOMATIC IRRIGATION SYSTEM COMBINING DRIP, SPRAY HEADS AND ROTORS AS APPROPRIATE WILL BE INSTALLED TO PROVIDE 100% COVERAGE TO ALL LANDSCAPED AREAS. A MOISTURE RAIN SENSOR WILL BE INCLUDED IN THE IRRIGATION SYSTEM AND LOCATED ON THE SITE SO THAT IT WILL RECEIVE DIRECT RAINFALL, NOT IMPEDED BY OTHER OBJECTS, THE IRRIGATION SYSTEM WILL BE DESIGNED TO ELIMINATE THE APPLICATION OF WATER TO IMPERVIOUS AREAS, INCLUDING ROADS, DRIVES, AND OTHER VEHICLE USE AREAS. THE IRRIGATION SYSTEM WILL BE DESIGNED TO AVOID IMPACTS ON EXISTING NATIVE VEGETATION THAT WILL BE RETAINED ON THE DEVELOPMENT SITE AND NEW VERTICAL ARCHITECTURAL FEATURES.
- A 3" MINIMUM LAYER OF MULCH, AFTER WATERING-IN, OR OTHER RECYCLED MATERIALS MUST BE PLACED AND MAINTAINED AROUND ALL NEWLY INSTALLED TREES, SHRUBS AND GROUND COVER PLANTINGS. EACH TREE MUST HAVE A RING OF MULCH NO LESS THAN 24" BEYOND ITS TRUNK IN ALL DIRECTIONS.
- THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN SAFE SIGHT DISTANCE TRIANGLES AT ALL INTERSECTIONS AND VEHICULAR CONNECTIONS SIGHT TRIANGLES MUST BE IN ACCORDANCE WITH THE ROADSIDE RECOVERY AREA PROVISIONS OF FDOT GREEN BOOK. ALL SIGHT TRIANGLES SHALL MAINTAIN A CLEAR ZONE BETWEEN THIRTY-SIX (36) INCHES AND EIGHT FEET (8'). CONTRACTOR TO VERIFY PRIOR TO FINAL ACCEPTANCE.
- VEGETATION REMOVAL PERMIT MUST BE OBTAINED FROM VILLAGE OF ESTERO ENVIRONMENTAL SCIENCES DIVISION PRIOR TO THE COMMENCEMENT OF SITE WORK.
- ALL HEALTHY SABAL PALMS WITH MINIMUM EIGHT-FOOT CLEAR TRUNK MUST BE SALVAGED AND REUSED ON SITE.

**NOTE: CONTRACTOR SHALL REVIEW ALL CODE COMPLIANCE NOTES. THE MORE RESTRICTIVE NOTES SHALL TAKE PRECEDENCE.**

**CITED CODE REQUIREMENTS AND SPECIFICATIONS PER VILLAGE OF ESTERO**

SEC. 33-351. - LANDSCAPING BUFFERS.

BUFFER REQUIREMENTS PERMITTED OR EXISTING USE											
	SFR	MR-R	COM	ROW	IND	STP	AG	WOR	REC	PRE	
SFR	A	A	A	A	D'	-	-	-	-	B	F'
MR-R	B	A	B	D'	A	A	-	-	B	F'	
COM	C1'	C2'	A'	D'	A	-	A	A	A	F'	
ROW	B	B	A	D'	A	A	C1'	A	A	F'	
IND	E	E	B	D	A	A	A	B	-	F'	
STP	E	E	E	C	C1'	A	C1'	C	-	F'	
REC	C1'	A	A	D	-	-	-	A	F	F'	
PRE	F	F	-	-	-	-	-	-	F	-	

NOTES:

- COMMERCIAL PROJECTS THAT ARE PART OF MIXED USE DEVELOPMENTS, AS DEFINED IN SECTION 34-2, ARE NOT REQUIRED TO PROVIDE BUFFERS BETWEEN USES.
- TYPE "A" BUFFERS REQUIRED BETWEEN COMMERCIAL USES MUST BE DESIGNED TO ALLOW FOR PEDESTRIAN, BICYCLE, AND AUTOMOBILE CONNECTIONS THROUGH ADEQUATE SPACING BETWEEN REQUIRED TREES. PALMS MAY BE USED WHERE COM ABUTS COM ON A 1:1 BASIS, IF THEY ARE CLUSTERED AS DEFINED.
- THE TYPE "D" BUFFERS REQUIRED BETWEEN COMMERCIAL USES AND RIGHTS-OF-WAY MAY BE WAIVED OR REDUCED IF THE PROPOSED BUILDING SETBACK IS WITHIN 25 FEET OF THE RIGHT-OF-WAY. THIS IS NOT INTENDED TO ALLOW FOR A REDUCTION IN GENERAL TREE REQUIREMENTS OR BUILDING PERIMETER TREE PLANTING REQUIREMENTS.
- ALL RESIDENTIAL PLANNED DEVELOPMENTS ADJACENT TO I-75 ARE REQUIRED TO PLANT A BUFFER 40 FEET IN WIDTH AND MUST CONTAIN 15 TREES, 50 SHRUBS AND 60 GROUND COVER PLANTS PER 100 LINEAR FEET. IF A BERM IS CONSTRUCTED, THE 40-FOOT SETBACK MUST INCLUDE A MINIMUM OF EIGHT FEET FROM THE TOE OF THE BERM TO THE RIGHT-OF-WAY TO ALLOW FOR BOTH STATE AND PRIVATE PROPERTY MAINTENANCE OF THE EDGE OF THE RIGHT-OF-WAY FOR MAINTENANCE OF THE BERM.
- THE REQUIRED BUFFER MUST BE 100 PERCENT NATIVE.

Buffer Types (per 100 linear feet)						
Buffer Types	A	B	C	D	E	F
Minimum Width in Feet	5	15	20	20	30	50
Minimum # of trees	4	5	10	5'	10	15
Minimum # of shrubs	-	Hedge'	30	Hedge'	30	Hedge'
Wall Required?	-	-	8" in. solid	-	8" in. solid	-

NOTES:

- ALL LANDSCAPE BUFFER DESIGNS SHOULD COMPLEMENT ADJACENT PROJECT BUFFERS TO HELP AID IN ESTABLISHING A CONTINUOUS LANDSCAPE THEME WITHIN THE ESTERO PLANNING COMMUNITY. THE USE OF PLANT MATERIAL INDIGENOUS TO, AND CONSISTENT WITH, EXISTING VEGETATION WITHIN THE ESTERO PLANNING COMMUNITY IS RECOMMENDED.
- A SOLID WALL, BERM, OR WALL AND BERM COMBINATION, MUST BE NOT LESS THAN EIGHT FEET IN HEIGHT. ALL TREES AND SHRUBS REQUIRED IN THE BUFFER MUST BE PLACED ON THE RESIDENTIAL SIDE OF THE WALL. THE HEIGHT OF THE WALL MUST BE MEASURED FROM THE AVERAGE ELEVATION OF THE STREET OR STREETS ABUTTING THE PROPERTY, AS MEASURED ALONG THE CENTERLINE OF THE STREETS, AT THE POINTS OF INTERSECTION OF THE STREETS WITH THE SIDE LOT LINES (AS EXTENDED) AND THE MIDPOINT OF THE LOT FRONTAGE. WALLS MUST BE CONSTRUCTED TO ENSURE THAT HISTORIC FLOW PATTERNS ARE ACCOMMODATED AND ALL STORMWATER FROM THE SITE IS DIRECTED TO ON-SITE DETENTION/RETENTION AREAS IN ACCORDANCE WITH THE SFWMD REQUIREMENTS.
- HEDGES MUST BE PLANTED IN DOUBLE STAGGERED ROWS AND BE MAINTAINED SO AS TO FORM A 36-INCH HIGH (F TYPE BUFFERS MUST BE 48 INCHES AT INSTALLATION AND BE MAINTAINED AT 60 INCHES HIGH) CONTINUOUS VISUAL SCREEN WITHIN ONE YEAR AFTER TIME OF PLANTING. IN SITUATIONS WHERE THE ELEVATION OF THE ROW IS HIGHER THAN THE ELEVATION OF THE ADJACENT PROPERTY, THE EFFECTIVE PLANT SCREEN MUST HAVE AN ELEVATION OF 36-INCHES AS MEASURED FROM THE HIGHEST ELEVATION WITHIN THE BUFFER AREA RESULTING FROM THE COMBINATION OF THE BERM AND/OR PLANTS. CLUSTERING OF SHRUBS THAT WOULD NOT CREATE A CONTINUOUS VISUAL SCREEN, BUT ADD INTEREST TO THE LANDSCAPE DESIGN, IS ALLOWED ON A REVIEW BASIS BY DEVELOPMENT REVIEW STAFF.
- TREES WITHIN THE ROW BUFFER MUST BE APPROPRIATELY SIZED IN MATURE FORM SO THAT CONFLICTS WITH OVERHEAD UTILITIES, LIGHTING AND SIGNS ARE AVOIDED. THE CLUSTERING OF TREES AND USE OF PALMS WITHIN THE ROW BUFFER WILL ADD DESIGN FLEXIBILITY AND REDUCE CONFLICTS.

SEC. 33-352. - PLANT MATERIALS.

- PALMS USED IN BUFFERS MUST BE CLUSTERED IN LENGTHS OF NOT LESS THAN FOUR FEET AND MORE THAN EIGHT FEET APART, NOT MORE THAN 50 PERCENT OF THE REQUIRED TREES FOR A GIVEN BUFFER ALONG ITS LENGTH MAY BE IN PALMS. A SINGLE TREE MAY BE USED WHEN AN ODD NUMBER OF REQUIRED TREES ALONG A FRONTAGE SO WARRANT. PALMS MUST BE PLANTED IN STAGGERED HEIGHTS WITH A MINIMUM OF THREE PALMS PER CLUSTER. THE USE OF SINGLE PALMS IS PERMITTED IF THE PALMS ARE THE ROYAL PALM, DATE PALM OR BISMARCKIA PALM VARIETY, AND THE USE OF PALMS DOES NOT CONSTITUTE MORE THAN 50 PERCENT OF THE TOTAL REQUIRED TREE COUNT ALONG A GIVEN BUFFER.
- PALMS USED TO MEET THE REQUIRED TREE COUNT FOR BUFFERS MAY BE USED ON A 2:1 BASIS. CABBAGE PALMS MAY BE USED ON A 3:1 BASIS FOR CANOPY TREES WHEN PLANTED IN CLUSTERS. PALMS MAY BE USED TO MEET GENERAL TREE REQUIREMENTS IF THEY DO NOT CONSTITUTE MORE THAN 50 PERCENT OF THE REQUIRED TREE COUNT.
- SOLDIERING OF CABBAGE PALMS IN BUFFERS IS PROHIBITED.

SEC. 33-353. - LANDSCAPE DESIGN.

- DEVELOPMENTS MUST PROVIDE SEPARATION BETWEEN PEDESTRIAN AND VEHICULAR MOVEMENT BY USING PLANTINGS AS SPACE DEFINING ELEMENTS.
- DEVELOPMENTS MUST UTILIZE BOTH HARDSCAPE AND LANDSCAPE FEATURES AS SPACE DEFINING ELEMENTS (REFER TO FIGURE 8), INCLUDING, WHERE POSSIBLE:
  - DISTINCTIVE PAVING OR PAINTING TO DEFINE THE APPROPRIATE LOCATION FOR PEDESTRIAN AND VEHICULAR TRAFFIC;
  - PLANTINGS SUCH AS STREET TREES, HEDGES AND SCREENING;
  - REPLICATING LANDSCAPING PATTERNS AND MATERIALS TO VISUALLY UNIFY A DEVELOPMENT AND CREATING FOCAL POINTS THROUGH DESIGN DIFFERENTIATION WHERE POSSIBLE;
  - PLANT MATERIALS MUST BE SUITED TO THE CLIMATE AND, AT THEIR MATURE, NATURAL SIZE, BE SUITABLE FOR THEIR PLANTING LOCATION; AND
  - SELECTING TREES FOR PARKING LOTS AND SIDEWALK AREAS THAT DO NOT INTERFERE WITH THE VISIBILITY AND MOVEMENT OF VEHICLES OR PEDESTRIANS, OR CAUSE PAVEMENT OR OTHER HARD SURFACES TO HEAVE. MATERIAL SELECTION MUST BE DESIGNED TO SURVIVE THE EFFECTS OF BUILDING OR LARGE PAVED AREAS (IN TERMS OF HEAT, SHADE, WIND, ETC.)
- ALL REQUIRED TREES MUST BE A MINIMUM 45 GALLON CONTAINER, 12-FOOT TO 14-FOOT PLANTED HEIGHT, SIX-FOOT SPREAD AND (3.5)"-INCH CALIPER, OR FIELD GROWN EQUIVALENT, AT THE TIME OF PLANTING.
- NOT MORE THAN TEN PERCENT OF THE REQUIRED INTERNAL LANDSCAPE AREA, AS RELATED TO THE VEHICULAR USE AREA IDENTIFIED IN SECTION 10-416, MAY BE PLANTED IN SOD.

SEC. 33-354. - TREE PRESERVATION.

- IN AN EFFORT TO PRESERVE EXPANSIVE OPEN SPACES AND NATIVE VEGETATIVE COMMUNITIES:
- DEVELOPMENT MUST BE CLUSTERED TO RESERVE LARGE AREAS OF OPEN SPACE;
  - EXISTING NATIVE VEGETATION MUST BE PRESERVED WHENEVER POSSIBLE; AND
  - INFRASTRUCTURE DESIGN MUST INTEGRATE EXISTING TREES AND THE NATURAL CHARACTER OF THE LAND TO THE GREATEST EXTENT POSSIBLE.

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Stamps & Approvals

10/16	Rev. Per Estero Comments
12/16	Rev. Per Estero Comments

Rev	Date	Description
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**Lee Memorial Health System**



Freestanding Emergency Care  
Facility and Surgical Services

23450 VIA COCONUT POINT  
ESTERO, FL 33928

AHCA # 23/100012-170-1

Project Phase  
**DEVELOPMENT ORDER SUBMITTAL**

Date	08/05/16	Drawn By	
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Project Number	15821-00	Checked By	
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Sheet Title

**LANDSCAPE NOTES AND DETAILS**

Sheet Number	<b>L15</b>	Rev. No.	
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CITED CODE REQUIREMENTS AND SPECIFICATIONS PER VILLAGE OF ESTERO

**SEC. 10-415. OPEN SPACE.**  
**(a) OPEN SPACE CALCULATIONS.** REFER TO OPEN SPACE REQUIREMENT TABLE AS OUTLINED FOR MINIMUM PERCENTAGES OF OPEN SPACE FOR ALL DEVELOPMENT.  
**(b) INDIGENOUS NATIVE VEGETATION AND TREES.**  
**(1) PRESERVATION.**  
 a. LARGE DEVELOPMENTS, WITH EXISTING INDIGENOUS NATIVE VEGETATION COMMUNITIES MUST PROVIDE 50 PERCENT OF THEIR OPEN SPACE PERCENTAGE REQUIREMENT THROUGH THE ONSITE PRESERVATION OF EXISTING NATIVE VEGETATION COMMUNITIES. REFER TO SECTION 10-701.  
 b. IF THE DEVELOPMENT AREA DOES NOT CONTAIN EXISTING INDIGENOUS NATIVE VEGETATION COMMUNITIES, BUT DOES CONTAIN EXISTING INDIGENOUS NATIVE TREES, THEN 50 PERCENT OF THEIR OPEN SPACE PERCENTAGE REQUIREMENT THAT IS MET THROUGH THE ONSITE PRESERVATION OF EXISTING NATIVE TREES CONSISTENT WITH SUBSECTION 1 THROUGH 4 BELOW, REFER TO APPENDIX E AND SECTION 34-373(6)(G).  
 1. PRESERVATION OF INDIGENOUS TREE CLUSTERS IS PREFERRED OVER INDIVIDUAL TREE PROTECTION. REASONABLE EFFORTS TO RETAIN INDIVIDUAL TREES MUST BE MADE. IT IS RECOGNIZED THAT SITE DESIGN REQUIREMENTS (E.G. FILL) MAY LIMIT THE ABILITY TO RETAIN SOME INDIVIDUAL TREES, AND IN THAT CASE THE COUNTY WILL ALLOW THE REMOVAL OF THOSE TREES.  
 2. SABAL PALMS MAY BE RELOCATED IN A HORTICULTURALLY CORRECT MANNER AND CLUSTERED WITHIN OPEN SPACE AREAS.  
 3. NATIVE TREES (FOUR TO 15-INCH CALIPER DBH) MAY BE RELOCATED TO OPEN SPACE AREAS WHEN PROPER HORTICULTURAL METHODS (E.G. TRUNK PROTECTORS, USE OF ANTI-TRANSPIRANTS) ARE UTILIZED TO INSURE THE SURVIVABILITY OF THE TREES, AND A VEGETATION REMOVAL PERMIT IS OBTAINED.  
 4. EFFORT MUST BE MADE TO PRESERVE HERITAGE TREES WITH AT LEAST A 20-INCH CALIPER DBH, INCLUDING BUT NOT LIMITED TO LIVE OAK, SOUTH FLORIDA SLASH PINE, OR LONGLEAF PINE. IF A HERITAGE TREE MUST BE REMOVED FROM A SITE THEN A REPLACEMENT TREE WITH A MINIMUM 20-FOOT HEIGHT MUST BE PLANTED WITHIN AN APPROPRIATE OPEN SPACE AREA.  
 5. PROJECTS GREATER THAN FIVE ACRES IN SIZE THAT ABUT AN ARTERIAL OR COLLECTOR ROAD AND HAVE EXISTING NATIVE TREES WITHIN 50-FEET OF THE RIGHT-OF-WAY MUST BE DESIGNED TO PROVIDE A 50-FOOT RIGHT-OF-WAY BUFFER FOR TREE PRESERVATION. DRAINAGE OR UTILITY EASEMENTS LOCATED WITHIN OR ADJACENT TO THE 50-FOOT RIGHT-OF-WAY BUFFER AREA MUST BE ESTABLISHED IN THE LOCATION WITH THE LEAST AMOUNT OF TREES AS DETERMINED BY ONSITE INSPECTION BY VILLAGE OF ESTERO. THE PRESERVATION OF THE EXISTING TREES WILL NOT REQUIRE A DOUBLE HEDGE ROW TO BE INSTALLED AS PART OF THE RIGHT-OF-WAY BUFFER. THE PRESERVE AREA MAY NOT BE UTILIZED FOR DRAINAGE OR OTHER SIMILAR USES THAT MAY ADVERSELY AFFECT THE EXISTING NATIVE TREES. TO INCREASE LONG-TERM SURVIVAL OF THE EXISTING TREES TO BE RETAINED, APPROPRIATE ARBORICULTURAL TECHNIQUES TO REDUCE IMPACTS TO THE EXISTING TREES MUST BE USED. THOSE TECHNIQUES MUST INCLUDE WAYS TO REDUCE IMPACTS TO THE TREES' ROOT SYSTEMS AND CROWNS DURING CONSTRUCTION AND MUST BE CLEARLY PROVIDED ON THE LANDSCAPE PLANS OF THE DEVELOPMENT ORDER. THE NATIVE TREE PRESERVATION RIGHT-OF-WAY BUFFER MAY BE USED TOWARD MEETING THE INDIGENOUS PRESERVATION REQUIREMENT.  
 APPLICATIONS SUBMITTED PURSUANT TO THIS SECTION ENCOMPASSING DIFFICULT SITES, SUCH AS IRREGULARLY SHAPED PARCELS OR INDIGENOUS AREAS, MAY DEMONSTRATE THAT THE INTENT OF THIS SECTION CAN BE MORE EFFECTIVELY ACCOMPLISHED THROUGH AN ALTERNATIVE RIGHT-OF-WAY BUFFER DESIGN. APPROVAL OF AN ALTERNATIVE DESIGN IS AT THE DISCRETION OF THE DIRECTOR OR DESIGNER.  
 c. A MINIMUM SETBACK OF 20 FEET FROM BUILDINGS IS REQUIRED. FOR INDIGENOUS PLANT COMMUNITIES SUBJECT TO FIRE, SUCH AS PINE FLATWOODS, PALMETTO PRAIRIE AND XERIC SCRUB, A 30-FOOT SETBACK IS REQUIRED FOR FIRE PROTECTION.  
**(2) SALVAGING EXISTING NATIVE PLANTS.** OPEN SPACE AREAS MUST BE DESIGNED TO INCORPORATE AS MANY OF THE EXISTING LARGE NATIVE TREES AND SABAL PALMS AS POSSIBLE. IRRIGATION WATER MUST BE AVAILABLE ON THE DEVELOPMENT SITE AND PROVISIONS FOR ADEQUATE IRRIGATION PROVIDED.  
 a. SABAL PALMS. FOR PROJECTS GREATER THAN TEN ACRES, HEALTHY SABAL PALMS WITH A MINIMUM EIGHT-FOOT CLEAR TRUNK AND A MINIMUM OF 26-FOOT CLEAR TRUNK MUST BE SALVAGED IF CONDITIONS (E.G. NO ROCK) AND SEQUENCE OF CONSTRUCTION ALLOWS. IF SEQUENCE OF CONSTRUCTION DOES NOT ALLOW THE ONSITE RELOCATION OF SABAL PALMS, THEN THE SABAL PALMS MUST BE SALVAGED FOR AN OFF-SITE RECIPIENT SITE OR SALE. THE SALVAGE EFFORTS MUST BE COORDINATED WITH THE DIVISION OF ENVIRONMENTAL SCIENCES STAFF WHETHER USED ON-SITE OR OTHERWISE. THE NUMBER OF SABAL PALMS TO BE RELOCATED OR ENSURED TO BE PLANTED PER ACRE OF THE DEVELOPMENT ORDER. ANY SABAL PALMS BEING RELOCATED MUST BE MOVED IN A HORTICULTURALLY CORRECT MANNER PER LEE COUNTY EXTENSION SERVICES BROCHURE LEE 8/2000A. A 90 PERCENT SURVIVAL FOR RELOCATED SABAL PALMS IS REQUIRED. DEATH OF OVER TEN PERCENT OF THE RELOCATED SABAL PALMS WILL REQUIRE A 1:1 REPLANTING.  
 b. OTHER TREES. HEALTHY NATIVE TREES WITH A MINIMUM CALIPER OF FOUR INCHES AT FOUR AND ONE-HALF FEET ABOVE THE GROUND (DBH) MAY BE RELOCATED ONSITE FOR FIVE TREE CREDITS TOWARD CODE REQUIRED LANDSCAPING. THE TREES MUST BE PROPERLY PREPARED FOR RELOCATION THROUGH ROOT PRUNING OR OTHER HORTICULTURALLY CORRECT METHODS APPROVED BY THE ENVIRONMENTAL SCIENCES DIRECTOR.  
**(3) CREDITS.**  
 a. FOR ALL DEVELOPMENTS WITH REQUIRED OPEN SPACE, EXCEPT SINGLE-FAMILY SUBDIVISIONS WITH INDIVIDUAL LOT AREA OF 6,500 SQUARE FEET OR GREATER AND A MAXIMUM LOT COVERAGE OF 45 PERCENT, AN INCENTIVE TO PRESERVE INDIGENOUS NATIVE UPLAND PLANT COMMUNITIES OR INDIGENOUS NATIVE TREES IN LARGE TRACTS, A SCALED OPEN SPACE CREDIT FOR SINGLE CONTIGUOUS PRESERVE AREAS WILL BE GRANTED AS FOLLOWS:  

