

Photos submitted by Applicant October 12, 2016





Perkins
RESTAURANT
& BAKERY



Thank you for your visit!



Perkins
RESTAURANT
& BAKERY

FREE PIE MONDAY





Perkins

14801



Handicapped
Accessible
Van Only
18' x 48'



Illustrations previously submitted by Applicant September 28, 2016

Front Elevation

A	48"x172"x30" Window Awning
B	78.S-188"130" Window Awning

P-1	Glidden Prince Edward Isle
P-2	Glidden Wreath of Green
P-3	Glidden Copper Coin
P-4	Glidden Meadowlark

Rev# 1	•6-15-16 CM Added Wall Cabinet and Paint
Rev# 2	•8-29-16 CM Moved Sillnane
Rev#3	
Rev#4	
Rev#5	
Rev#6	
Rev#7	
Rev#B	

Proposed Elevation



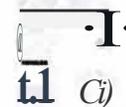
Existing Elevation



Designer: CM Date: 5111116 Option# 1 • CM
 Cent: Perkins of Esteru, FL
 File Path: Z:\restaurant\Perkins\Estem\FU\Elevation

Proof Is Approved. Proceed With Production Of Order
 Proof Is Approved With Correction. Make Corrections As Indicated And Proceed With Production Of Order

Signature: _____
 Date: _____



These plans are the exclusive property of Design Team Sign Company and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from Design Team Sign Company a product manufactured according to these plans. Distribution or reproduction of this plan to anyone other than employees of your company, or use of these plans to construct a product similar to any exhibited herein, is expressly forbidden. In the event that exhibition or construction occurs, Design Team Sign Company consents to be reimbursed \$250 in compensation for time and effort expended in creating these plans.

Left Elevation

A	8"x172"x36" Canopy Awning
C	78.5"x116"x30" Window Awning
D	66"x110" Wall Cabinet

P-1	Glidden Prince Edward Isle
	Glidden Wrath of Green
P-3	Glidden Copper Coin
P-4	Glidden Meadowlark

Rev # 1 - CM 6-29-16 Moved Awning from Front to Left
Rev # 2 -
Rev # 3 -
Rev # 4 -
Rev # 5 -
Rev # 6 -
Rev # 7 -
Rev # 8 -

Proposed Elevation



Existing Elevation



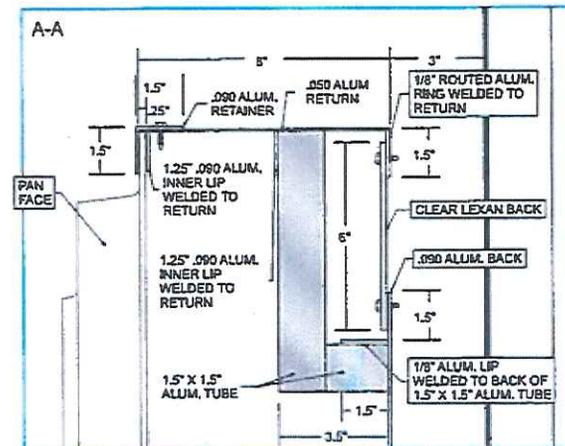
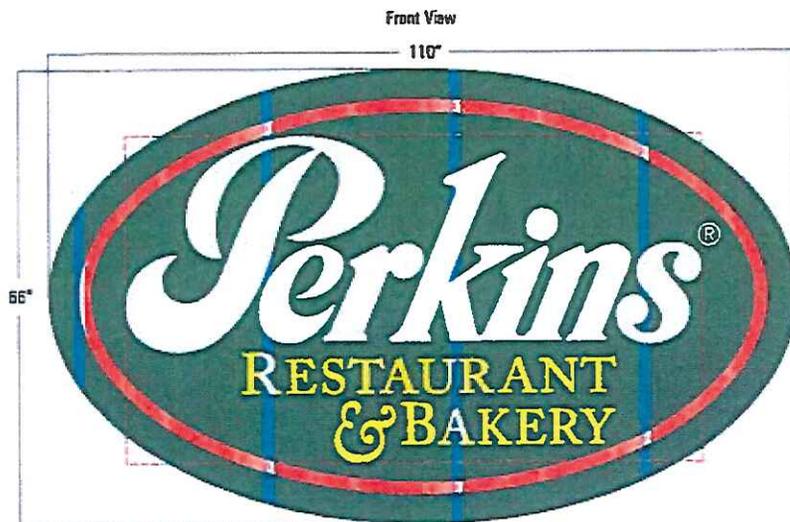
Designer: CM	Date: 5/11/16	Option # 1 - CM
Client: Perkins of Estero, FL		
File Path: Z:\restaurant\Perkins\EsteroFL\Elevation		

- Proof Is Approved. Proceed With Production Of Order
- Proof Is Approved With Corrections. Make Corrections As Indicated And Proceed With Production Of Order

Signature: _____
(I have reviewed this proof in regard to sign type, color, quantity, and accuracy of colors, materials, and text (e.g. spelling capitalization, punctuation).
 Print Name: _____
 Date: _____



These plans are the exclusive property of Design Team Sign Company and are the result of the creative work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these signs or to purchase from Design Team Sign Company a product manufactured according to these plans. Distribution or exhibition of the plans to anyone other than employees of your company, or use of these plans to construct a product similar to one embodied herein, is expressly prohibited. In the event that exhibition or construction occurs, Design Team Sign Company expects to be reimbursed \$500 in compensation for time and effort entailed in creating these plans.