INDIGENOUS PLANT COMMUNITY & NATIVE TREE PRESERVATION AREA CREDITS		
CREDIT PROVIDED	MINIMUM SIZE	MINIMUM WIDTH
110%	1/2 ACRE	50 FEET
125%	1 ACRE	75 FEET
150%	3 ACRE	100 FEET

 b. AN ADDITIONAL, MAXIMUM TEN PERCENT CREDIT WILL BE GRANTED IF ANY OF THE FOLLOWING ARE INCLUDED:  
 1. RARE AND UNIQUE UPLANDS AS DEFINED BY THE LEE PLAN.  
 2. CONNECTION TO OFFSITE PUBLIC OR PRIVATE ENVIRONMENTAL CONSERVATION OR PRESERVE AREAS  
 3. UPLAND BUFFERS TO NATURAL WATERBODIES.  
 4. PRESERVATION ADJACENT TO A ROADWAY.  
 5. RESTORATION OF NATIVE SHRUBS, GRASSES, AND/OR GROUNDCOVER PLANTS WITH THE NATIVE TREE PRESERVATION AREA. A MINIMUM PLANTING SIZE OF ONE GALLON PLANT, INSTALLED ON THREE FOOT CENTERS (THREE-FOOT O.C.).  
**(4) MAINTENANCE.** A PLAN MUST BE SUBMITTED FOR THE LONG TERM MAINTENANCE OF VEGETATION IN INDIGENOUS OPEN SPACE AREAS. THIS INDIGENOUS VEGETATION MANAGEMENT PLAN MUST INCLUDE THE FOLLOWING CRITERIA:  
 a. METHOD AND FREQUENCY OF PRUNING AND TRIMMING.  
 b. METHODS TO REMOVE AND CONTROL ALL EXOTIC AND NUISANCE PLANTS IN PERPETUITY.  
 c. DEBRIS REMOVAL.  
 d. PROTECTED SPECIES MANAGEMENT PLAN CONDITIONS.  
 e. DRAFTS OF EDUCATIONAL MATERIALS (SIGNAGE AND BROCHURES) TO BE PROVIDED TO THE RESIDENTS ABOUT THE PURPOSE AND FUNCTION OF THESE AREAS.  
 f. MONITORING REPORTS, INCLUDING PHOTOS, THAT NARRATIVELY DOCUMENT PRESERVE AREA CONDITIONS MUST BE SUBMITTED TO CERTAIN DEVELOPMENT ORDER APPROVAL, AND, AGAIN AFTER PROJECT CONSTRUCTION IN ORDER TO OBTAIN A CERTIFICATE OF COMPLIANCE (CO). THE CO MONITORING REPORT MUST DESCRIBE AND DOCUMENT ECOLOGICAL RESTORATION ACTIVITY THAT HAS OCCURRED IN THE PRESERVE AREAS. IF REVIEW OF THE MONITORING REPORTS REVEALS DEATH OR SIGNIFICANT DECLINE TO PRESERVE VEGETATION, THEN REVISION OF THE MANAGEMENT PLAN AND RESTORATION IN ACCORD WITH SECTION 10-423 WILL BE REQUIRED.  
**(5) ADMINISTRATIVE DEVIATION.** CONSISTENT WITH THE PROVISIONS OF SECTION 10-104, THE DIRECTOR MAY PERMIT ADMINISTRATIVE DEVIATIONS TO REDUCE THE MINIMUM 50 PERCENT INDIGENOUS NATIVE VEGETATION REQUIREMENT WITHIN THIS SUBSECTION TO A LOWER PERCENTAGE, EXISTING, APPROVED INDIGENOUS PRESERVE AREAS WITHIN PLANNED DEVELOPMENTS ARE NOT ELIGIBLE FOR ADMINISTRATIVE DEVIATIONS, UNLESS THE PRESERVE AREAS ARE INTERIOR TO THE PROJECT (100 FEET OR MORE FROM THE PROPERTY LINE). THE ADMINISTRATIVE DEVIATION REQUEST MUST INCLUDE THE UNIQUE CONDITIONS OR CIRCUMSTANCES THAT MAKE THE PROPERTY UNSALVABLE AND UNREASONABLY BURDENSOME, AND DEMONSTRATE WHY GRANTING THE DEVIATION IS IN THE PUBLIC INTEREST. THE APPLICANT MUST PROVIDE DETAILS OF OTHER ACTIONS THAT WILL BE TAKEN TO OFFSET THE REDUCTION (MITIGATION). MITIGATION THAT WILL BE CONSIDERED INCLUDES, BUT IS NOT LIMITED TO:  
 a. ONSITE ECOLOGICAL CREATION/RESTORATION, WITH LONG-TERM MANAGEMENT. A MINIMUM TWO TO ONE RATIO OF CREATION/RESTORATION AREA TO INDIGENOUS AREA TO BE MITIGATED.  
 b. OFFSITE LAND ACQUISITION WITH PERPETUAL CONSERVATION PROTECTION. A MINIMUM THREE TO ONE RATIO OF ACQUIRED LAND TO INDIGENOUS AREA TO BE MITIGATED.  
 c. OFFSITE ECOLOGICAL RESTORATION ON PUBLIC LANDS OR PROTECTED PRIVATE LANDS. A MINIMUM THREE TO ONE RATIO OF ACQUIRED LAND TO INDIGENOUS AREA TO BE MITIGATED.  
 d. PURCHASE OF APPROPRIATE CREDITS FROM A PERMITTED MITIGATION BANK.  
 e. A MINIMUM THREE TO ONE RATIO OF ACQUIRED LAND TO INDIGENOUS AREA TO BE MITIGATED. INDIGENOUS PRESERVATION AREA CREDITS LISTED IN SECTION 10-415(B)(3)(A). DO NOT APPLY TO ONSITE ECOLOGICAL CREATION/RESTORATION AREAS OR OFFSITE AREAS.  
**(c) MINIMUM DIMENSIONS.**  
**(1) THE MINIMUM AVERAGE WIDTH OF OPEN SPACE AREAS MUST BE TEN FEET.**  
**(2) THE MINIMUM AREA OF OPEN SPACE MUST BE 180 SQUARE FEET.**  
**(3) FOR PROJECTS UNDER TEN ACRES IN SIZE, INDIGENOUS OPEN SPACE AREAS MUST HAVE A MINIMUM AVERAGE WIDTH OF 20 FEET AND MINIMUM AREA OF 400 SQUARE FEET.**  
**FOR PROJECTS OVER TEN ACRES IN SIZE, INDIGENOUS OPEN SPACE AREAS MUST HAVE A MINIMUM AVERAGE WIDTH OF 40 FEET AND MINIMUM AREA OF 1,500 SQUARE FEET.**

**SEC. 10-415. CONTINUED.**  
**(d) OPEN SPACE PRESERVATION AREAS MUST BE DESIGNED WITH ADEQUATE WIDTHS TO PRESERVE AND ALLOW THE CONTINUED GROWTH AND VIABILITY OF EXISTING NATIVE TREES.**  
**(5) NATIVE TREE PRESERVATION AREAS MUST EXTEND TO THE FULL DRIP LINE OF SLASH PINE, THREE QUARTER DRIP LINE FOR ALL CANOPY TYPE TREES, AND SIX FEET FROM THE TRUNK OF ANY NATIVE PALM, OR OTHER PROTECTIVE MEANS, SUCH AS TRUNK PROTECTORS, WHICH MUST BE PROVIDED, EXCEPT FOR WORK RELATED TO APPROVED ECOLOGICAL RESTORATION ACTIVITIES, NO FILLING, GRADING OR EXCAVATING IS ALLOWED IN OPEN SPACE PRESERVATION AREAS.**  
**(6) SURFACE WATER MANAGEMENT SYSTEMS MAY OVERLAP WITH NATIVE TREE PRESERVATION AREAS ONLY WHERE IT CAN BE CLEARLY DEMONSTRATED THAT THE EFFECTS OF WATER MANAGEMENT SYSTEM CONSTRUCTION OR OPERATION WILL NOT CAUSE DEATH OR HARM TO THE PRESERVE TREE AND INDIGENOUS PLANT COMMUNITY OF PROTECTED SPECIES.**  
**(d) USE OF OPEN SPACE.**  
**(1) OPEN SPACE AREAS MUST BE LANDSCAPED IN ACCORDANCE WITH THIS DIVISION.**  
**(2) THE FOLLOWING USES MAY CONTRIBUTE TO THE OPEN SPACE REQUIREMENTS PROVIDED THE MINIMUM DIMENSIONS ARE MET:**  
 a. BUFFERS AND LANDSCAPED AREAS IN OFF-STREET PARKING AREAS, EXCEPT FOR AREAS RESERVED FOR FUTURE PARKING SPACES PURSUANT TO SECTION 34-2017(D);  
 b. DRY DETENTION AREAS.  
 c. EXISTING OR PROPOSED BODIES OF WATER, INCLUDING STORMWATER MANAGEMENT AREAS AND AREAS SUBJECT TO SALT WATER INUNDATION WHICH MAY BE USED TO OFFSET UP TO A MAXIMUM OF 25 PERCENT OF THE REQUIRED OPEN SPACE AREA.  
 d. ACTIVE AND PASSIVE RECREATION AREAS SUCH AS PLAYGROUNDS, GOLF COURSES, BEACH FRONTAGE, NATURE TRAILS, BIKEWAYS, PEDESTRIAN WAYS, TENNIS COURTS, SWIMMING POOLS AND OTHER SIMILAR OPEN SPACES, AS LONG AS NOT MORE THAN 20 PERCENT OF THE RECREATIONAL AREA CREDITED AS OPEN SPACE CONSISTS OF IMPERVIOUS SURFACE.  
 e. OUTDOOR ACTIVE AND PASSIVE PUBLIC USE AREAS SUCH AS PLAZAS, ATRIUMS, COURTYARDS AND OTHER SIMILAR PUBLIC SPACES, WHICH MAY BE USED TO OFFSET UP TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED OPEN SPACE.  
 f. ARCHAEOLOGICAL SITES OR ZONES THAT ARE DESIGNATED AS SIGNIFICANT HISTORIC RESOURCES PURSUANT TO CHAPTER 22.  
 g. REMOVAL OF NATIVE VEGETATION FROM INDIGENOUS OPEN SPACE AREAS BY MECHANICAL OR CHEMICAL MEANS IS PROHIBITED UNLESS SPECIFIED BY THE INDIGENOUS VEGETATION MANAGEMENT PLAN.  
**SEC. 10-416 - LANDSCAPE STANDARDS.**  
**(a) GENERAL.** LANDSCAPING FOR ALL NEW DEVELOPMENTS, EXCEPT COMMUNITY AND REGIONAL PARKS AS DEFINED IN THE LEE PLAN, MUST INCLUDE, AT A MINIMUM, THE FOLLOWING NUMBER OF TREES, IN ADDITION TO THE LANDSCAPING REQUIRED FOR PARKING AND VEHICLE USE AREAS AND BUFFERS. GENERAL TREE REQUIREMENTS MAY BE REDUCED THROUGH THE UTILIZATION OF LARGER TREES AS SPECIFIED IN SECTION 10-420(C)(2) OR THROUGH USE OF AN ALTERNATIVE LANDSCAPE BETTERMENT PLAN (SEE SECTION 10-419).  
**(b) SINGLE-FAMILY DEVELOPMENTS.** IN A CONVENTIONAL ZONING DISTRICT, LOT AND LOT COVERAGE WITH A MINIMUM LOT SIZES OF 6,500 SQUARE FEET OR GREATER, SINGLE-FAMILY DEVELOPMENTS WITH A CONVENTIONAL ZONING DISTRICT LOT AND LOT COVERAGE WITH MINIMUM LOT SIZES OF 6,500 SQUARE FEET OR GREATER WILL BE REQUIRED TO PROVIDE A MINIMUM OF TWO TREES PER LOT.  
**(3) ALL OTHER RESIDENTIAL DEVELOPMENTS.** ALL OTHER RESIDENTIAL DEVELOPMENTS MUST PROVIDE ONE TREE PER 3,000 SQUARE FEET OF DEVELOPMENT AREA.  
**(4) RECREATIONAL VEHICLE DEVELOPMENTS.** ONE TREE MUST BE PROVIDED PER 3,000 SQUARE FEET OF DEVELOPMENT AREA.  
**(5) ALL OTHER DEVELOPMENTS.** ONE TREE MUST BE PROVIDED PER EACH 3,500 SQUARE FEET OF DEVELOPMENT AREA.  
**(6) COMPACT COMMUNITIES.** DEVELOPMENT CONSTRUCTED IN ACCORDANCE WITH CHAPTER 32 MUST PROVIDE STREET TREES ON BOTH SIDES OF ALL STREETS. STREET TREES LOCATED BETWEEN A LOT AND A STREET MAY BE COUNTED TOWARDS THE TREE PLANTING REQUIREMENTS OF THIS SECTION.  
**(b) BUILDING PERIMETER PLANTINGS.** ALL NEW DEVELOPMENT IN COMMERCIAL ZONING DISTRICTS AND COMMERCIAL COMPONENTS OF PLANNED DEVELOPMENT DISTRICTS AND DRIS MUST PROVIDE BUILDING PERIMETER PLANTINGS EQUAL TO TEN PERCENT OF THE PROPOSED BUILDING GROSS GROUND LEVEL FLOOR AREA. THESE PLANTING AREAS MUST BE LOCATED ABUTTING THREE SIDES OF THE BUILDING WITH EMPHASIS ON THE SIDES MOST VISIBLE TO THE PUBLIC, INCLUDING THE LOADING AREA. THE PERIMETER PLANTING AREAS MUST CONSIST OF LANDSCAPE AREAS, RAISED PLANTERS OR PLANTER BOXES THAT ARE A MINIMUM OF FIVE FEET WIDE. THESE LANDSCAPE AREAS MUST INCLUDE SHRUBS AND GROUND COVER PLANTS WITH A MINIMUM OF 50 PERCENT COVERAGE OF THE LANDSCAPE AREA AT THE TIME OF PLANTING. TREES AND SHRUBS MUST MEET THE SIZE REQUIREMENTS OF SECTION 10-420(D). GROUNDCOVER PLANTS MUST BE A MINIMUM ONE-GALLON CONTAINER SIZE. GENERAL TREES MAY BE PLANTED WITHIN THE BUILDING PERIMETER PLANTING AREAS, ESPECIALLY EFFECTIVE AREA CLUSTERS (THREE OR MORE) OF SABAL PALMS. TURFGRASS IS DISCOURAGED AND IS LIMITED TO TEN PERCENT OF THE LANDSCAPE AREA. WATER MANAGEMENT AREAS MAY NOT BE A PART OF THIS FIVE-FOOT PLANTING AREA. PEDESTRIAN ACCESS WAYS MAY CROSS AND LOADING AREAS MAY BE PLACED IN THE PERIMETER PLANTING AREA, BUT MAY NOT BE USED TO MEET MINIMUM PLANTING AREA OR OPEN SPACE REQUIREMENTS.  
**AN ENLARGED PERIMETER LANDSCAPE AREA IS REQUIRED IN THE FRONT OF SHOPPING CENTERS AND FREESTANDING RETAIL USES THAT CONSTITUTE A LARGE DEVELOPMENT. AN AREA THAT IS AT LEAST FIVE PERCENT OF THE SIZE OF THE VEHICULAR USE AREA MUST BE DEVELOPED AS GREEN SPACE WITHIN THE FRONT OF SHOPPING CENTERS AND RETAIL ESTABLISHMENTS AND BE AN ENLARGEMENT TO THE FRONT BUILDING PERIMETER PLANTING AREA. HOWEVER, IT IS NOT A REQUIREMENT THAT THIS AREA DIRECTLY ABUT THE FRONT OF THE BUILDING. THE ENLARGED PERIMETER PLANTING AREAS MUST CONSIST OF LANDSCAPE AREAS, RAISED PLANTERS OR PLANTER BOXES THAT ARE A MINIMUM OF FIVE FEET WIDE. THESE ENLARGED PERIMETER PLANTING AREAS MUST INCLUDE TREES, SHRUBS AND GROUND COVER PLANTS WITH A MINIMUM OF FOUR TREES PER 100 LINEAR FOOT OF BUILDING AND 50 PERCENT COVERAGE OF THE LANDSCAPE AREA AT THE TIME OF PLANTING. THE TREES PLACED AROUND THE BUILDING WILL BE APPLIED TO THE GENERAL TREE REQUIREMENT. TREES MAY BE INSTALLED IN CLUSTERS AND DO NOT NEED TO BE LOCATED WITHIN A 100 LINEAR FOOT SEGMENT. CLUSTERS OF TREES AT THE CORNERS OF BUILDINGS OR FRAMING ENTRANCES ARE ESPECIALLY EFFECTIVE. TREES AND SHRUBS MUST MEET THE SIZE REQUIREMENTS OF SECTION 10-420(D). GROUNDCOVER PLANTS MUST BE A MINIMUM 1-GALLON CONTAINER SIZE. TALLER PALMS (16- TO 20-FOOT CLEAR TRUNK) MUST BE USED WHEN BUILDING HEIGHT IS GREATER THAN 35 FEET. TURFGRASS IS DISCOURAGED AND IS LIMITED TO TEN PERCENT OF THE LANDSCAPE AREA. WATER MANAGEMENT AREAS MAY NOT BE A PART OF THIS ENLARGED PLANTING AREA.  
**THIS FIVE PERCENT GREEN SPACE AREA MAY BE USED TO MEET OPEN SPACE REQUIREMENTS IF THEY ARE IN COMPLIANCE WITH SECTION 10-415(C), BUT MAY NOT BE USED TO REDUCE THE PERIMETER PLANTING AREAS ON THE SIDES AND REAR OF THE BUILDING. THESE AREAS MUST BE DESIGNED FOR SCENIC, NON-COMMERCIAL RECREATION PURPOSES AND BE PEDESTRIAN-FRIENDLY AND AESTHETICALLY APPEALING. THEY MAY INCLUDE THE FOLLOWING: LIMITED TURFGRASS, MULCH, DECORATIVE PLANTINGS, LANDSCAPE, WALKWAYS WITHIN THE INTERIOR OF THE GREEN SPACE AREA NOT USED FOR SHOPPING, FOUNTAINS, MANMADE WATERCOURSES (BUT NOT WATER RETENTION AREAS), PARK BENCHES, SITE LIGHTING, SCULPTURES, GAZEBOES, AND ANY OTHER SIMILAR ITEMS.  
**BUILDING PERIMETER PLANTING STANDARDS ARE NOT APPLICABLE FOR BUILDINGS IN COMPACT COMMUNITIES THAT ARE CONSTRUCTED ON ANY LOT TYPES SHOWN IN CHAPTER 32, ARTICLE II.**  
**(c) LANDSCAPING OF PARKING AND VEHICLE USE AREAS.** THE PROVISIONS OF THIS SECTION APPLY TO ALL NEW OFF-STREET PARKING OR OTHER VEHICULAR USE AREAS, EXCEPT LANDSCAPING THAT DOES NOT COMPLY WITH THE PROVISIONS OF THIS CODE MUST BE BROUGHT INTO CONFORMITY, TO THE MAXIMUM EXTENT POSSIBLE, WHEN: THE VEHICULAR USE AREA IS ALTERED OR EXPANDED EXCEPT FOR RESTRIPING OF LOTS/DRIVES, THE BUILDING SQUARE FOOTAGE IS CHANGED, OR THE STRUCTURE HAS BEEN VACANT FOR A PERIOD OF ONE YEAR OR MORE AND A REQUEST FOR AN OCCUPATIONAL LICENSE TO RESUME BUSINESS IS MADE. CONSISTENT WITH THE PROVISIONS OF SECTION 10-104, THE DIRECTOR MAY PERMIT ADMINISTRATIVE DEVIATIONS WHERE A CONFLICT EXISTS BETWEEN THE APPLICATION OF THIS DIVISION AND THE REQUIREMENTS FOR THE NUMBER OF OFF-STREET PARKING SPACES OR AREA OF OFF-STREET LOADING FACILITIES.  
**(1) VEHICULAR OVERHANG OF LANDSCAPE AREAS.** THE FRONT OF A VEHICLE MAY OVERHANG ANY LANDSCAPED AREA A MAXIMUM OF TWO FEET. PROVIDED THE LANDSCAPED AREA IS PROTECTED BY MOTOR VEHICLE WHEEL STOPS OR CURBING. TWO FEET OF SUCH LANDSCAPED AREA OR WALKWAY MAY BE PART OF THE REQUIRED DEPTH OF EACH ABUTTING PARKING SPACE. WALKWAYS MUST BE DESIGNED WITH A MINIMUM OF FIVE FEET WIDTH THAT IS CLEAR OF ANY VEHICLE OVERHANG.  
**(2) INTERNAL LANDSCAPING.** ALL PARKING AREAS MUST BE INTERNALLY LANDSCAPED TO PROVIDE VISUAL RELIEF AND COOLING EFFECTS AND TO CHANNELIZE AND DEFINE LOGICAL AREAS FOR PEDESTRIAN AND VEHICULAR CIRCULATION, AS FOLLOWS:  
 a. TREES MUST BE PLANTED OR RETAINED IN LANDSCAPED AREAS IN PARKING AREAS, INCLUDING LANDSCAPED AREAS RESERVED FOR FUTURE PARKING SPACES, TO PROVIDE FOR CANOPY COVERAGE WHEN THE TREES ARE MATURE. AT LEAST ONE CANOPY TREE OR A CLUSTER OF THREE SABAL PALMS MUST BE PLANTED OR RETAINED FOR EVERY 250 SQUARE FEET OF REQUIRED INTERNAL PLANTING AREA, AND NO PARKING SPACE MAY BE MORE THAN 200 FEET FROM A TREE PLANTED IN A PERMEABLE ISLAND, PENINSULA OR MEDIAN OF 18-FOOT MINIMUM WIDTH. CANOPY REQUIREMENTS MUST BE MET WITH EXISTING INDIGENOUS NATIVE TREES WHENEVER SUCH TREES ARE LOCATED WITHIN THE PARKING AREA.  
 b. LANDSCAPED AREAS ON THE PARKING AREA PERIMETER OR INTERNAL ISLANDS MUST EQUAL OR EXCEED A MINIMUM OF TEN PERCENT OF THE TOTAL PAVED SURFACE AREA. LANDSCAPED AREAS RESERVED FOR FUTURE PARKING SPACES PURSUANT TO SECTION 34-2017(D) MAY NOT BE INCLUDED IN THIS CALCULATION.  
**(3) BUFFER TYPES.** THE FOLLOWING TABLE PROVIDES SIX DIFFERENT BUFFER TYPES. EACH TYPE BUFFER, IDENTIFIED BY A LETTER, PROVIDES THE MINIMUM NUMBER OF TREES AND SHRUBS PER 100 LINEAR FOOT SEGMENT AND INDICATES WHETHER OR NOT A WALL OR HEDGE IS REQUIRED.  

BUFFER TYPES (PER 100 LINEAL FEET)						
BUFFER TYPES	A	B	C	D(3)	E	F
MINIMUM WIDTH IN FEET	5	15	15	15	25	30
MINIMUM # OF TREES	4	5	5	5	5	10
MINIMUM # OF SHRUBS	-	HEDGE (2)	18 HEDGE (4)	18 HEDGE (4)	18 HEDGE (4)	20 HEDGE (2)
WALL REQUIRED (1)	NO	NO	YES	NO	YES	NO

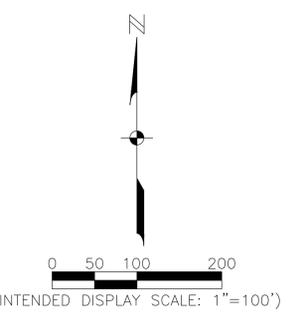
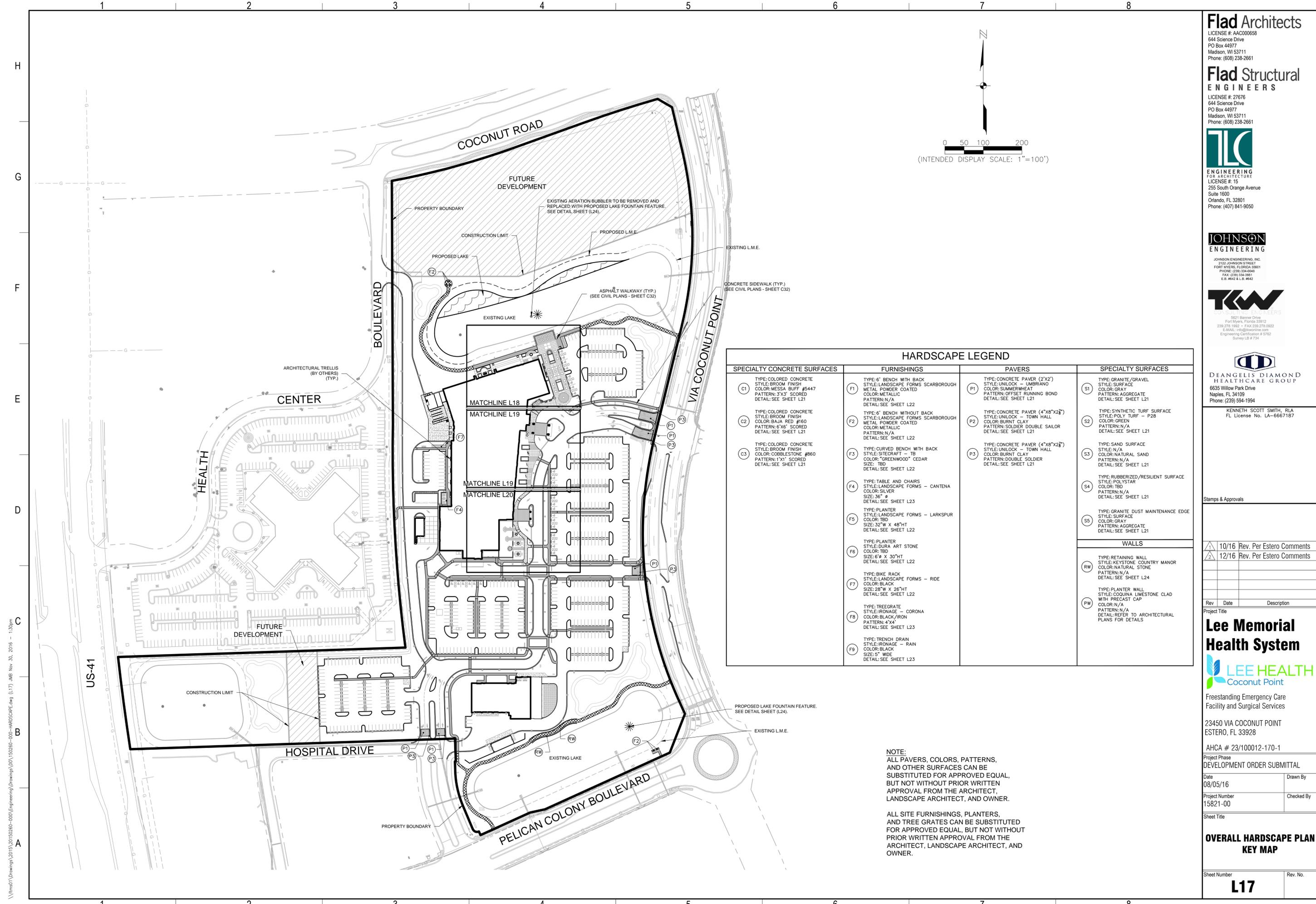
**NOTES FOR BUFFER TYPES TABLE:**  
 1. A SOLID WALL, BERM OR WALL AND BERM COMBINATION, NOT LESS THAN EIGHT FEET IN HEIGHT AS MEASURED FROM THE FINISHED GRADE OF THE PROJECT SITE. ALL TREES AND SHRUBS REQUIRED IN THE BUFFER MUST BE PLACED ON THE RESIDENTIAL SIDE OF THE WALL. WALLS MUST BE CONSTRUCTED TO ENSURE THAT HIGHWAYS OR OTHER THROUGH TRAFFIC MUST BE DIRECTED TO THE SIDE OF THE ROADWAY. ALL TRAFFIC IS DIRECTED TO ON-SITE DETENTION/RETENTION AREAS IN ACCORDANCE WITH THE SFWM REQUIREMENTS.  
 2. HEDGES MUST BE PLANTED IN DOUBLE STAGGERED ROWS AND BE MAINTAINED SO AS TO FORM A 36-INCH HIGH IF TYPE BUFFERS MUST BE 48 INCHES AT INSTALLATION AND BE MAINTAINED AT 60 INCHES HIGH CONTINUOUS VISUAL SCREEN WITHIN ONE YEAR AFTER TIME OF PLANTING.  
 3. TREES WITHIN THE ROW BUFFER MUST BE APPROPRIATELY SIZED IN MATURE FORM SO THAT CONFLICTS WITH OVERHEAD UTILITIES, LIGHTING AND SIGNS ARE AVOIDED. PALMS ARE LIMITED TO A MAXIMUM OF 50 PERCENT OF THE ROW TREE REQUIREMENT. PALMS MUST BE CLUSTERED AND CANNOT BE PLANTED IN A "SOLDIERING" EFFECT. TREES INCLUDING THE LOADING AREA. THE PERIMETER PLANTING AREAS MUST CONSIST OF LANDSCAPE AREAS, RAISED PLANTERS OR PLANTER BOXES THAT ARE A MINIMUM OF FIVE FEET WIDE. THESE LANDSCAPE AREAS MUST INCLUDE SHRUBS AND GROUND COVER PLANTS WITH A MINIMUM OF 50 PERCENT COVERAGE OF THE LANDSCAPE AREA AT THE TIME OF PLANTING. TREES AND SHRUBS MUST MEET THE SIZE REQUIREMENTS OF SECTION 10-420(D). GROUNDCOVER PLANTS MUST BE A MINIMUM ONE-GALLON CONTAINER SIZE. GENERAL TREES MAY BE PLANTED WITHIN THE BUILDING PERIMETER PLANTING AREAS, ESPECIALLY EFFECTIVE AREA CLUSTERS (THREE OR MORE) OF SABAL PALMS. TURFGRASS IS DISCOURAGED AND IS LIMITED TO TEN PERCENT OF THE LANDSCAPE AREA. WATER MANAGEMENT AREAS MAY NOT BE A PART OF THIS FIVE-FOOT PLANTING AREA. PEDESTRIAN ACCESS WAYS MAY CROSS AND LOADING AREAS MAY BE PLACED IN THE PERIMETER PLANTING AREA, BUT MAY NOT BE USED TO MEET MINIMUM PLANTING AREA OR OPEN SPACE REQUIREMENTS.  
 4. SHRUBS REQUIRED BY THIS SECTION ARE INTENDED TO PROVIDE VISUAL SCREENING AND MAY NOT BE PRUNED TO REDUCE HEIGHT.  
 5. PUBLIC AND QUASI-PUBLIC FACILITIES, INCLUDING, BUT NOT LIMITED TO, PLACES OF WORSHIP, PARKS, UTILITY FACILITIES, GOVERNMENT OFFICES, NEIGHBORHOOD RECREATIONAL FACILITIES AND PRIVATE SCHOOLS MUST PROVIDE A TYPE C BUFFER IF, IN THE OPINION OF THE DIRECTOR, THE PROPOSED DEVELOPMENT WILL HAVE A SIGNIFICANTLY ADVERSE IMPACT ON ADJACENT RESIDENTIAL USES.  
 6. IF ROADS, DRIVES, OR PARKING AREAS ARE LOCATED LESS THAN 125 FEET FROM AN EXISTING SINGLE-FAMILY RESIDENTIAL SUBDIVISION OR SINGLE-FAMILY RESIDENTIAL LOTS, A SOLID WALL OR COMBINATION BERM AND SOLID WALL NOT LESS THAN EIGHT FEET IN HEIGHT MUST BE CONSTRUCTED NOT LESS THAN 25 FEET FROM THE ABUTTING PROPERTY AND LANDSCAPED (BETWEEN THE WALL AND THE ABUTTING PROPERTY) WITH A MINIMUM OF 16 SHRUBS PER 100 LINEAR FOOT OR A 30-FOOT WIDE TYPE F BUFFER WITH THE HEDGE PLANTED A MINIMUM OF 20 FEET FROM THE ABUTTING PROPERTY, WHERE RESIDENCES WILL BE CONSTRUCTED BETWEEN THE ROAD, DRIVE OR PARKING AREA AND THE EXISTING RESIDENTIAL SUBDIVISION OR LOTS, THE WALL OR WALL AND BERM COMBINATION ARE NOT REQUIRED.  
 7. USES OR ACTIVITIES THAT GENERATE NOISE, DUST, ODOR, HEAT, GLARE OR OTHER SIMILAR IMPACTS, MUST PROVIDE A TYPE C OR F BUFFER IF, IN THE OPINION OF THE DIRECTOR, THE PROPOSED DEVELOPMENT WILL HAVE A SIGNIFICANTLY ADVERSE IMPACT ON ADJACENT PROPERTY.  
 8. WALLS, BERMS AND BUFFER PLANTINGS MUST NOT BE PLACED SO THEY VIOLATE THE VEHICLE VISIBILITY REQUIREMENTS OF SECTION 34-3131.  
 9. DEVELOPMENT ABUTTING NATURAL WATERWAY. EXCEPT WHERE CHAPTER 33 PROVIDES A STRICTER STANDARD FOR GREATER PINE ISLAND (AS DEFINED IN GOAL 14 OF THE LEE PLAN AND IN SECTION 33-1002), THERE MUST BE A 50-FOOT WIDE VEGETATIVE BUFFER LANDWARD OF NONSEAWALLED NATURAL WATERWAYS AS MEASURED FROM THE MEAN HIGH WATER LINE OR TOP OF BANK, WHICHEVER IS FURTHER LANDWARD.  
 a. IN RESIDENTIAL SUBDIVISIONS, THE BUFFER MUST BE LOCATED WITHIN A COMMON AREA OR TRACT, AND OUTSIDES OF ALL PRIVATE PROPERTY BOUNDARIES. LOCATION OF THE BUFFERS IN ACCORD WITH THIS SECTION WILL NOT PREVENT THE ISSUANCE OF RESIDENTIAL DOCK PERMITS MEETING THE REQUIREMENTS OF SECTION 26-71(G) OR PROHIBIT USE OF THE BUFFER AREA FOR PASSIVE RECREATIONAL USES.  
 b. EXISTING NATIVE VEGETATION WITHIN THE BUFFER AREA MUST BE RETAINED. THE NATURAL WATERWAY BUFFER MUST INCLUDE, AT MINIMUM, SIX NATIVE CANOPY TREES AND 50 NATIVE SHRUBS PER 100 LINEAR FEET, WHICH MAY BE MET THROUGH CREDITS FROM THE EXISTING NATIVE VEGETATION WITHIN THE WATERWAY BUFFER AREA AT A 1:1 CREDIT RATIO. IF EXISTING NATIVE VEGETATION IS NOT PRESENT TO MEET THE BUFFER VEGETATION STANDARDS, A PLANTING PLAN MUST BE SUBMITTED TO ENVIRONMENTAL SCIENCES FOR REVIEW PRIOR TO LOCAL DEVELOPMENT ORDER APPROVAL. ALL PROPOSED PLANTINGS WITHIN THE NATURAL WATERWAY BUFFER AREA MUST BE INSTALLED TO MIMIC A NATURAL SYSTEM, AND ALL PLANTINGS MUST COMPLY WITH THE PLANT STANDARDS SET FORTH IN SECTION 10-420. THE USE OF HEAVY MECHANICAL EQUIPMENT SUCH AS BULLDOZERS, FRONT END LOADERS, HYDRAULIC EXCAVATORS, OR SIMILAR EQUIPMENT IS PROHIBITED, UNLESS PRIOR WRITTEN APPROVAL IS OBTAINED FROM THE COUNTY.  
 c. THE NATURAL WATERWAY BUFFER MUST BE DESIGNED TO INCORPORATE THE NATURAL RESOURCES MAINTENANCE EASEMENT REQUIRED UNDER SECTION 10-328(A). VEGETATION REMOVAL WITHIN THE BUFFER IS LIMITED TO  
 1. ROUTINE REMOVAL OF EXOTICS AND DOWNED VEGETATIVE DEBRIS;  
 2. LIMITED REMOVAL TO ALLOW ACCESS OF VEHICLES FOR MAINTENANCE OF THE WATERWAY;  
 3. REMOVAL PERMITTED AS A CONDITION OF DOCK PERMIT APPROVAL; AND  
 4. PRIOR TO REMOVAL OF NATIVE VEGETATION, APPROVAL MUST BE OBTAINED FROM ES STAFF.  
 (10) ALL FREESTANDING PARKING AREAS, WHETHER COMMERCIAL, PUBLIC OR PRIVATE, NOT ASSOCIATED WITH OTHER DEVELOPMENT MUST PROVIDE A D TYPE BUFFER FOR THE RIGHT-OF-WAY AND C TYPE BUFFER IF THEY ABUT SINGLE-FAMILY RESIDENTIAL OR MULTIPLE-FAMILY RESIDENTIAL USES OR ZONING.  
 (11) USE OF BUFFER AREAS. REQUIRED BUFFERS MAY BE USED FOR PASSIVE RECREATION SUCH AS PEDESTRIAN, BIKE, OR EQUESTRIAN TRAILS, PROVIDED THAT:  
 a. NO REQUIRED TREES OR SHRUBS ARE ELIMINATED;  
 b. NOT MORE THAN 20 PERCENT OF THE WIDTH OF THE BUFFER IS IMPERVIOUS SURFACE;  
 c. THE TOTAL WIDTH OF THE BUFFER AREA IS MAINTAINED; AND  
 d. ALL OTHER REQUIREMENTS OF THIS CHAPTER ARE MET.  
**SEC. 10-420 - PLANT MATERIAL STANDARDS.**  
**(a) QUALITY.** PLANT MATERIALS USED TO MEET THE REQUIREMENTS OF THIS DIVISION MUST MEET THE STANDARDS FOR FLORIDA NO. 1 OR BETTER, AS SET OUT IN GRABES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II, DEPARTMENT OF AGRICULTURE, STATE OF FLORIDA (AS AMENDED), ROOT BALL SIZES ON ALL TRANSPLANTED PLANT MATERIALS MUST ALSO MEET STATE STANDARDS.****