Isometric View

BOXED Sq Ft (OVA HxW): 66" X 110" - 50.4 SQ FT
 ACTUAL LETTER SQUARE Fd: TAGE: 52" X 92" - 33.2 SQ FT

Specifications

- Face to be Clear Polycarbonate Painted Second Surface
- Retainers and Returns to be Painted Green PMS 343C
- Cabinet to be lit using LED
- Face to be 2" Pan-Formed
- "Perkins," "Restaurant & Bakery" and Red Ring to be embossed .5"

Colors & Finishes	
A	Green - PMS 343C
B	Yellow - PMS 118C
C	Red - PMS 200C
D	White
Rev # 1 -	
Rev # 2 -	
Rev # 3 -	
Rev # 4 -	
Rev # 5 -	
Rev # 6 -	



Designer: JR8	Date: 10/12/15
Client: Perkins	
File Path: Z:\Restaurant\Perkins	

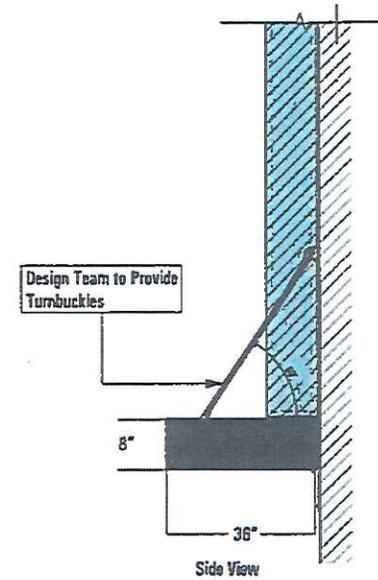
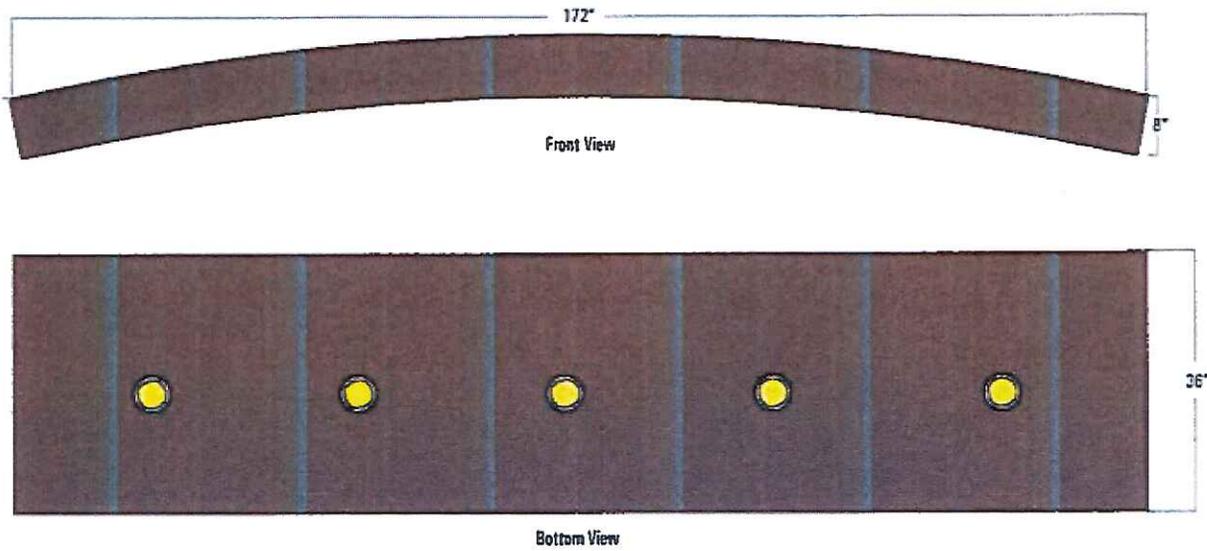
- Proof Is Approved. Proceed With Production Of Order
- Proof Is Approved With Corrections. Make Corrections As Indicated And Proceed With Production Of Order

Signature: _____
(This document has been prepared in regard to sign laws, order accuracy, and materials of a one, certain, and best in quality capabilities, purchased).