**SEC. 10-416. CONTINUED.**  
**(c) THE MINIMUM DIMENSION OF ANY REQUIRED INTERNAL LANDSCAPED AREA MUST BE TEN FEET FOR PROJECTS LESS THAN TEN ACRES AND 18 FEET FOR PROJECTS TEN ACRES OR LARGER.**  
**(d) NO MORE THAN AN AVERAGE OF TEN PARKING SPACES MUST OCCUR IN AN UNINTERRUPTED ROW WITH A MAXIMUM OF 13 PARKING SPACES BETWEEN LANDSCAPE AREAS WHEN TEN-FOOT WIDE LANDSCAPE ISLANDS ARE USED UNLESS OPTIONAL DIVIDER MEDIANS, AS SPECIFIED IN SECTION 10-415(C)(2)F, ARE USED.**  
**NO MORE THAN 20 PARKING SPACES MUST OCCUR IN AN UNINTERRUPTED ROW WHEN A 10 FOOT WIDE LANDSCAPE ISLANDS ARE USED UNLESS OPTIONAL DIVIDER MEDIANS, AS SPECIFIED IN SUBSECTION (C)(2)F, OF THIS SECTION, ARE USED.**  
**(e) FOR LARGE DEVELOPMENTS ONLY, EACH ROW OF PARKING SPACES MUST BE TERMINATED BY LANDSCAPED ISLANDS THAT MEASURE NOT LESS THAN FIVE FEET IN WIDTH AND NOT LESS THAN 18 FEET IN LENGTH. CURBING IS STRONGLY ENCOURAGED. IF TERMINAL ISLANDS ARE USED FOR REQUIRED CANOPY TREES, THEY MUST BE A MINIMUM OF TEN FEET IN WIDTH.**  
**(1) OPTIONAL DIVIDER MEDIANS MAY BE USED TO MEET INTERNAL LANDSCAPE REQUIREMENTS, IF DIVIDER MEDIANS ARE USED, THEY MUST FORM A LANDSCAPED STRIP BETWEEN ABUTTING ROWS OF PARKING SPACES. THE MINIMUM WIDTH OF A DIVIDER MEDIAN MUST BE 18 FEET. ONE TREE MUST BE PLANTED FOR EACH 40 LINEAR FEET OF DIVIDER OR FRACTION THEREOF. TREES IN A DIVIDER MEDIAN MAY BE PLANTED SINGLY OR IN CLUSTERS. THE MAXIMUM SPACING OF TREES MUST BE 60 FEET.**  
**(g) ALL INTERIOR LANDSCAPED AREAS NOT DEDICATED TO TREES OR TO PRESERVATION OF EXISTING VEGETATION MUST BE LANDSCAPED WITH GRASS, GROUND COVER, SHRUBS OR OTHER APPROVED LANDSCAPING MATERIALS, AND THIS MUST BE SO NOTED ON THE LANDSCAPE PLANS. SAND, GRAVEL, ROCK, SHELL OR PAVEMENT ARE NOT APPROPRIATE LANDSCAPE MATERIALS.**  
**(d) BUFFERING ADJACENT PROPERTY.** BUFFERING AND SCREENING APPLIES TO ALL NEW DEVELOPMENT. EXISTING LANDSCAPES THAT DO NOT COMPLY WITH THE PROVISIONS OF THIS SECTION MUST BE BROUGHT INTO CONFORMITY TO THE MAXIMUM EXTENT POSSIBLE WHEN: THE VEHICULAR USE AREA IS ALTERED OR EXPANDED, EXCEPT FOR RESTRIPING OF LOTS/DRIVES, THE BUILDING SQUARE FOOTAGE IS INCREASED, OR THERE HAS BEEN A DISCONTINUANCE OF USE FOR A PERIOD OF ONE YEAR OR MORE AND A REQUEST FOR AN OCCUPATIONAL LICENSE TO RESUME BUSINESS IS MADE.  
**(1) GENERAL.** A BUFFERING AREA IS REQUIRED ALONG THE ENTIRE PERIMETER OF THE PROPOSED DEVELOPMENT WHENEVER THE PROPOSED DEVELOPMENT ABUTS A DIFFERENT USE. THE EXISTING USE OR, WHERE VACANT, THE PERMITTED USE, OF THE ABUTTING PROPERTY WILL DETERMINE THE TYPE OF BUFFERING AREA REQUIRED FOR THE PROPOSED DEVELOPMENT. BUFFER AREAS MAY NOT BE LOCATED ON ANY PORTION OF AN EXISTING OR DEDICATED STREET RIGHT-OF-WAY OR ROADWAY EASEMENT EXCEPT THE LONG-TERM BUFFER BE LOCATED WITHIN SLOPE EASEMENTS AS LONG AS APPROPRIATE PLANTING SOIL IS PROVIDED IN THE SLOPE.  
**(2) USE CATEGORIES.** REFER TO BUFFER TYPE USE REQUIREMENT TABLES IN INTERPRETING AND APPLYING THE PROVISIONS OF THIS SECTION.  
**(3) BUFFER REQUIREMENTS.** REFER TO NOTES FOR BUFFER REQUIREMENTS TABLE:  
**(4) BUFFER TYPES.** THE FOLLOWING TABLE PROVIDES SIX DIFFERENT BUFFER TYPES. EACH TYPE BUFFER, IDENTIFIED BY A LETTER, PROVIDES THE MINIMUM NUMBER OF TREES AND SHRUBS PER 100 LINEAR FOOT SEGMENT AND INDICATES WHETHER OR NOT A WALL OR HEDGE IS REQUIRED.  

BUFFER TYPES (PER 100 LINEAL FEET)						
BUFFER TYPES	A	B	C	D(3)	E	F
MINIMUM WIDTH IN FEET	5	15	15	15	25	30
MINIMUM # OF TREES	4	5	5	5	5	10
MINIMUM # OF SHRUBS	-	HEDGE (2)	18 HEDGE (4)	18 HEDGE (4)	18 HEDGE (4)	20 HEDGE (2)
WALL REQUIRED (1)	NO	NO	YES	NO	YES	NO

**NOTES FOR BUFFER TYPES TABLE:**  
 1. A SOLID WALL, BERM OR WALL AND BERM COMBINATION, NOT LESS THAN EIGHT FEET IN HEIGHT AS MEASURED FROM THE FINISHED GRADE OF THE PROJECT SITE. ALL TREES AND SHRUBS REQUIRED IN THE BUFFER MUST BE PLACED ON THE RESIDENTIAL SIDE OF THE WALL. WALLS MUST BE CONSTRUCTED TO ENSURE THAT HIGHWAYS OR OTHER THROUGH TRAFFIC MUST BE DIRECTED TO THE SIDE OF THE ROADWAY. ALL TRAFFIC IS DIRECTED TO ON-SITE DETENTION/RETENTION AREAS IN ACCORDANCE WITH THE SFWM REQUIREMENTS.  
 2. HEDGES MUST BE PLANTED IN DOUBLE STAGGERED ROWS AND BE MAINTAINED SO AS TO FORM A 36-INCH HIGH IF TYPE BUFFERS MUST BE 48 INCHES AT INSTALLATION AND BE MAINTAINED AT 60 INCHES HIGH CONTINUOUS VISUAL SCREEN WITHIN ONE YEAR AFTER TIME OF PLANTING.  
 3. TREES WITHIN THE ROW BUFFER MUST BE APPROPRIATELY SIZED IN MATURE FORM SO THAT CONFLICTS WITH OVERHEAD UTILITIES, LIGHTING AND SIGNS ARE AVOIDED. PALMS ARE LIMITED TO A MAXIMUM OF 50 PERCENT OF THE ROW TREE REQUIREMENT. PALMS MUST BE CLUSTERED AND CANNOT BE PLANTED IN A "SOLDIERING" EFFECT. TREES INCLUDING THE LOADING AREA. THE PERIMETER PLANTING AREAS MUST CONSIST OF LANDSCAPE AREAS, RAISED PLANTERS OR PLANTER BOXES THAT ARE A MINIMUM OF FIVE FEET WIDE. THESE LANDSCAPE AREAS MUST INCLUDE SHRUBS AND GROUND COVER PLANTS WITH A MINIMUM OF 50 PERCENT COVERAGE OF THE LANDSCAPE AREA AT THE TIME OF PLANTING. TREES AND SHRUBS MUST MEET THE SIZE REQUIREMENTS OF SECTION 10-420(D). GROUNDCOVER PLANTS MUST BE A MINIMUM ONE-GALLON CONTAINER SIZE. GENERAL TREES MAY BE PLANTED WITHIN THE BUILDING PERIMETER PLANTING AREAS, ESPECIALLY EFFECTIVE AREA CLUSTERS (THREE OR MORE) OF SABAL PALMS. TURFGRASS IS DISCOURAGED AND IS LIMITED TO TEN PERCENT OF THE LANDSCAPE AREA. WATER MANAGEMENT AREAS MAY NOT BE A PART OF THIS FIVE-FOOT PLANTING AREA. PEDESTRIAN ACCESS WAYS MAY CROSS AND LOADING AREAS MAY BE PLACED IN THE PERIMETER PLANTING AREA, BUT MAY NOT BE USED TO MEET MINIMUM PLANTING AREA OR OPEN SPACE REQUIREMENTS.  
 4. SHRUBS REQUIRED BY THIS SECTION ARE INTENDED TO PROVIDE VISUAL SCREENING AND MAY NOT BE PRUNED TO REDUCE HEIGHT.  
 5. PUBLIC AND QUASI-PUBLIC FACILITIES, INCLUDING, BUT NOT LIMITED TO, PLACES OF WORSHIP, PARKS, UTILITY FACILITIES, GOVERNMENT OFFICES, NEIGHBORHOOD RECREATIONAL FACILITIES AND PRIVATE SCHOOLS MUST PROVIDE A TYPE C BUFFER IF, IN THE OPINION OF THE DIRECTOR, THE PROPOSED DEVELOPMENT WILL HAVE A SIGNIFICANTLY ADVERSE IMPACT ON ADJACENT RESIDENTIAL USES.  
 6. IF ROADS, DRIVES, OR PARKING AREAS ARE LOCATED LESS THAN 125 FEET FROM AN EXISTING SINGLE-FAMILY RESIDENTIAL SUBDIVISION OR SINGLE-FAMILY RESIDENTIAL LOTS, A SOLID WALL OR COMBINATION BERM AND SOLID WALL NOT LESS THAN EIGHT FEET IN HEIGHT MUST BE CONSTRUCTED NOT LESS THAN 25 FEET FROM THE ABUTTING PROPERTY AND LANDSCAPED (BETWEEN THE WALL AND THE ABUTTING PROPERTY) WITH A MINIMUM OF 16 SHRUBS PER 100 LINEAR FOOT OR A 30-FOOT WIDE TYPE F BUFFER WITH THE HEDGE PLANTED A MINIMUM OF 20 FEET FROM THE ABUTTING PROPERTY, WHERE RESIDENCES WILL BE CONSTRUCTED BETWEEN THE ROAD, DRIVE OR PARKING AREA AND THE EXISTING RESIDENTIAL SUBDIVISION OR LOTS, THE WALL OR WALL AND BERM COMBINATION ARE NOT REQUIRED.  
 7. USES OR ACTIVITIES THAT GENERATE NOISE, DUST, ODOR, HEAT, GLARE OR OTHER SIMILAR IMPACTS, MUST PROVIDE A TYPE C OR F BUFFER IF, IN THE OPINION OF THE DIRECTOR, THE PROPOSED DEVELOPMENT WILL HAVE A SIGNIFICANTLY ADVERSE IMPACT ON ADJACENT PROPERTY.  
 8. WALLS, BERMS AND BUFFER PLANTINGS MUST NOT BE PLACED SO THEY VIOLATE THE VEHICLE VISIBILITY REQUIREMENTS OF SECTION 34-3131.  
 9. DEVELOPMENT ABUTTING NATURAL WATERWAY. EXCEPT WHERE CHAPTER 33 PROVIDES A STRICTER STANDARD FOR GREATER PINE ISLAND (AS DEFINED IN GOAL 14 OF THE LEE PLAN AND IN SECTION 33-1002), THERE MUST BE A 50-FOOT WIDE VEGETATIVE BUFFER LANDWARD OF NONSEAWALLED NATURAL WATERWAYS AS MEASURED FROM THE MEAN HIGH WATER LINE OR TOP OF BANK, WHICHEVER IS FURTHER LANDWARD.  
 a. IN RESIDENTIAL SUBDIVISIONS, THE BUFFER MUST BE LOCATED WITHIN A COMMON AREA OR TRACT, AND OUTSIDES OF ALL PRIVATE PROPERTY BOUNDARIES. LOCATION OF THE BUFFERS IN ACCORD WITH THIS SECTION WILL NOT PREVENT THE ISSUANCE OF RESIDENTIAL DOCK PERMITS MEETING THE REQUIREMENTS OF SECTION 26-71(G) OR PROHIBIT USE OF THE BUFFER AREA FOR PASSIVE RECREATIONAL USES.  
 b. EXISTING NATIVE VEGETATION WITHIN THE BUFFER AREA MUST BE RETAINED. THE NATURAL WATERWAY BUFFER MUST INCLUDE, AT MINIMUM, SIX NATIVE CANOPY TREES AND 50 NATIVE SHRUBS PER 100 LINEAR FEET, WHICH MAY BE MET THROUGH CREDITS FROM THE EXISTING NATIVE VEGETATION WITHIN THE WATERWAY BUFFER AREA AT A 1:1 CREDIT RATIO. IF EXISTING NATIVE VEGETATION IS NOT PRESENT TO MEET THE BUFFER VEGETATION STANDARDS, A PLANTING PLAN MUST BE SUBMITTED TO ENVIRONMENTAL SCIENCES FOR REVIEW PRIOR TO LOCAL DEVELOPMENT ORDER APPROVAL. ALL PROPOSED PLANTINGS WITHIN THE NATURAL WATERWAY BUFFER AREA MUST BE INSTALLED TO MIMIC A NATURAL SYSTEM, AND ALL PLANTINGS MUST COMPLY WITH THE PLANT STANDARDS SET FORTH IN SECTION 10-420. THE USE OF HEAVY MECHANICAL EQUIPMENT SUCH AS BULLDOZERS, FRONT END LOADERS, HYDRAULIC EXCAVATORS, OR SIMILAR EQUIPMENT IS PROHIBITED, UNLESS PRIOR WRITTEN APPROVAL IS OBTAINED FROM THE COUNTY.  
 c. THE NATURAL WATERWAY BUFFER MUST BE DESIGNED TO INCORPORATE THE NATURAL RESOURCES MAINTENANCE EASEMENT REQUIRED UNDER SECTION 10-328(A). VEGETATION REMOVAL WITHIN THE BUFFER IS LIMITED TO  
 1. ROUTINE REMOVAL OF EXOTICS AND DOWNED VEGETATIVE DEBRIS;  
 2. LIMITED REMOVAL TO ALLOW ACCESS OF VEHICLES FOR MAINTENANCE OF THE WATERWAY;  
 3. REMOVAL PERMITTED AS A CONDITION OF DOCK PERMIT APPROVAL; AND  
 4. PRIOR TO REMOVAL OF NATIVE VEGETATION, APPROVAL MUST BE OBTAINED FROM ES STAFF.  
 (10) ALL FREESTANDING PARKING AREAS, WHETHER COMMERCIAL, PUBLIC OR PRIVATE, NOT ASSOCIATED WITH OTHER DEVELOPMENT MUST PROVIDE A D TYPE BUFFER FOR THE RIGHT-OF-WAY AND C TYPE BUFFER IF THEY ABUT SINGLE-FAMILY RESIDENTIAL OR MULTIPLE-FAMILY RESIDENTIAL USES OR ZONING.  
 (11) USE OF BUFFER AREAS. REQUIRED BUFFERS MAY BE USED FOR PASSIVE RECREATION SUCH AS PEDESTRIAN, BIKE, OR EQUESTRIAN TRAILS, PROVIDED THAT:  
 a. NO REQUIRED TREES OR SHRUBS ARE ELIMINATED;  
 b. NOT MORE THAN 20 PERCENT OF THE WIDTH OF THE BUFFER IS IMPERVIOUS SURFACE;  
 c. THE TOTAL WIDTH OF THE BUFFER AREA IS MAINTAINED; AND  
 d. ALL OTHER REQUIREMENTS OF THIS CHAPTER ARE MET.  
**SEC. 10-420 - PLANT MATERIAL STANDARDS.**  
**(a) QUALITY.** PLANT MATERIALS USED TO MEET THE REQUIREMENTS OF THIS DIVISION MUST MEET THE STANDARDS FOR FLORIDA NO. 1 OR BETTER, AS SET OUT IN GRABES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II, DEPARTMENT OF AGRICULTURE, STATE OF FLORIDA (AS AMENDED), ROOT BALL SIZES ON ALL TRANSPLANTED PLANT MATERIALS MUST ALSO MEET STATE STANDARDS.

**SEC. 10-420. CONTINUED.**  
**(d) NATIVE VARIETIES.** AT LEAST 75 PERCENT OF THE TREES AND 50 PERCENT OF THE SHRUBS USED TO FULFILL THESE REQUIREMENTS MUST BE NATIVE FLORIDA SPECIES.  
**(c) TREES AND PALMS.</**



### HARDSCAPE LEGEND

SPECIALTY CONCRETE SURFACES	FURNISHINGS	PAVERS	SPECIALTY SURFACES
(C1) TYPE: COLORED CONCRETE STYLE: BROOM FINISH COLOR: MESSA BUFF #5447 PATTERN: 3'X3' SCORED DETAIL: SEE SHEET L21	(F1) TYPE: 6' BENCH WITH BACK STYLE: LANDSCAPE FORMS SCARBOROUGH COLOR: METALLIC PATTERN: N/A DETAIL: SEE SHEET L22	(P1) TYPE: CONCRETE PAVER (2'X2') STYLE: UNILOCK - UMBRIANO COLOR: SUMMERHEAT PATTERN: OFFSET RUNNING BOND DETAIL: SEE SHEET L21	(S1) TYPE: GRANITE/GRAVEL STYLE: SURFACE COLOR: GRAY PATTERN: AGGREGATE DETAIL: SEE SHEET L21
(C2) TYPE: COLORED CONCRETE STYLE: BROOM FINISH COLOR: BAJA RED #160 PATTERN: 6'X6' SCORED DETAIL: SEE SHEET L21	(F2) TYPE: 6' BENCH WITHOUT BACK STYLE: LANDSCAPE FORMS SCARBOROUGH COLOR: METALLIC PATTERN: N/A DETAIL: SEE SHEET L22	(P2) TYPE: CONCRETE PAVER (4'X8'X2") STYLE: UNILOCK - TOWN HALL COLOR: BURNED CLAY PATTERN: SOLDIER DOUBLE SAILOR DETAIL: SEE SHEET L21	(S2) TYPE: SYNTHETIC TURF SURFACE STYLE: POLY TURF - P28 COLOR: GREEN PATTERN: N/A DETAIL: SEE SHEET L21
(C3) TYPE: COLORED CONCRETE STYLE: BROOM FINISH COLOR: COBBLESTONE #660 PATTERN: 1'X1' SCORED DETAIL: SEE SHEET L21	(F3) TYPE: CURVED BENCH WITH BACK STYLE: SITEGRAFT - TB COLOR: "GREENWOOD" CEDAR SIZE: TBD DETAIL: SEE SHEET L22	(P3) TYPE: CONCRETE PAVER (4'X8'X2") STYLE: UNILOCK - TOWN HALL COLOR: BURNED CLAY PATTERN: DOUBLE SOLDIER DETAIL: SEE SHEET L21	(S3) TYPE: SAND SURFACE STYLE: N/A COLOR: NATURAL SAND PATTERN: N/A DETAIL: SEE SHEET L21
	(F4) TYPE: TABLE AND CHAIRS STYLE: LANDSCAPE FORMS - CANTENA COLOR: SILVER SIZE: 36" # DETAIL: SEE SHEET L23		(S4) TYPE: RUBBERIZED/RESILIENT SURFACE STYLE: POLYSTAR COLOR: TBD PATTERN: N/A DETAIL: SEE SHEET L21
	(F5) TYPE: PLANTER STYLE: LANDSCAPE FORMS - LARKSPUR COLOR: TBD SIZE: 32"W X 48"HT DETAIL: SEE SHEET L22		(S5) TYPE: GRANITE DUST MAINTENANCE EDGE STYLE: SURFACE COLOR: GRAY PATTERN: AGGREGATE DETAIL: SEE SHEET L21
	(F6) TYPE: PLANTER STYLE: DURA ART STONE COLOR: TBD SIZE: 6'W X 30"HT DETAIL: SEE SHEET L22		<b>WALLS</b> (RW) TYPE: RETAINING WALL STYLE: KEYSTONE COUNTRY MANOR COLOR: NATURAL STONE PATTERN: N/A DETAIL: SEE SHEET L24
	(F7) TYPE: BIKE RACK STYLE: LANDSCAPE FORMS - RIDE COLOR: BLACK SIZE: 28"W X 26"HT DETAIL: SEE SHEET L22		(PW) TYPE: PLANTER WALL STYLE: COQUINA LIMESTONE CLAD WITH PRECAST CAP COLOR: N/A PATTERN: N/A DETAIL: REFER TO ARCHITECTURAL PLANS FOR DETAILS
	(F8) TYPE: TREEGRATE STYLE: IRONAGE - CORONA COLOR: BLACK/IRON PATTERN: 4'X4' DETAIL: SEE SHEET L23		
	(F9) TYPE: TRENCH DRAIN STYLE: IRONAGE - RAIN COLOR: BLACK SIZE: 5" WIDE DETAIL: SEE SHEET L23		

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 BUT NOT WITHOUT PRIOR WRITTEN  
 APPROVAL FROM THE ARCHITECT,  
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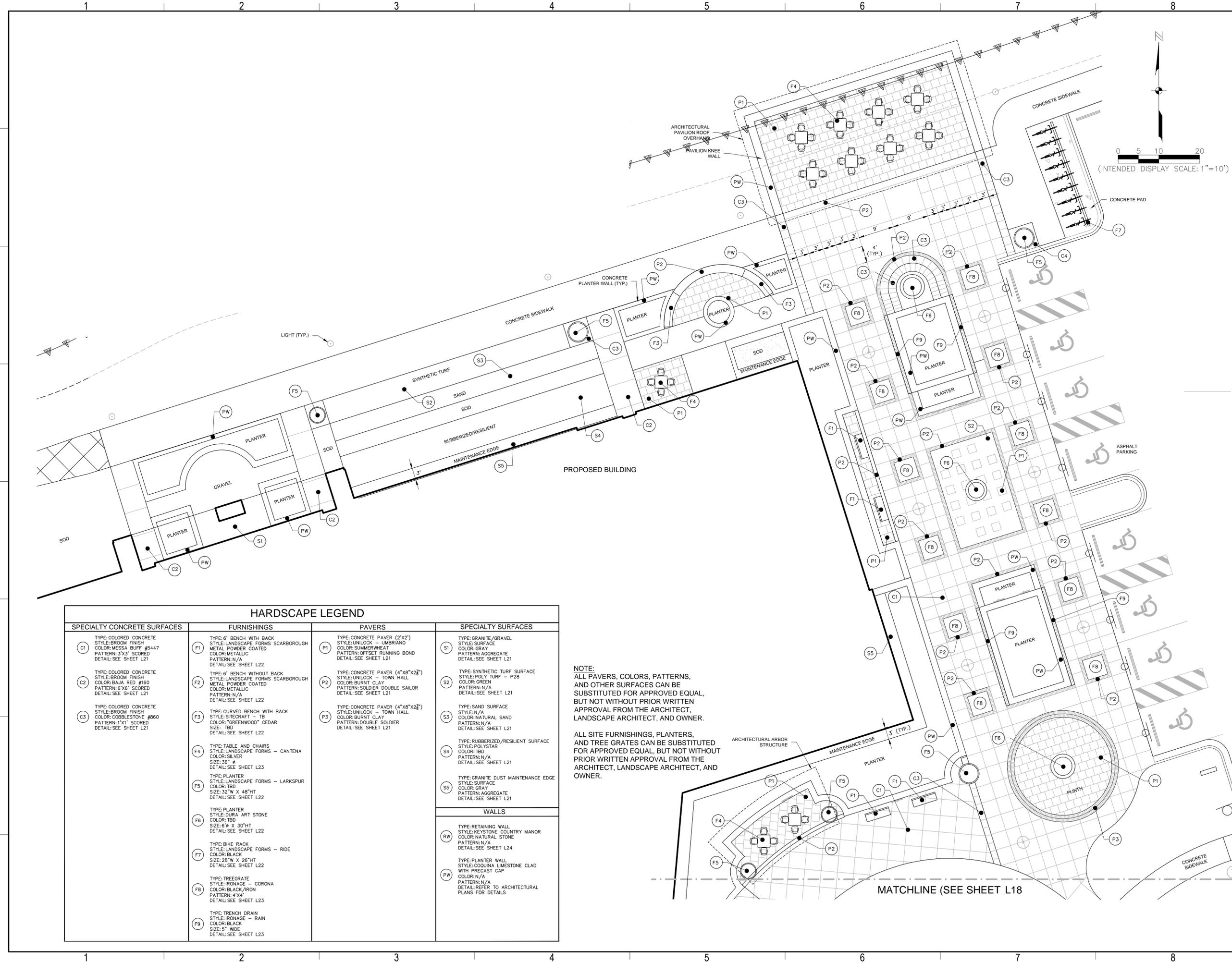
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 FL License No. LA-6667187

Stamps & Approvals

10/16	Rev.	Per Estero Comments
12/16	Rev.	Per Estero Comments

Rev	Date	Description
Project Title		
<b>Lee Memorial Health System</b>		
Freestanding Emergency Care Facility and Surgical Services		
23450 VIA COCONUT POINT ESTERO, FL 33928		
AHCA # 23/100012-170-1		
Project Phase		
DEVELOPMENT ORDER SUBMITTAL		
Date	08/05/16	Drawn By
Project Number	15821-00	Checked By
Sheet Title		
<b>OVERALL HARDSCAPE PLAN KEY MAP</b>		
Sheet Number	Rev. No.	
<b>L17</b>		

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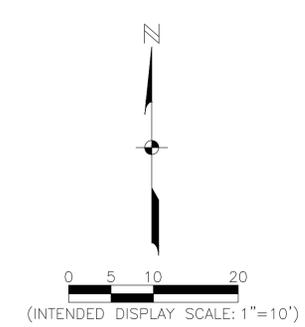
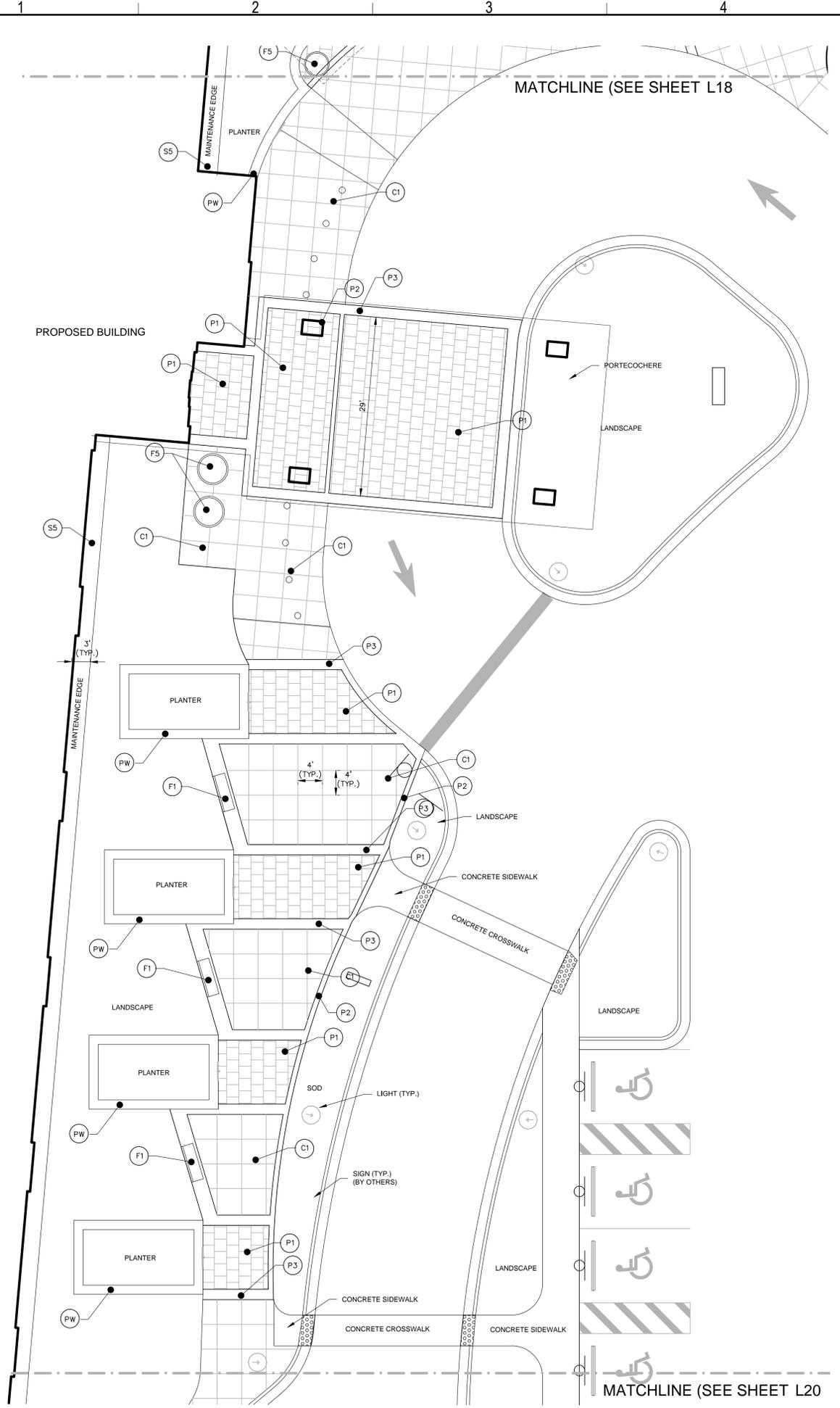
**HARDSCAPE LEGEND**

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<p>(RW) TYPE: RETAINING WALL                      STYLE: KEYSTONE COUNTRY MANOR                      COLOR: NATURAL STONE                      PATTERN: N/A                      DETAIL: SEE SHEET L24</p> <p>(PW) TYPE: PLANTER WALL                      STYLE: COQUINA LIMESTONE CLAD WITH PRECAST CAP                      COLOR: N/A                      PATTERN: N/A                      DETAIL: REFER TO ARCHITECTURAL PLANS FOR DETAILS</p>			

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HARDSCAPE LEGEND			
SPECIALTY CONCRETE SURFACES	FURNISHINGS	PAVERS	SPECIALTY SURFACES
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1	10/16	Rev. Per Estero Comments
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Rev. Date Description

Project Title

**Lee Memorial Health System**

**LEE HEALTH**  
Coconut Point

Freestanding Emergency Care Facility and Surgical Services

23450 VIA COCONUT POINT  
ESTERO, FL 33928

AHCA # 23/100012-170-1

Project Phase  
DEVELOPMENT ORDER SUBMITTAL

Date 08/05/16 Drawn By

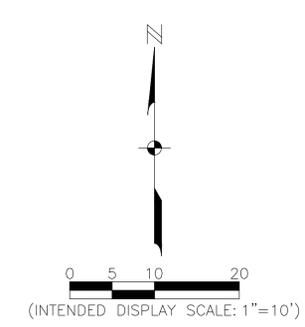
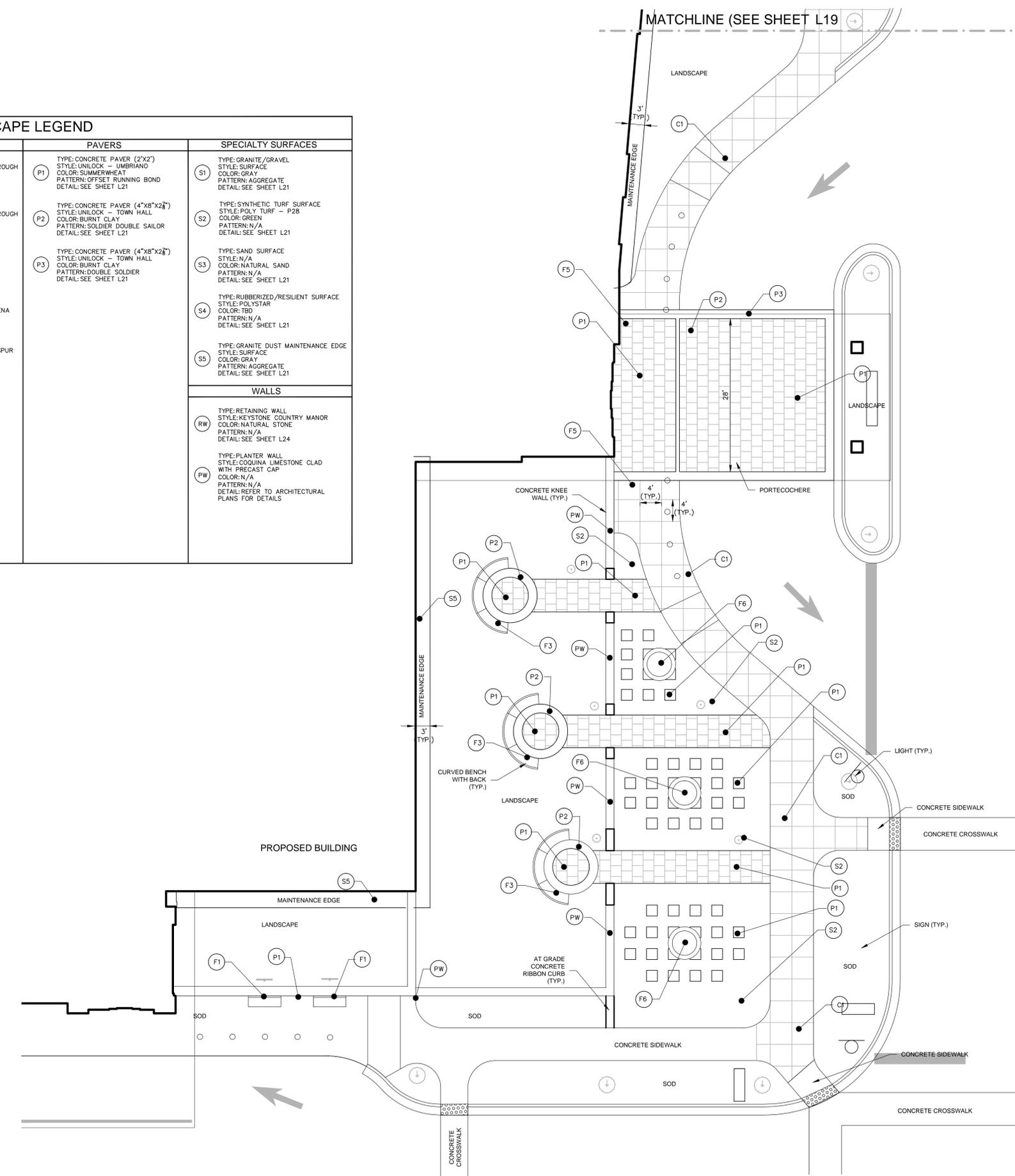
Project Number 15821-00 Checked By

Sheet Title

**HARDSCAPE PLAN**

Sheet Number **L19** Rev. No.