Print Name: _____
 Date: _____



These plans are the exclusive property of Design Team Sign Company and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans as to purchase from Design Team Sign Company a product manufactured according to these plans. Distribution or exhibition of the plans to anyone other than employees of your company, or use of these plans to construct a product similar to one enclosed herein, is expressly forbidden. In the event that a claim of copyright occurs, Design Team Sign Company agrees to be reimbursed \$500 in compensation for time and effort expended in creating these plans.



Materials	
1	Prefabricated Aluminum Cabinet
2	5 Recess Lights

Colors & Finishes	
A	Painted Matte 7533C Burnt Bark

Rev # 1 -
Rev # 2 -
Rev # 3 -
Rev # 4 -
Rev # 5 -
Rev # 6 -



Designer: JRB	Date: 10/12/15
Client: Perkins	
File Path: Z:\Restaurant\Perkins	

- Proof is Approved. Proceed With Production Of Order
- Proof is Approved With Corrections. Make Corrections As Indicated And Proceed With Production Of Order

Signature: _____
(I have reviewed this proof in regard to sign law, order quantity, and accuracy of size, symbols, and text (e.g. spelling, punctuation, punctuation).)

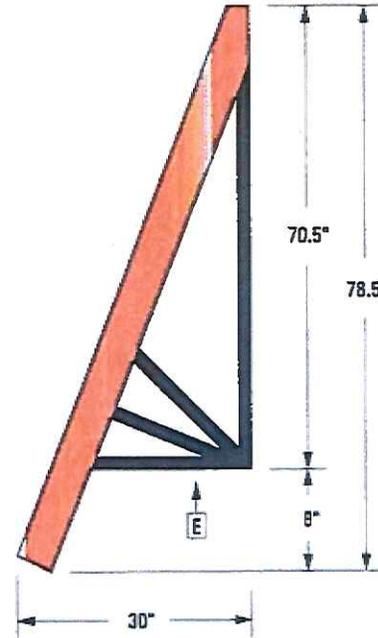
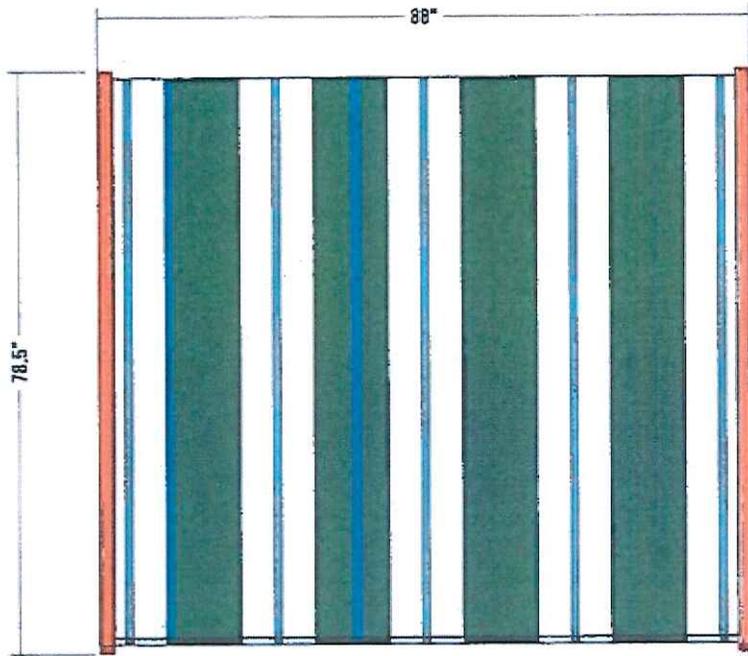
Print Name: _____

Date: _____



These plans are the exclusive property of Design Team Sign Company and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from Design Team Sign Company a similar manufacture according to these plans. Distribution or violation of the plans to anyone other than employees of your company, or use of these plans to construct a product similar to one embodied herein, is expressly prohibited. In the event that exhibition or construction occurs, Design Team Sign Company expects to be reimbursed \$200 in compensation for time and effort expended in creating these plans.

Awning



Materials	
1	White ACM
2	Vinyl

Colors & Finishes	
A	Alpolic Cow White ACM
B	Arlon Medium Green 106
C	Arlon Aruba Blue 051
D	PMS 471 Copper Coin (Matte Paint)
E	Matte Black Paint

Rev # 1 -
Rev # 2 -
Rev # 3 -
Rev # 4 -
Rev # 5 -
Rev # 6 -

Notes

Custom White ACM Awnings w/ vinyl applied in a Repeating Pattern. Green & White Sections to be 10" wide w/ a 1" Blue Stripe Centered in White Section.