HARDSCAPE LEGEND			
SPECIALTY CONCRETE SURFACES	FURNISHINGS	PAVERS	SPECIALTY SURFACES
<p>(C1) TYPE: COLORED CONCRETE STYLE: BROOM FINISH COLOR: MESSA BUFF #5447 PATTERN: 3'X3' SCORED DETAIL: SEE SHEET L21</p> <p>(C2) TYPE: COLORED CONCRETE STYLE: BROOM FINISH COLOR: BAJA RED #160 PATTERN: 6'X6' SCORED DETAIL: SEE SHEET L21</p> <p>(C3) TYPE: COLORED CONCRETE STYLE: BROOM FINISH COLOR: COBBLESTONE #860 PATTERN: 1'X1' SCORED DETAIL: SEE SHEET L21</p>	<p>(F1) TYPE: 6' BENCH WITH BACK STYLE: LANDSCAPE FORMS SCARBOROUGH METAL POWDER COATED COLOR: METALLIC PATTERN: N/A DETAIL: SEE SHEET L22</p> <p>(F2) TYPE: 6' BENCH WITHOUT BACK STYLE: LANDSCAPE FORMS SCARBOROUGH METAL POWDER COATED COLOR: METALLIC PATTERN: N/A DETAIL: SEE SHEET L22</p> <p>(F3) TYPE: CURVED BENCH WITH BACK STYLE: SITECRAFT - TB COLOR: "GREENWOOD" CEDAR SIZE: TBD DETAIL: SEE SHEET L22</p> <p>(F4) TYPE: TABLE AND CHAIRS STYLE: LANDSCAPE FORMS - CANTENA COLOR: SILVER SIZE: 36" Ø DETAIL: SEE SHEET L23</p> <p>(F5) TYPE: PLANTER STYLE: LANDSCAPE FORMS - LARKSPUR COLOR: TBD SIZE: 32" W X 48" H T DETAIL: SEE SHEET L22</p> <p>(F6) TYPE: PLANTER STYLE: DURA ART STONE COLOR: TBD SIZE: 6' Ø X 30" H T DETAIL: SEE SHEET L22</p> <p>(F7) TYPE: BIKE RACK STYLE: LANDSCAPE FORMS - RIDE COLOR: BLACK SIZE: 28" W X 26" H T DETAIL: SEE SHEET L22</p> <p>(F8) TYPE: TREEGRATE STYLE: IRONAGE - CORONA COLOR: BLACK/IRON PATTERN: 4'X4' DETAIL: SEE SHEET L23</p> <p>(F9) TYPE: TRENCH DRAIN STYLE: IRONAGE - RAIN COLOR: BLACK SIZE: 5" WIDE DETAIL: SEE SHEET L23</p>	<p>(P1) TYPE: CONCRETE PAVER (2'X2') STYLE: UNILOCK - UMBRIANO COLOR: SUMMERHEAT PATTERN: OFFSET RUNNING BOND DETAIL: SEE SHEET L21</p> <p>(P2) TYPE: CONCRETE PAVER (4'X8'X2") STYLE: UNILOCK - TOWN HALL COLOR: BURNT CLAY PATTERN: SOLDIER DOUBLE SAILOR DETAIL: SEE SHEET L21</p> <p>(P3) TYPE: CONCRETE PAVER (4'X8'X2") STYLE: UNILOCK - TOWN HALL COLOR: BURNT CLAY PATTERN: DOUBLE SOLDIER DETAIL: SEE SHEET L21</p>	<p>(S1) TYPE: GRANITE/GRAVEL STYLE: SURFACE COLOR: GRAY PATTERN: AGGREGATE DETAIL: SEE SHEET L21</p> <p>(S2) TYPE: SYNTHETIC TURF SURFACE STYLE: POLY TURF - P28 COLOR: GREEN PATTERN: N/A DETAIL: SEE SHEET L21</p> <p>(S3) TYPE: SAND SURFACE STYLE: N/A COLOR: NATURAL SAND PATTERN: N/A DETAIL: SEE SHEET L21</p> <p>(S4) TYPE: RUBBERIZED/RESILIENT SURFACE STYLE: POLYSTAR COLOR: TBD PATTERN: N/A DETAIL: SEE SHEET L21</p> <p>(S5) TYPE: GRANITE DUST MAINTENANCE EDGE STYLE: SURFACE COLOR: GRAY PATTERN: AGGREGATE DETAIL: SEE SHEET L21</p>
<b>WALLS</b>			
<p>(RW) TYPE: RETAINING WALL STYLE: KEYSTONE COUNTRY MANOR COLOR: NATURAL STONE PATTERN: N/A DETAIL: SEE SHEET L24</p> <p>(PW) TYPE: PLANTER WALL STYLE: COQUINA LIMESTONE CLAD WITH PRECAST CAP COLOR: N/A PATTERN: N/A DETAIL: REFER TO ARCHITECTURAL PLANS FOR DETAILS</p>			



**NOTE:**  
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FL License No. LA-6667187

Stamps & Approvals

10/16	Rev.	Per Estero	Comments
12/16	Rev.	Per Estero	Comments

Rev	Date	Description

Project Title  
**Lee Memorial Health System**  
**Coconut Point**  
Freestanding Emergency Care Facility and Surgical Services  
23450 VIA COCONUT POINT  
ESTERO, FL 33928  
AHCA # 23/100012-170-1

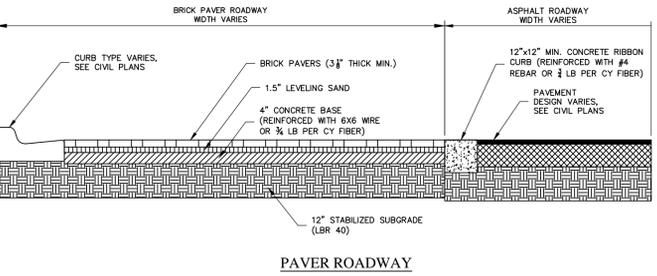
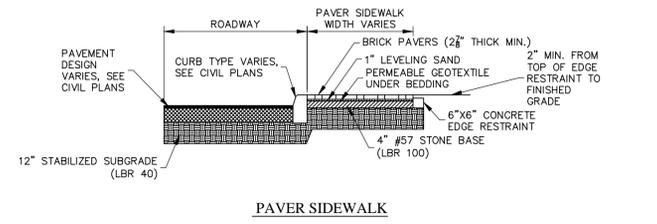
Project Phase  
DEVELOPMENT ORDER SUBMITTAL

Date 08/05/16	Drawn By
Project Number 15821-00	Checked By

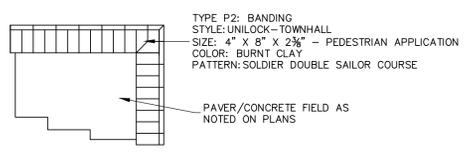
Sheet Title  
**HARDSCAPE PLAN**

Sheet Number <b>L20</b>	Rev. No.
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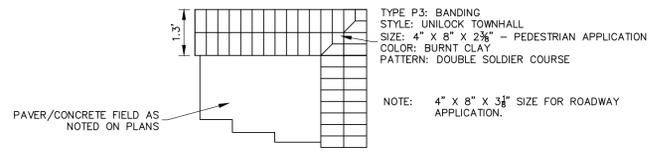
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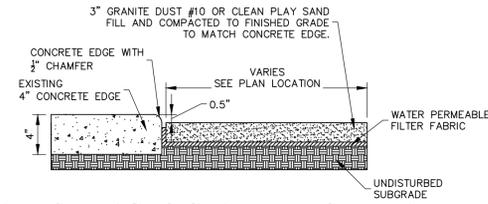
**P1** CONCRETE PAVER DETAIL  
N.T.S.



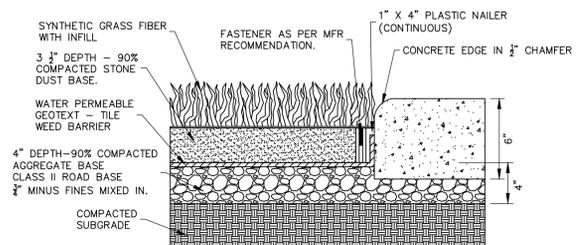
**P2** CONCRETE PAVER WITH SOLDIER  
DOUBLE SAILOR BAND DETAIL  
N.T.S.



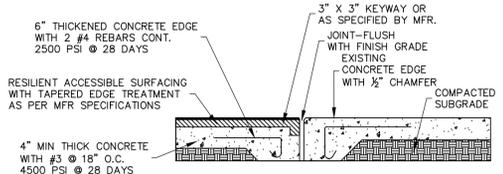
**P3** PAVER BANDING WITH DOUBLE  
SOLDIER COURSE BAND DETAIL  
N.T.S.



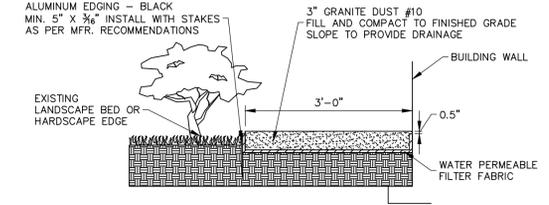
**S1/S3** SAND SURFACE & GRANITE DUST DETAIL  
N.T.S.



**S2** SYNTHETIC TURF DETAIL  
N.T.S.



**S4** RUBBERIZED / RESILIENT  
ACCESSIBLE SURFACE DETAIL  
N.T.S.



**S5** MAINTENANCE EDGE DETAIL  
N.T.S.

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Rev	Date	Description
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**Lee Memorial Health System**

**LEE HEALTH**  
Coconut Point

Freestanding Emergency Care  
Facility and Surgical Services

23450 VIA COCONUT POINT  
ESTERO, FL 33928

AHCA # 23/100012-170-1

Project Phase  
DEVELOPMENT ORDER SUBMITTAL

Date  
08/05/16

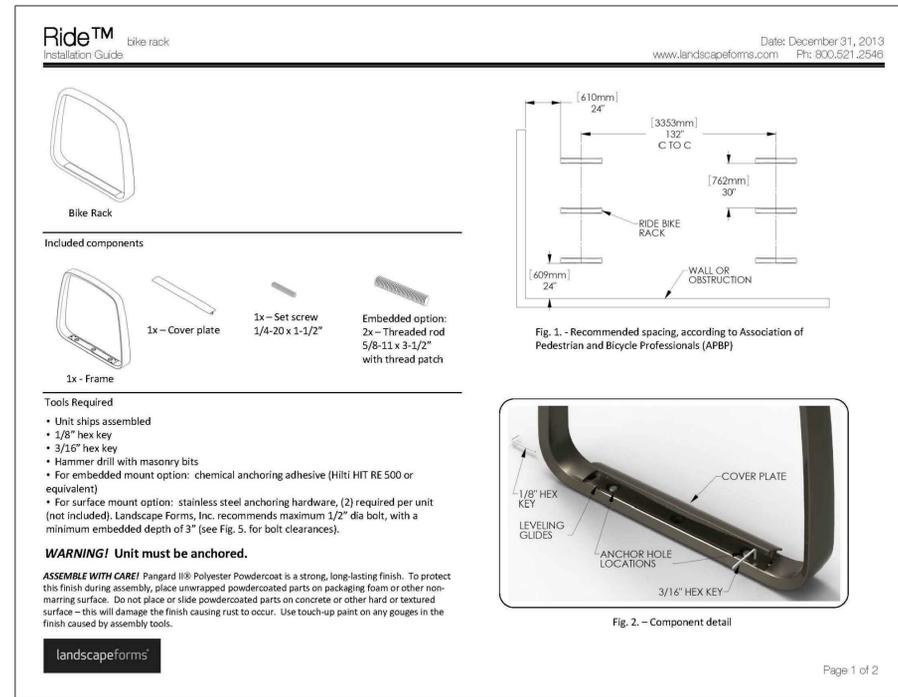
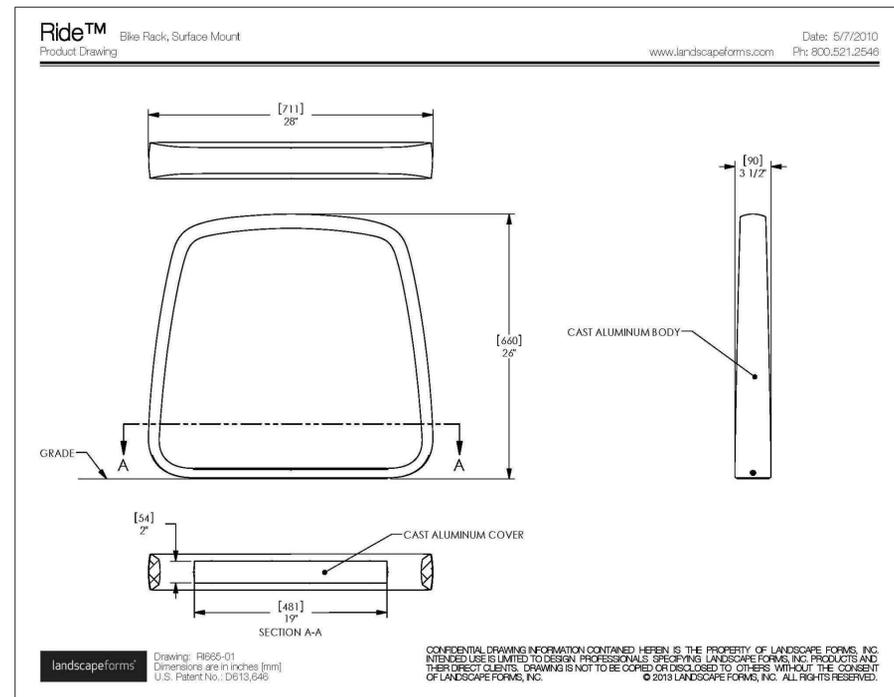
Project Number  
15821-00

Sheet Title  
HARDSCAPE DETAILS

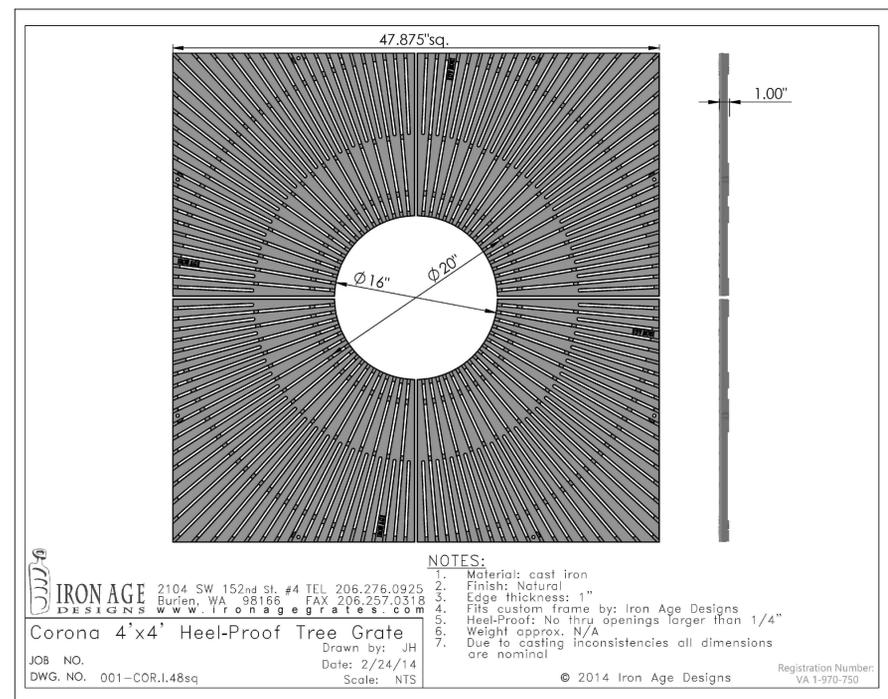
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**L21**

Rev. No.

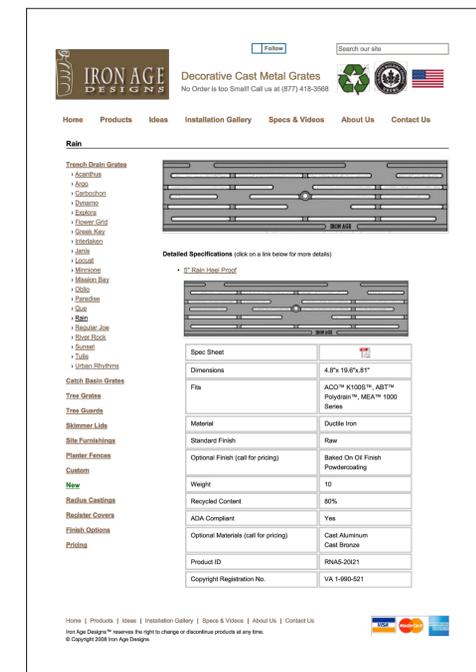




F7 BICYCLE RACK DETAIL



F8 TREE GRATE DETAIL



F9 TRENCH DRAIN GRATE DETAIL

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Project Title  
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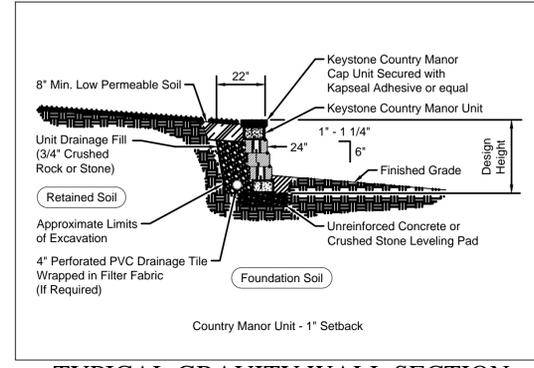
Date 08/05/16 Drawn By

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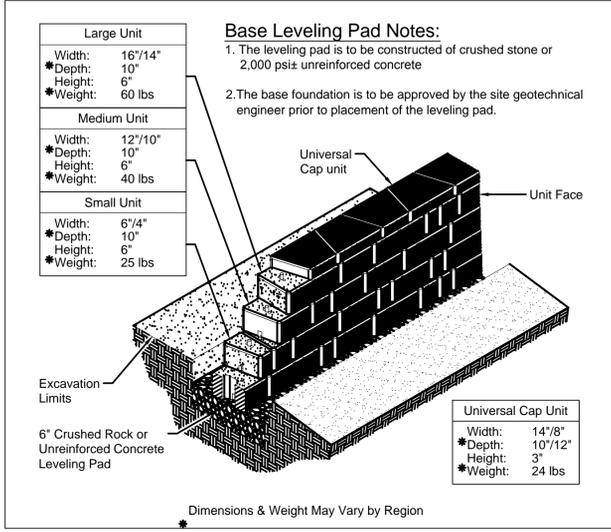
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**HARDSCAPE DETAILS**

Sheet Number **L23** Rev. No.

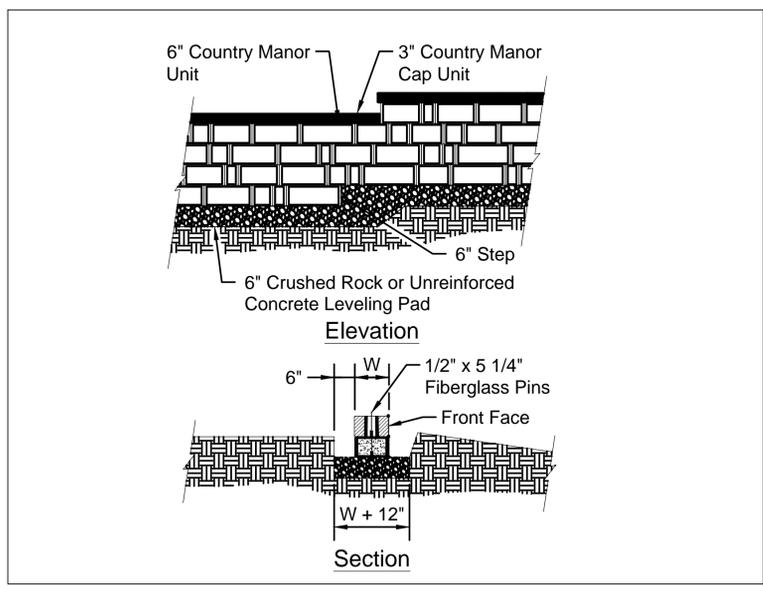
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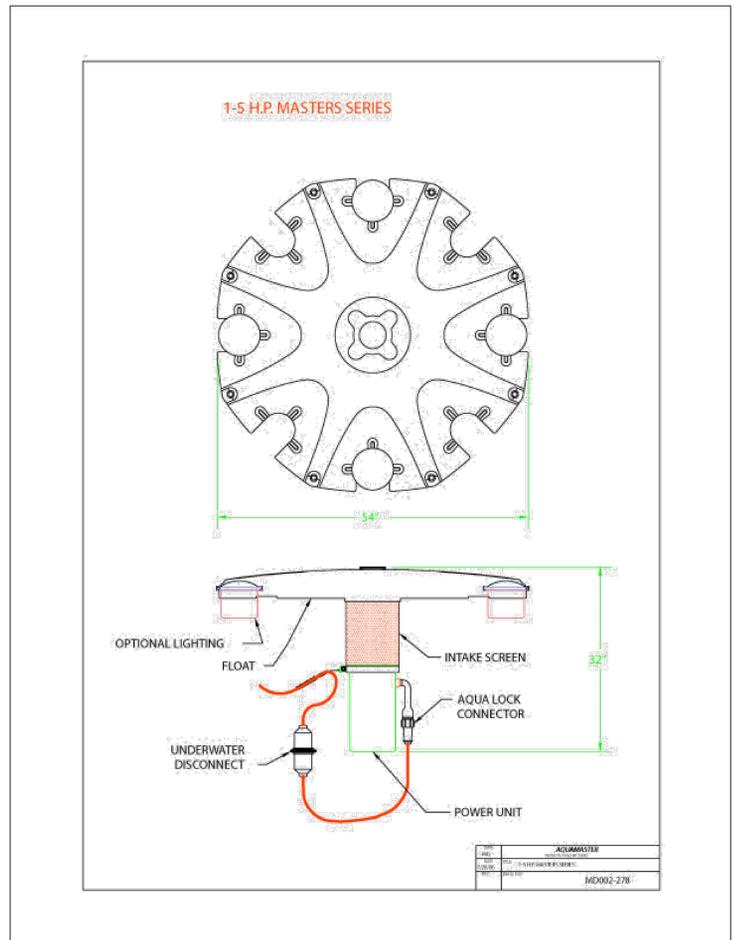
**TYPICAL GRAVITY WALL SECTION**



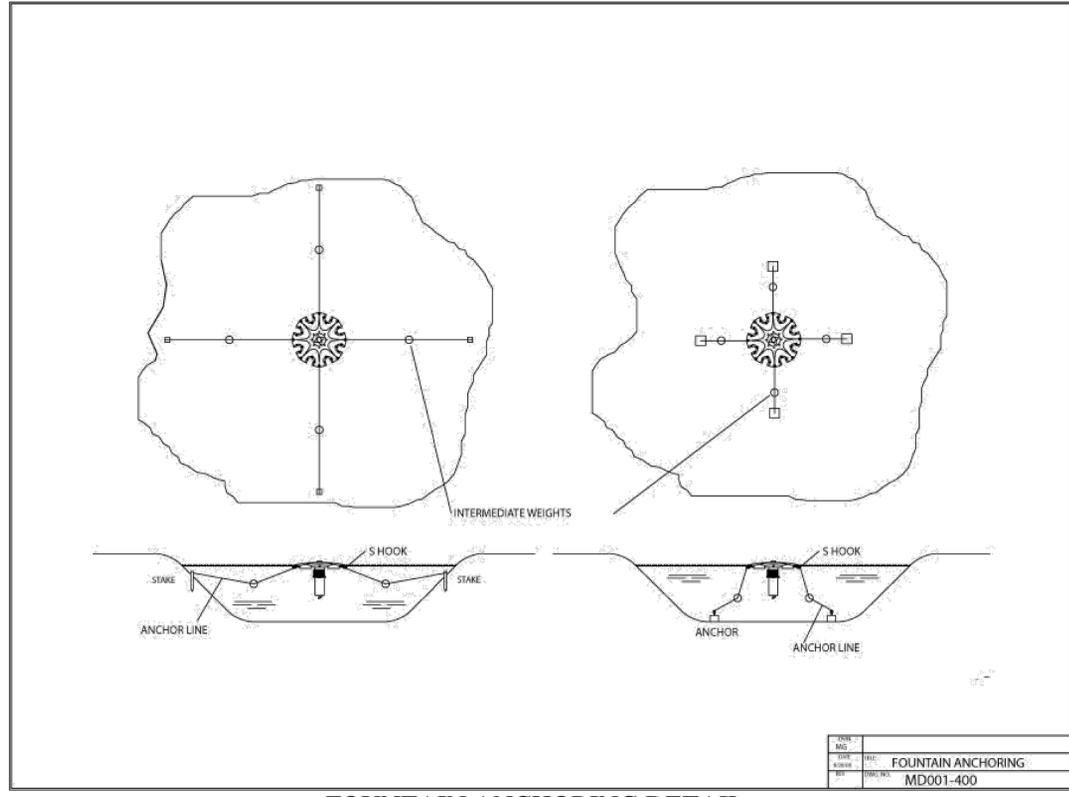
**COUNTRY MANOR UNIT/BASE PAD ISOMETRIC SECTION VIEW**



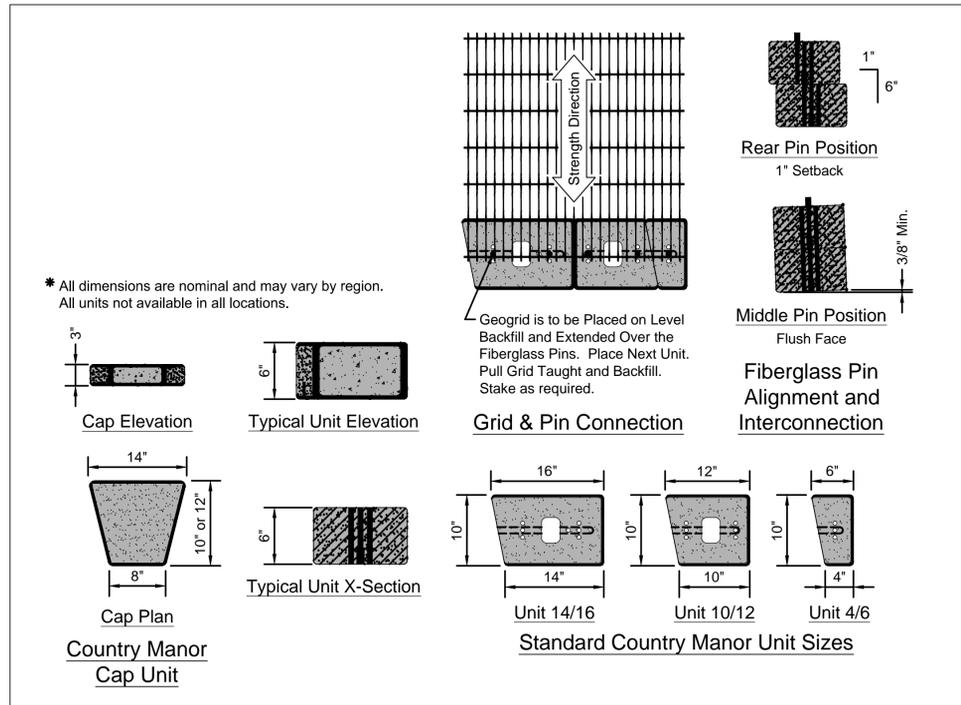
**LEVELING PAD AND CAP STEP DETAIL**



**CROWN AND GEYSER MASTERS SERIES FOUNTAIN DETAIL**



**FOUNTAIN ANCHORING DETAIL**



**LAKE RETAINING WALL DETAILS**  
 KEYSTONE COUNTRY MANOR OR APPROVED EQUAL

**TABLE 1: THE MASTERS SERIES® PERFORMANCE SPECIFICATIONS**

**TECHNICAL DATA REFERENCE MATERIAL FOR SECTION 2.0 DETAILED INFORMATION**

Model Number	HP	Voltage and Phase	Running Amp Draw	Minimum Operating Depth	Ship Weight LBS.	LAKEWOOD FULL FLOW (no nozzle)	MASTERS NOZZLE SERIES	
							Birdie	Crystal Geyser
MS410-SC	1	120 - 1PH	19.0				Upper 4 x 10 Lower 3 x 22	Ace
MS412-SC	1	208-240 - 3PH	9.6	3'	250	7 x 18 GPM 318	Upper 4 x 10 Lower 3 x 22	GPM 305
MS414-SC	1	440-480 - 3PH	5.4					
MS422-SC	2	208-240 - 3PH	12.6				10 x 24 GPM 344	Upper 6 x 11 Lower 4 x 26
MS424-SC	2	440-480 - 3PH	3.1					GPM 345
MS432-SC	3.5	208-240 - 1PH	15.2	3'	250	11 x 30 GPM 415	Upper 8 x 12 Lower 5 x 32	GPM 412
MS434-SC	3	440-480 - 3PH	5.1					
MS452-SC	5	208-240 - 3PH	27.1	3'	300	15 x 36 GPM 535	Upper 10 x 12 Lower 6 x 35	GPM 532
MS454-SC	5	440-480 - 3PH	9.0					

Model Number	HP	Voltage and Phase	Running Amp Draw	MASTERS NOZZLE SERIES				
				Birdie	Bicayne	Crown & Geyser	Crystal Geyser	
MS410-SC	1	120 - 1PH	19.0					
MS412-SC	1	208-240 - 1PH	9.6	3 x 5 GPM 336	Upper 11 Lower 7 x 14 GPM 204	Geyser 18 13 Crown 5 x 35 GPM 215	15 x 26 GPM 214	
MS414-SC	1	440-480 - 3PH	5.4					
MS422-SC	2	208-240 - 1PH	12.6		3.5 x 5 GPM 361	Upper 14 Lower 10 x 19 GPM 217	Geyser 18 15 Crown 6 x 40 GPM 262	17 x 30 GPM 241
MS424-SC	2	440-480 - 3PH	3.1					
MS432-SC	3.5	208-240 - 1PH	15.2		4.5 x 8 GPM 454	Upper 16 Lower 10 x 20 GPM 250	Geyser 18 20 Crown 6 x 42 GPM 297	19 x 30 GPM 254
MS434-SC	3	440-480 - 3PH	5.1					
MS452-SC	5	208-240 - 3PH	27.1		5 x 12 GPM 546	Upper 20 Lower 14 x 28 GPM 403	Geyser 18 22 Crown 7 x 50 GPM 465	22 x 32 GPM 396
MS454-SC	5	440-480 - 3PH	9.0					

**LAKE FOUNTAIN DETAILS**  
 AQUAMASTER - CROWN AND GEYSER MASTERS SERIES  
 OR APPROVED EQUAL

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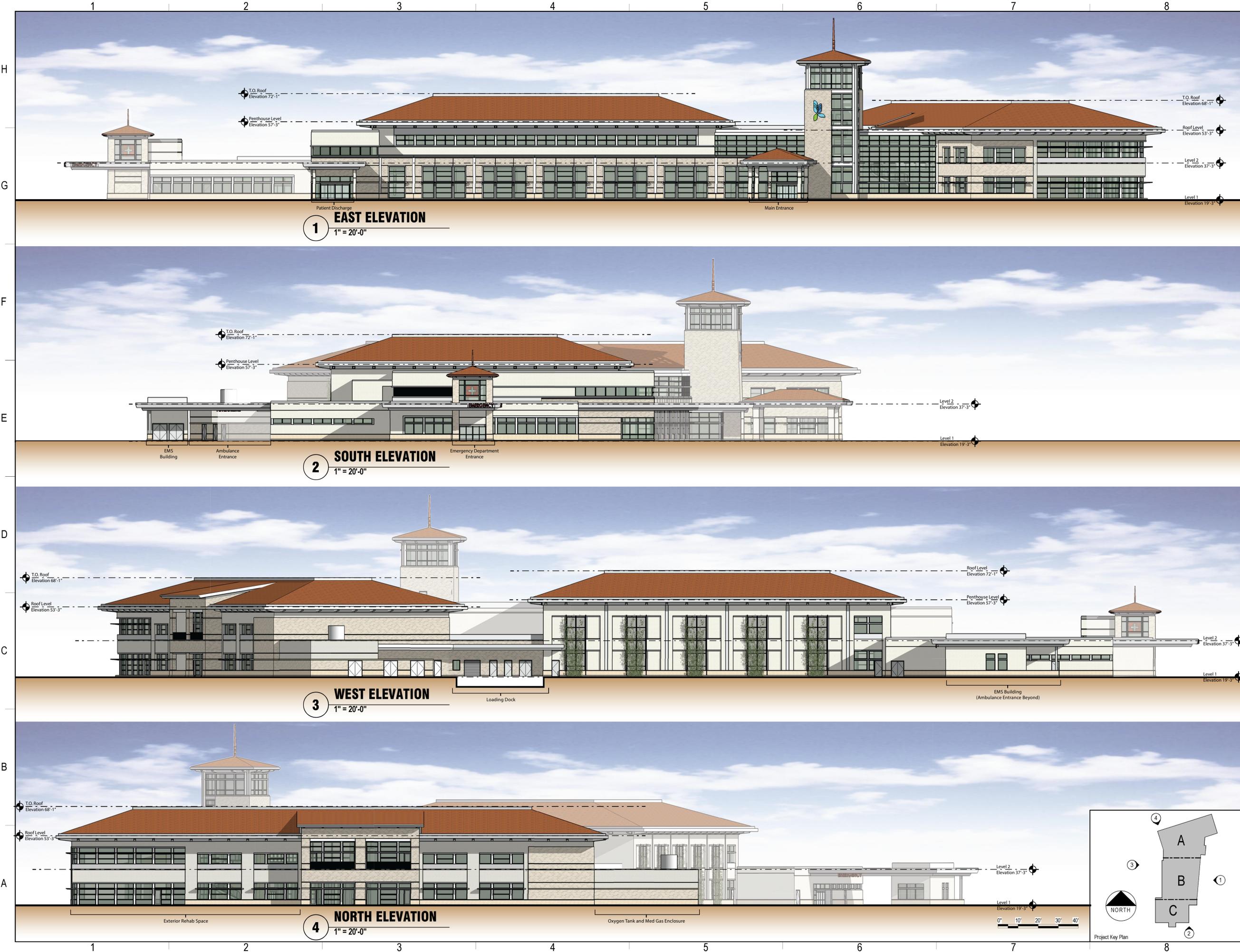
OVERALL PLANT SCHEDULE - INCLUDES CODE REQUIRED MATERIAL

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HT	SPR	CAL	CONT	NOTES	REMARKS
AR	23		Acer rubrum 'Florida Flame'	Florida Flame Red Maple	12' Ht	6' Spr	3.5' Cal	45 Gal.		Native
BB	58		Bucida buxoides 'Shady Lady'	Shady Lady Black Olive	12' Ht	6' Spr	3.5' Cal	45 Gal.		Native
BS	44		Bursaria sinaruba	Gumbo Limbo	12' Ht	6' Spr	3.5' Cal	45 Gal.		Native
CE3	54		Conocarpus erectus	Green Buttonwood Tree	12' Ht	6' Spr	3.5' Cal	45 Gal.		Native
CS2	69		Cordia sebestena	Orange Geiger Tree	12' Ht	6' Spr	3.5' Cal	45 Gal.		Native
CS3	20		Cupressus sempervirens	Italian Cypress	10' Ht	3' Spr	2' Cal	15 Gal	Full To Ground	Non-Native
DR	12		Delonix regia	Royal Poinciana	12' Ht	6' Spr	3.5' Cal	45 Gal.		Non-Native
IC	17		Ilex cassine	Dahoon Holly	12' Ht	6' Spr	3.5' Cal	45 Gal.	Full To Ground	Native
MG	7		Magnolia grandiflora	Southern Magnolia	12' Ht	6' Spr	3.5' Cal	45 Gal.		Native
MG2	6		Magnolia grandiflora 'Little Gem'	Dwarf Southern Magnolia	12' Ht	6' Spr	3.5' Cal	45 Gal.		Native
OV	73		Quercus virginiana	Live Oak	12' Ht	6' Spr	3.5' Cal	45 Gal.		Native
SP2	5		Sabal palmetto	Relocated Cabbage Palmetto	16' Ct					Relocated from existing buffer
TD	27		Taxodium distichum	Bald Cypress	12' Ht	6' Spr	3.5' Cal	45 Gal.		Native
PALM TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HT	SPR	CAL	CONT	NOTES	REMARKS
AW	5		Acoelorthaps wrightii	Paurolis Palm	10' Ct				Multi-stem	Native
CN	77		Cocos nucifera 'Green Malaysian'	Coconut Palm	Mixed Heights - 10', 12', 16' Ct			B & B	Curved Trunk	Non-Native
PD	11		Phoenix dactylifera 'Medjool'	Medjool Date Palm	10' Ct, Matched			B & B		Non-Native
PR2	5		Phoenix roebelenii	Pygmy Date Palm	5' Ct			15 Gal	Triple	Non-Native
RR	52		Roystonia regia	Florida Royal Palm	10' Ct, Matched					Native
SP	24		Sabal palmetto	Cabbage Palm	Mixed Heights - 10', 12', 16' Ct					Native
WB	38		Wodyetia bifurcata	Foxtail Palm	10' Ct					Non-Native
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HT	NOTES	SPACING	REMARKS	
AA	244		Agapanthus africanus	Lily of the Nile	3 gal	24" Ht		36" o.c.	Non-Native	
AZ	31		Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	3 gal	24" Ht		60" o.c.	Non-Native	
CC	216		Capparis cynophallophora	Jamaica Caper	3 gal	48" Ht		48" o.c.	Native	
CO1	8		Christia obcordata	Sweetleaf Plant	3 gal	24" Ht		36" o.c.	Non-Native	
CI	649		Chrysobalanus icaco 'Red Tip'	Red Tip Coccolup	7 gal	36" Ht		36" o.c.	Native	
CG	203		Clusia guilferia	Small-Leaf Clusia	10 gal	48" Ht		48" o.c.	Non-Native	
CE4	208		Conocarpus erectus	Green Buttonwood	7 gal	36" Ht		36" o.c.	Native	
CE2	636		Conocarpus erectus sericeus	Silver Button Wood	3 gal	24" Ht		36" o.c.	Native	
CA	10		Citrus aurantium	Citrus Lily	7 gal	36" Ht		48" o.c.	Non-Native	
DR2	427		Duranta repens 'Gold Mound Dwarf'	Gold Mound Duranta	3 gal	24" Ht		24" o.c.	Non-Native	