Note: Awning to Overhang Window 6"



Designer: JAC	Date: 3-28-16
Client: Perkins	
File Path: *	

- Proof Is Approved, Proceed With Production Of Order
- Proof Is Approved With Corrections, Make Corrections As Indicated And Proceed With Production Of Order

Signature: _____
I have reviewed this proof in regard to sign type, order quantity, and accuracy of name, symbols, and text (e.g. spelling, abbreviation, punctuation).

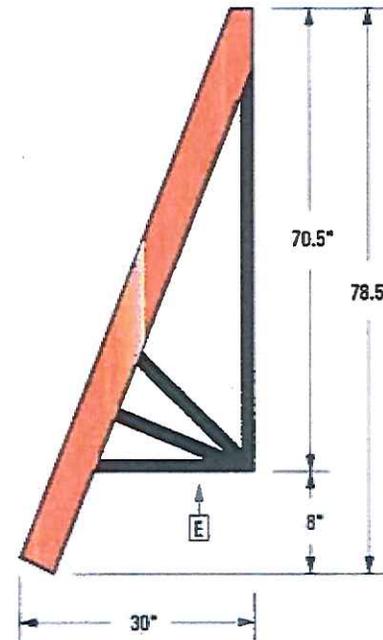
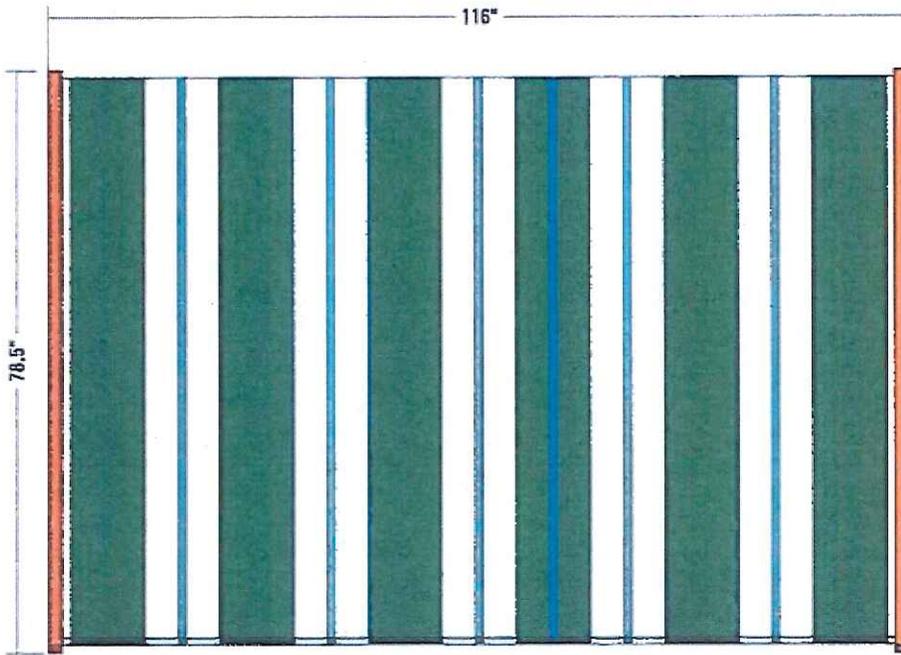
Print Name: _____

Date: _____



These plans are the exclusive property of Design Team Sign Company and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from Design Team Sign Company a product manufactured according to these plans. Distribution or retention of the plans to anyone other than employees of your company, or use of these plans to construct a product similar to one exhibited herein, is expressly forbidden. In the event that exhibition or construction occurs, Design Team Sign Company expects to be reimbursed \$300 in compensation for time and effort expended in preparing these plans.

Awning



Materials	
1	White ACM
2	Vinyl

Colors & Finishes	
A	Alpolic Cow White ACM
B	Arlon Medium Green 106
C	Arlon Aruba Blue 051
D	PMS 471 Copper Coin (Matte Paint)
E	Matte Black Paint

Rev # 1 -
Rev # 2 -
Rev # 3 -
Rev # 4 -
Rev # 5 -
Rev # 6 -

Notes

Custom White ACM Awnings w/ vinyl applied in a Repeating Pattern. Green & White Sections to be 10" wide w/ a 1" Blue Stripe Centered in White Section.

Note: Awning to Overhang Window 6"



Designer: JAC	Date: 3-28-16
Client: Perkins	
File Path: *	

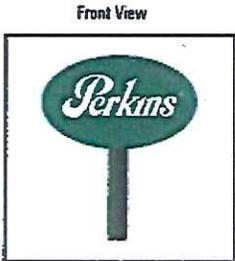
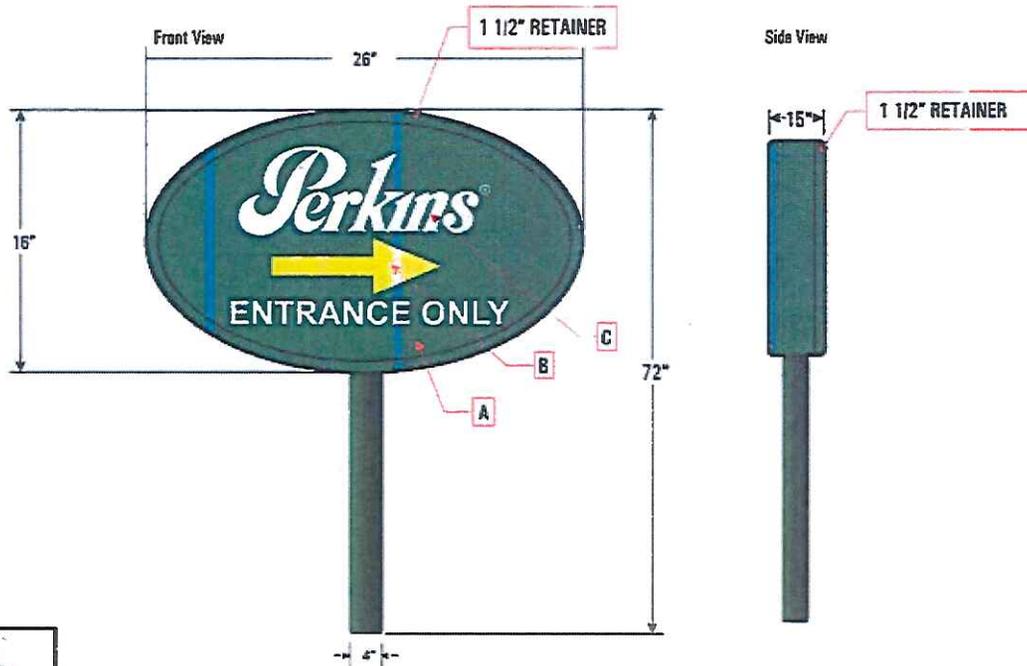
- Proof Is Approved. Proceed With Production Of Order
- Proof Is Approved With Corrections. Make Corrections As Indicated And Proceed With Production Of Order

Signature: _____
I have reviewed this proof in regard to: Sign type, color, quantity, and accuracy of copy, amount, and text (e.g. spelling, punctuation, punctuation).

Print Name: _____
 Date: _____



These plans are the exclusive property of Design Team Sign Company and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from Design Team Sign Company a product manufactured according to these plans. Distribution or exhibition of the plans to anyone other than employees of your company, or use of these plans to construct or contract for the construction of any structure, is expressly forbidden. In the event that exhibition or construction occurs, Design Team Sign Company consents to be reimbursed USD by compensation for time and effort expended in creating these plans.



Specifications	
1	Double Sided Cabinet
2	Internally Illuminated with LED
3	.177 Clear Acrylic Faces
4	2nd Surface Graphics

Colors & Finishes	
A	Green - PMS 343C
B	Yellow - PMS 118C
C	White

Rev # 1 -	
Rev # 2 -	
Rev # 3 -	
Rev # 4 -	
Rev # 5 -	
Rev # 6 -	



Designer: CM	Date: 5-11-16
Client: Perkins	
File Path: Z:\Restaurant\Perkins	

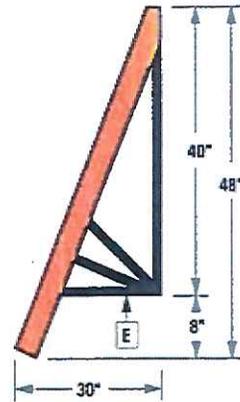
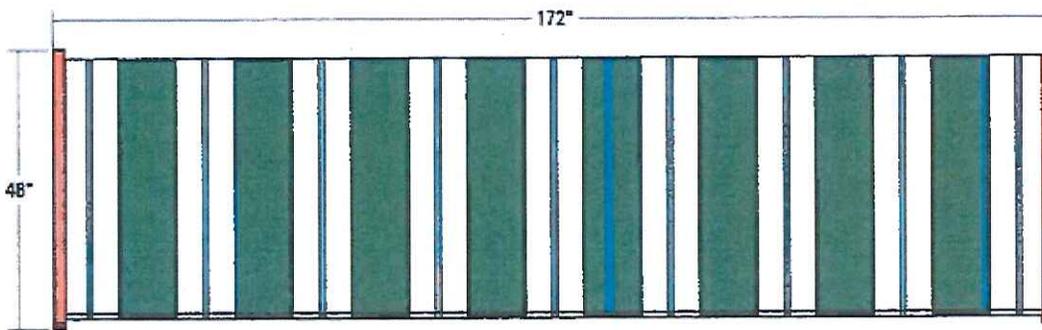
- Proof Is Approved. Proceed With Production Of Order
- Proof Is Approved With Corrections. Make Corrections As Indicated And Proceed With Production Of Order

Signature: _____
 I have reviewed the proof in regard to sign size, order quantity and accuracy of text, artwork, and color (i.e. spelling, punctuation, etc.).
 Print Name: _____
 Date: _____



These plans are the exclusive property of Design Team Sign Company and are the result of the original work of its employees. They are submitted to your company for the sole purpose of your consideration of whether to purchase these plans or to purchase from Design Team Sign Company a product manufactured according to these plans. Distribution or fabrication of the plans to anyone other than employees of your company, or use of these plans to manufacture a product similar to one embodied herein, is expressly prohibited. In the event that fabrication or construction occurs, Design Team Sign Company expects to be reimbursed 50% of construction for the first effort involved in tracing these plans.

Awning



Materials	
1	White ACM
2	Vinyl

Colors & Finishes	
A	Alpolic Cow White ACM
B	Arlon Medium Green 106
C	Arlon Aruba Blue 051
D	PMS 471 Copper Coin (Matte Paint)
E	Matte Black Paint

Rev # 1 -
Rev # 2 -
Rev # 3 -
Rev # 4 -
Rev # 5 -
Rev # 6 -

Notes

Custom White ACM Awnings w/ vinyl applied in a Repeating Pattern. Green & White Sections to be 10" wide w/ a 1" Blue Stripe Centered in White Section.

Note: Awning to Overhang Window 6"



Designer: JAC	Date: 3-28-16
Client: Perkins	
File Path: *	

- Proof Is Approved. Proceed With Production Of Order
- Proof Is Approved With Corrections. Make Corrections As Indicated And Proceed With Production Of Order

Signature: _____
I have reviewed this proof in regard to sign type, order quantity, and accuracy of text, symbols, and art to a signing contractor, purchaser.

Print Name: _____
 Date: _____



These plans are the exclusive property of Design Team Sign Company and are the result of the original work of its employees. They are submitted to you for approval for the sole purpose of your confirmation of whether to purchase these plans or to purchase from Design Team Sign Company a product manufactured according to these plans. Distribution or exhibition of the plans to anyone other than employees of your company, or use of these plans to construct a product similar to one produced here, is expressly forbidden. In the event that exhibition or construction occurs, Design Team Sign Company expects to be reimbursed 100% in compensation of the time and effort involved in creating these plans.



Sales: Mark Truby
Project Manager: Matt Tubbs

20320 Grand Oak Shoppes
Estero, FL

Table of Contents

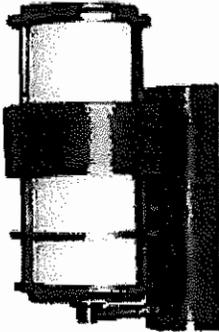
Page 1 -Cover Page
Page 2 -Front Elevation
Page 3 -Left Elevation
Page 4 -66"x110" Wall Cabinet
Page 5 - 78.5"x88"x30" Window Awning
Page 6 - 78.5"x116"x30" Window Awning
Page 7 -48"x172"x30" Window Awning
Page 8 -16"x26" Directional

Revision Notes

Rev # 1 CM 6-28-16 - Replaced Canopy on Left Elevation
with New Window Awning

Exterior Lighting

EL-1



Manufacturer: Hinkley Lighting
Product: Saturn 1 Light Outdoor Wall
Product No.: 1904MT
Color: Metro Bronze
Glass: Cased Opal-Etched Glass
Size: 16"H x 8"W x 9.5"EXT
Bulb Wattage: 75
Location: Exterior
Contact: Kelly Sisk - ElectriCom, Inc. – 901.324.8893
electricomkelly@bellsouth.net
David Jackson Hermitage Lighting - 615.843.3367
davidj@hlg.co



Manufacturer: RAB Lighting
Product No.: WPLED 20w Wall Pack
Size: 2 3/8" x 4" x 11" L
Specify: With Mounting Arm ARMSV24
Bulb Wattage: 20 Watt LED
Location: Exterior above Awnings
Contact: Kelly Sisk - ElectriCom, Inc. – 901.324.8893
electricomkelly@bellsouth.net
David Jackson - Hermitage Lighting - 615.843.3367
davidj@hlg.co

**Estero Courtesy Notification dated March 22, 2016
and
Lee County Code Notification dated August 7, 2015**



Village of Estero
9401 Corkscrew Palms Circle, Suite #101
Estero, Florida 33928

COURTESY NOTICE

Sent To: HARBOUR PRIVATE CAPITAL LLC
3401 TAMIAMI TRL N STE 210
NAPLES, FL 34103

No: 22704

Date: 03/22/2016

Property Owner: HARBOUR PRIVATE CAPITAL LLC
3401 TAMIAMI TRL N STE 210
NAPLES, FL 34103

Property Description: 254625E420000
0050

Legal Description: SHOPPES AT GRANDE OAK PB 69 PGS
31-34 LT 5

AKA: 20320 GRANDE OAK SHOPPES BLVD ,
ESTERO, FL 33928

The inspection made of the listed premises this date discloses that you are in violation of the below listed section(s) of the Village of Estero Code of Ordinances:

Ordinance/Regulation	Section	Description	Days Comply
Chapter 6 - BUILDINGS AND BUILDING REGULATIONS	Section 10-421. - Plant installation and maintenance standards.	Maintenance of landscaping. The owner is responsible for maintaining the required landscaping in a healthy and vigorous condition at all times. Tree and palm staking must be removed within 12 months after installation. All landscapes must be kept free of refuse, debris, disease, pests, and weeds. Ongoing maintenance to prohibit the establishment of prohibited invasive exotic species is required.	210

Notes/Mean of Correction:

1. Required Landscaping is missing
2. Prohibited Exotic plant species exist on property

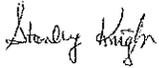
1. Plant a total of thirty-five (35) trees for general, parking canopy and buffer trees to meet landscape requirements. Shrubs within north landscape buffer and building perimeter planting areas are either dead or missing. plant the following to meet landscape requirements (See Tree List)

2. Remove Brazilian pepper, Earleaf Acacia from the "Undeveloped area/North ROW buffer and treat stumps with appropriate herbicide. A control program to maintain the site free of invasive exotic plants is required by the LDC.
See attached documents

NOTE: Met with Perkins owner on 04/07/2016 on site came to an agreement on the removal of the exotics and replacement of the trees that had been removed. granted him 6 months to get everything corrected.

The Village of Estero has adopted a Special Magistrate procedure pursuant to the provisions contained in Article VI - Code Enforcement Board, Village of Estero Code of Ordinances and Chapter 162, Florida Statutes. Therefore, if the referenced violations are corrected within the time specified, you must contact the Code Compliance Inspector at 239-221-5036. If the violations are not corrected within the time specified, you will be issued a Notice of Violation and a Hearing Notice to appear before the Special Magistrate.

This courtesy notice is to inform you of one or more violations that exist on your property. If you have any questions or would like additional information pertaining to this courtesy notice, please call the below listed Code Compliance Inspector at 239-221-5036.



Stanley Knight
Code Inspector

Signature is not an admission of guilt but verification of receipt of this notice.

OFFICIAL NOTICE OF CODE VIOLATION

LEE COUNTY
DIVISION OF ENVIRONMENTAL SCIENCES
PO BOX 398
FORT MYERS, FL 33902-0398
(239) 533-8585

August 07, 2015

HARBOUR PRIVATE CAPITAL LLC WILL KASTROLL
C/O JEFF NOVATT, ESQ
1415 PANTHER LANE
SUITE 327
NAPLES FL 34109

Dear Agent:

You are hereby directed to abate the code violation on the following property: 20320 GRANDE OAK SHOPPES BLVD ESTERO 33928.

This parcel is described in Lee County Tax Rolls as STRAP# 25-46-25-E4-20000.0050.

A site inspection of the above referenced property made on July 24, 2015 by Lee County Division of Environmental Sciences (ES) staff revealed that:

- 1) Required landscaping is missing.
- 2) Prohibited exotic plant species exist on property.
- 3) Planting areas are not being maintained.

This violation is contrary to the Lee County Land Development Code (LDC) Section 10-421(b), 10-7 (f), 14-411, 10-420 (h) and the Development Order (DO) DOS2002-00034 as follows:

LDC Section 10-421(b) states: The owner is responsible for maintaining the required landscaping in a healthy and vigorous condition at all times. Tree and palm staking must be removed within 12 months after installation. All landscapes must be kept free of refuse, debris, disease, pests, and weeds. Ongoing maintenance to prohibit the establishment of prohibited invasive exotic species is required.

LDC Section 10-7 (f) states: All developments must remain in compliance with the terms and conditions of the approved development order even after issuance of a certificate of completion.

LDC Section 14-411 states: No person, organization, society, association, corporation, or any agent or representative thereof, shall deliberately cut down, destroy, remove, relocate, defoliate through the use of chemicals or other methods, or otherwise damage any tree that is protected under this article and located in the unincorporated areas of the county, without first obtaining a permit as provided in this article.

LDC Section 10-420 (h) states: Invasive exotics. The following highly invasive exotic plants may not be planted, (ie. are prohibited) and must be removed from the development area. Methods to remove and control invasive exotic plants must be included on the development order plans. A statement must also be included on the development order that the development area will be maintained free from invasive exotic plants in perpetuity. For purposes of this subsection, invasive exotic plants include earleaf acacia (*Acacia auriculiformis*), woman's tongue (*Albizia lebeck*), bishopwood (*Bischofia javanica*), Australian pines (*Casuarina* species), carrotwood (*Cupianopsis anacardioides*), rosewood (*Dalbergia sissoo*), air potato (*Dioscorea alata*), Murray red gum (*Eucalyptus camaldulensis*), weeping fig (*Ficus benjamina*), Cuban laurel fig (*Ficus microcarpa*), Japanese climbing fern (*Lygodium japonicum*), Old World climbing fern (*Lygodium microphyllum*), melaleuca (*Melaleuca quinquenervia*), downy rose myrtle (*Rhodomyrtus tomentosus*), Chinese tallow (*Sapium sebiferum*), Brazilian pepper (*Schinus terebinthifolius*), tropical soda apple (*Solanum viarum*), java plum (*Syzygium cumini*), rose apple (*Syzygium jambos*), cork tree (*Thespesia populnea*), wedelia (*Wedelia trilobata*).

Official Notice of Violation

HARBOUR PRIVATE CAPITAL LLC WILL KASTROLL

August 07, 2015

Page 2

To abate this violation compliance with the following is required:

Official Notice of Violation

HARBOUR PRIVATE CAPITAL LLC WILL KASTROLL

August 07, 2015

Page 3

1. Plant a total of thirty-five (35) trees for general, parking canopy and buffer trees to meet landscape requirements.
 - a. Replace seven (7) Live oak (*Quercus virginiana*) trees for the parking canopy and general tree requirement. These trees were removed without a tree removal permit. The locations and specifications are highlighted in red on the enclosed landscape plan.
 - b. Replace ten (10) Mahogany (*Swetenia mahogani*) trees for the west and south ROW buffer tree requirement. These trees were removed without a tree removal permit. The locations and specifications are highlighted in yellow on the enclosed landscape plan.
 - c. Replace eighteen (18) Crape Myrtle (*Lagerstoemia indica*) trees within the north/south ROW buffers, southwest parking lot island and northwest building perimeter for the general and parking tree requirement. These trees are dead or do not meet minimum height requirements. The locations and specifications are highlighted in orange on the enclosed landscape plan.
2. Shrubs within north landscape buffer and building perimeter planting areas are either dead or missing. Plant the following to meet landscape requirements.
 - a. Replace a total of twenty (20) Red-Tip Cocoplum (*Chrysobolanus ic.*) within the north and west ROW buffers. The locations and specifications are highlighted in purple on the enclosed landscape plan.
 - b. Replace one (1) Pygmy Date palm (*Phoenix roebellini*) within the east building perimeter planting bed. The locations and specifications are highlighted in fusia on the enclosed landscape plan.
 - c. Replace a total of thirty-five (35) Varigated Pittosporum (*Pittosporum tobira 'variegata'*) within the northwest building perimeter planting bed. The locations and specifications are highlighted in light blue on the enclosed landscape plan.
3. Remove the Brazilian pepper and Earleaf Acacia from the "Undeveloped Area"/ north ROW buffer and treat the stumps with the appropriate herbicide. A control program to maintain the site free of invasive exotic plants in perpetuity is required by the DO and the LDC. These areas are highlighted in green on the enclosed site development plan.
4. Ensure that mulch is maintained at a depth of two inches (2") after watering-in as specified on the enclosed landscape plan.

You are hereby directed to abate this violation **within 30 days of receipt of this letter**. Once the violation has been abated, please contact Environmental Sciences staff to verify abatement.

If you fail to remedy this condition within the time frame specified above or if the violation is abated and reoccurs, this case will be scheduled before the Lee County Hearing Examiner and a fee of \$285.00 for prosecution of this case may be assessed. At the appropriate time you will be notified as to the date, time and place of this hearing.

Please be advised, under Lee County Land Development Code Chapter 2, Article VII, that the County can pursue a fine of up to \$250.00 per day for each day this violation continues past the date set for compliance by the Hearing Examiner.

In no event will any lien resulting from this case attach to the personal property or create personal liability against any person who is a debtor in a Bankruptcy proceeding under Title 11 of the United States Bankruptcy Code.

Official Notice of Violation
HARBOUR PRIVATE CAPITAL LLC WILL KASTROLL
August 07, 2015
Page 4

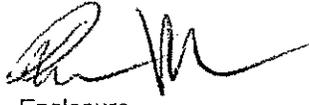
Please contact me at 239-533-8358 or DMoller@leegov.com with any questions you may have regarding this notice.

DEPARTMENT OF COMMUNITY DEVELOPMENT

Dana Moller, Environmental Planner
Division of Environmental Sciences

Case # ENV2015-00104

Copy: Carol Lis, Principal Environmental Planner
Environmental File