FM	408		Ficus microcarpa 'Green Island'	Green Island Ficus	3 gal	24" Ht		36" o.c.	Non-Native
GG	418		Galphimia gracilis	Thryallis	3 gal	24" Ht		36" o.c.	Non-Native
JV	1,022		Jasminum volubile	Wax Jasmine	7 gal	36" Ht		36" o.c.	Non-Native
MD	27		Monstera deliciosa	Swiss Cheese Plant	7 gal	36" Ht		48" o.c.	Non-Native
MC	360		Muhlenbergia capillaris	Muhly Grass	3 gal	24" Ht		36" o.c.	Native
MF	248		Myrcianthes fragrans	Simpson's Stopper	15 gal	48" Ht		48" o.c.	Native
MF2	30		Myrcianthes fragrans	Simpson's Stopper	15 gal	72" Ht		60" o.c.	Native
MF1	234		Myrcianthes fragrans	Simpson's Stopper	7 gal	36" Ht		36" o.c.	Native
MY	150		Myrica cerifera	Wax Myrtle	7 gal	36" Ht		48" o.c.	Native
PS2	33		Philodendron selloum	Split-leaf Philodendron	3 gal	24" Ht		48" o.c.	Non-Native
PS3	44		Philodendron selloum 'Xanadu'	Xanadu Philodendron	3 gal	24" Ht		36" o.c.	Non-Native
PA	343		Plumbago auriculata 'Imperial Blue'	Plumbago	3 gal	24" Ht		36" o.c.	Non-Native
PN2	287		Psychotria nervosa	Wild Coffee	7 gal	36" Ht		36" o.c.	Native
SR	26		Strelitzia reginae	Orange Bird Of Paradise	3 gal	24" Ht		60" o.c.	Non-Native
TJ	30		Trachelospermum jasminoides	Star Jasmine	7 gal	4'-5' Rn		24" o.c.	Non-Native
TD2	304		Tripsacum dactyloides	Fakahatchee Grass	3 gal	24" Ht		36" o.c.	Native
TU	276		Tumera ulmifolia	Yellow Alder	3 gal	18" Ht		24" o.c.	Non-Native
VO2	59		Viburnum odoratissimum 'Aeabuki'	Aeabuki Viburnum	10 gal	48" Ht		48" o.c.	Non-Native
VO1	204		Viburnum odoratissimum 'Aeabuki'	Aeabuki Viburnum	7 gal	36" Ht		48" o.c.	Non-Native
ZP	931		Zamia pumila	Cootie	7 gal	24" Ht		36" o.c.	Native
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	SPACING	REMARKS	
AG	5,732		Arachis glabrata	Perennial Peanut	1 gal		12" o.c.	Non-Native	
DT	3,474		Dianella tasmanica 'Blueberry'	Blueberry Flax Lily	1 gal	10" Ht		24" o.c.	Non-Native
JD	318		Juniperus davurica 'Parsoni'	Parson's Juniper	3 gal	12" Ht		36" o.c.	Non-Native
PB1	575		Pennisetum setaceum 'Alba'	White Leaved Fountain Grass	3 gal	18" Ht		30" o.c.	Non-Native
R1	204		Rhaphiolepis indica	Indian Hawthorn	3 gal	12" Ht		36" o.c.	Non-Native
SP1	753		Setcreasea pallida	Purple Queen	1 gal	12" Ht		12" o.c.	Non-Native
SB2	2,577		Spartina bakeri	Sand Cord Grass	1 gal	12" Ht		36" o.c.	Native
TA	208,649		Trachelospermum etalocum 'Mima'	Asian Jasmine	4' pot		12" o.c.	Non-Native	
MULCH	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	SPACING	REMARKS	
MUL	108,885		if Mulch	Eucalyptus Mulch	3" Depth				
MUL2	23,426		if Mulch	Pine Straw Mulch	3" Depth				

US 41





**1 EAST ELEVATION**  
1" = 20'-0"

**2 SOUTH ELEVATION**  
1" = 20'-0"

**3 WEST ELEVATION**  
1" = 20'-0"

**4 NORTH ELEVATION**  
1" = 20'-0"

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Stamps & Approvals

**NOT FOR CONSTRUCTION**

10/16 Rev. Per Estero Comments

Rev. Date Description

**LEE MEMORIAL HEALTH SYSTEM**

**Lee Memorial Health System**

23450 VIA COCONUT POINT  
 ESTERO, FL 33928

**Lee Health Coconut Point**

Project Phase  
 Development Order Submittal

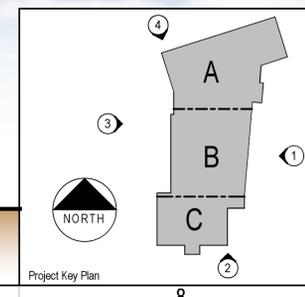
Date  
 08/05/16

Project Number  
 15821-00

Sheet Title  
**OVERALL EXTERIOR ELEVATIONS**

Sheet Number  
**A-1**

Rev. No.



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1 2 3 4 5 6 7 8

H  
G  
F  
E  
D  
C  
B  
A



**4 NORTH ELEVATION**  
1/16" = 1'-0"



**3 WEST ELEVATION**  
1/16" = 1'-0"



**2 EAST ELEVATION**  
1/16" = 1'-0"



**1 SOUTH ELEVATION**  
1/16" = 1'-0"

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10/16 Rev. Per Estero Comments

Rev	Date	Description

**LEE MEMORIAL HEALTH SYSTEM**

**Lee Memorial Health System**

23450 VIA COCONUT POINT  
ESTERO, FL 33928

**Lee Health Coconut Point**

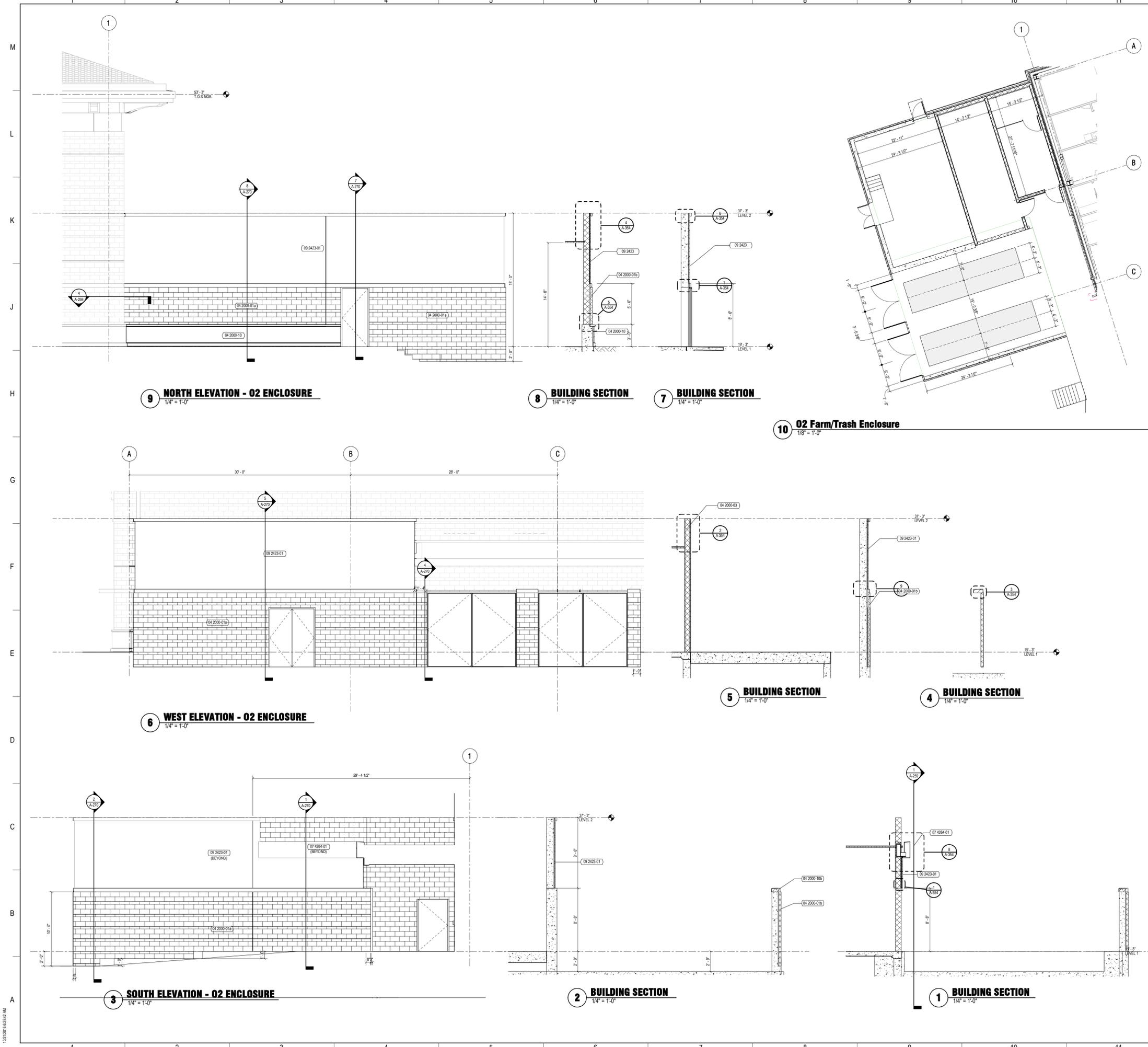
Project Phase  
Development Order Submittal

Date: 08/05/16  
Drawn By: FLAD

Project Number: 15821-00  
Checked By: FLAD

**OVERALL EXTERIOR ELEVATIONS - CEP**

Sheet Number: **A-2**  
Rev. No.



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**SPEC KEYNOTES**

Key Value	Keynote Text
04 2000-014	#1 DECORATIVE CMU
04 2000-016	#2 DECORATIVE CMU, SEE ELEVATION FOR COURSING HEIGHT
04 2000-023	#3 CMU BLOCK
04 2000-100	COQUINA LIMESTONE CLADDING
04 2000-106	COQUINA LIMESTONE CAP, EPOXY DOWEL IN PLACE
06 6600-01	CUSTOM MOLDED URETHANE BRACKET
07 4264-01	COMPOSITE METAL PANEL
07 5423-02	EPDM MEMBRANE GUTTER
09 2423-01	CEMENT STUCCO
09 2423-01	7/8" MIN. STUCCO FINISH

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Florida.

Jeff C. Zutz  
 Date: \_\_\_\_\_ License No. AR83015

Stamps & Approvals

Project Key Plan

**NOT FOR CONSTRUCTION**

**SHEET KEYNOTES**

Key Value	Keynote Text
AE22A	WALL TYPE AE22A, REFER TO 22A-300
AE22	ROOF TYPE AE22, REFER TO 22A-300
AE31	SOFFIT TYPE AE31, REFER TO 31A-300

10/16 Rev. Per Estero Comments

Rev	Date	Description

**Lee Memorial Health System**

**LEE HEALTH**  
 Coconut Point

Freestanding Emergency Care Facility and Surgical Services

23450 VIA COCONUT POINT  
 ESTERO, FL 33928

AHCA # 23100012-170-1

Project Phase: Development Order Submittal

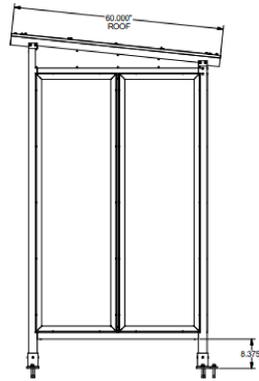
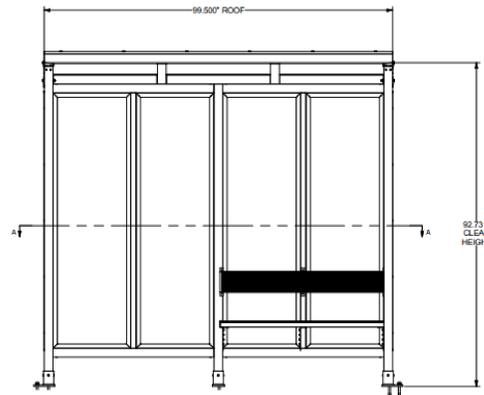
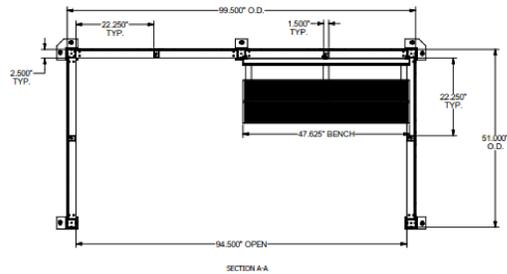
Date: 10/21/16 Drawn By: FLAD

Project Number: 15821-00 Checked By: \_\_\_\_\_

Sheet Title: **EXTERIOR SCREEN WALLS**

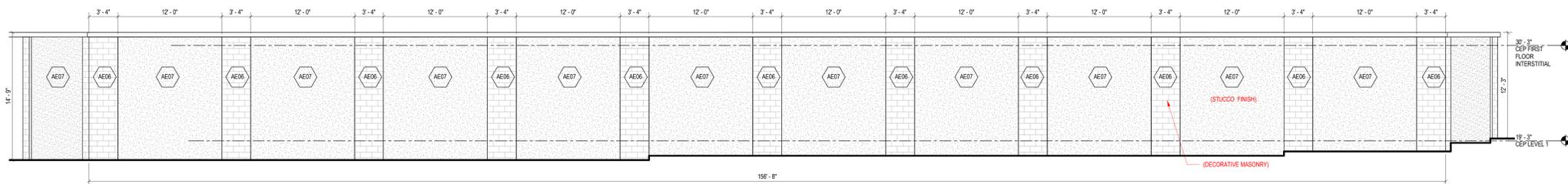
Sheet Number: **A-270** Rev. No. \_\_\_\_\_

**DRAWING NOT TO SCALE**

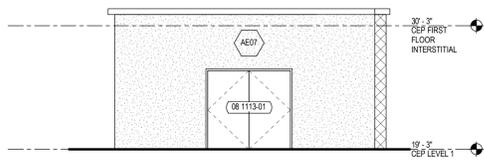


**5 WEATHER SHELTER**  
NO SCALE

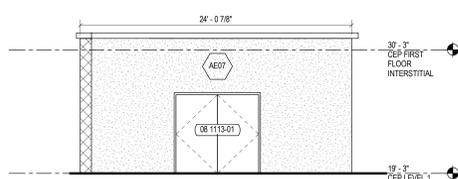
**SHELTER SPECIFICATIONS:**  
 QUANTITY (2) SHELTERS THIS:  
 - POWDER COATED ALUMINUM STRUCTURE (RAL 9006 WHITE ALUMINUM)  
 - 1/2" CLEAR TEMPERED SAFETY GLASS  
 - FLAT ROOF WITH WHITE POLYCARBONATE  
 - PARTIAL LENGTH ALUMINUM BENCH W/BACKREST



**4 STORAGE YARD-SOUTH ELEVATION**  
3/16" = 1'-0"



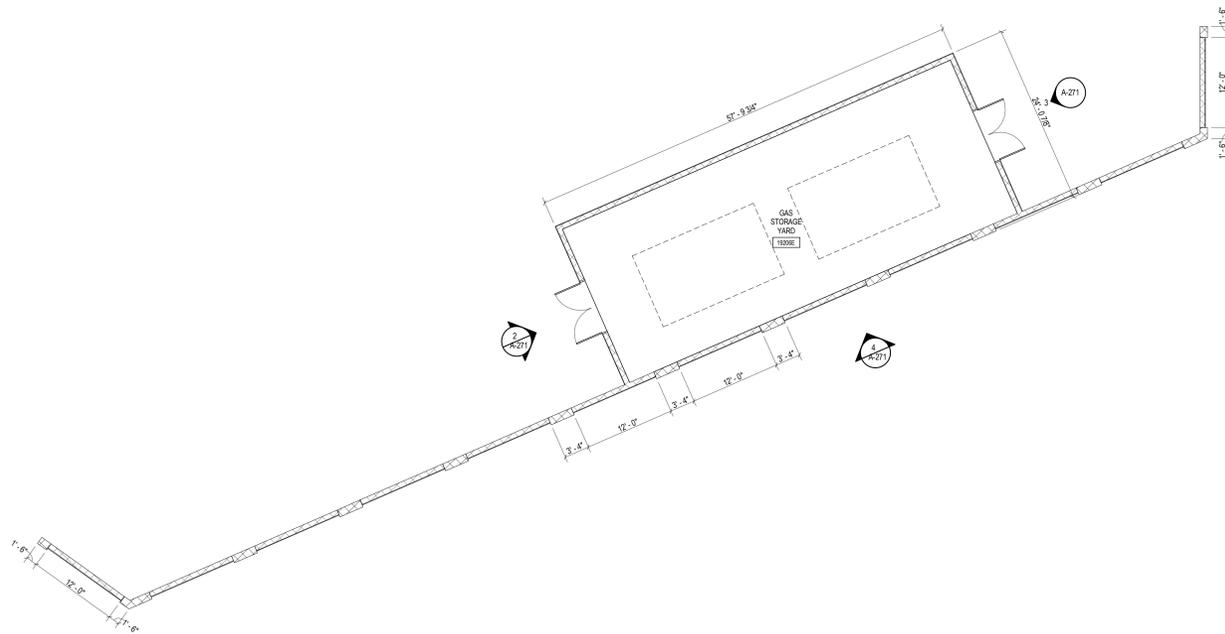
**2 STORAGE YARD-WEST ELEVATION**  
3/16" = 1'-0"



**3 STORAGE YARD-EAST ELEVATION**  
3/16" = 1'-0"



**1 CEP CEP GAS STORAGE YARD**  
1/8" = 1'-0"



**SPEC KEYNOTES**

Key Value	Keynote Text
06 1113.01	EXTERIOR HOLLOW METAL DOOR AND FRAME - SEE DOOR SCHEDULE

**SHEET KEYNOTES**

Key Value	Keynote Text
AE06	WALL TYPE AE06, REFER TO 6A-300
AE07	WALL TYPE AE07, REFER TO 7A-300

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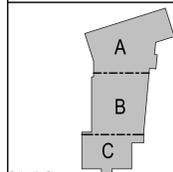
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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Florida.

Jeff C. Zutz  
 Date: \_\_\_\_\_ License No. AR00015

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**NOT FOR CONSTRUCTION**

Rev	Date	Description
10/16	Rev. Per Estero Comments	

**Lee Memorial Health System**  
 COCONUT POINT  
 Freestanding Emergency Care Facility and Surgical Services  
 23450 VIA COCONUT POINT  
 ESTERO, FL 33928

AHCA # 23100012-170-1	
Project Phase: Development Order Submittal	
Date: 10/21/16	Drawn By: FLAD
Project Number: 15821-00	Checked By: FLAD
Sheet Title: CEP-EXTERIOR SCREEN WALLS	
Sheet Number: A-271	Rev No.: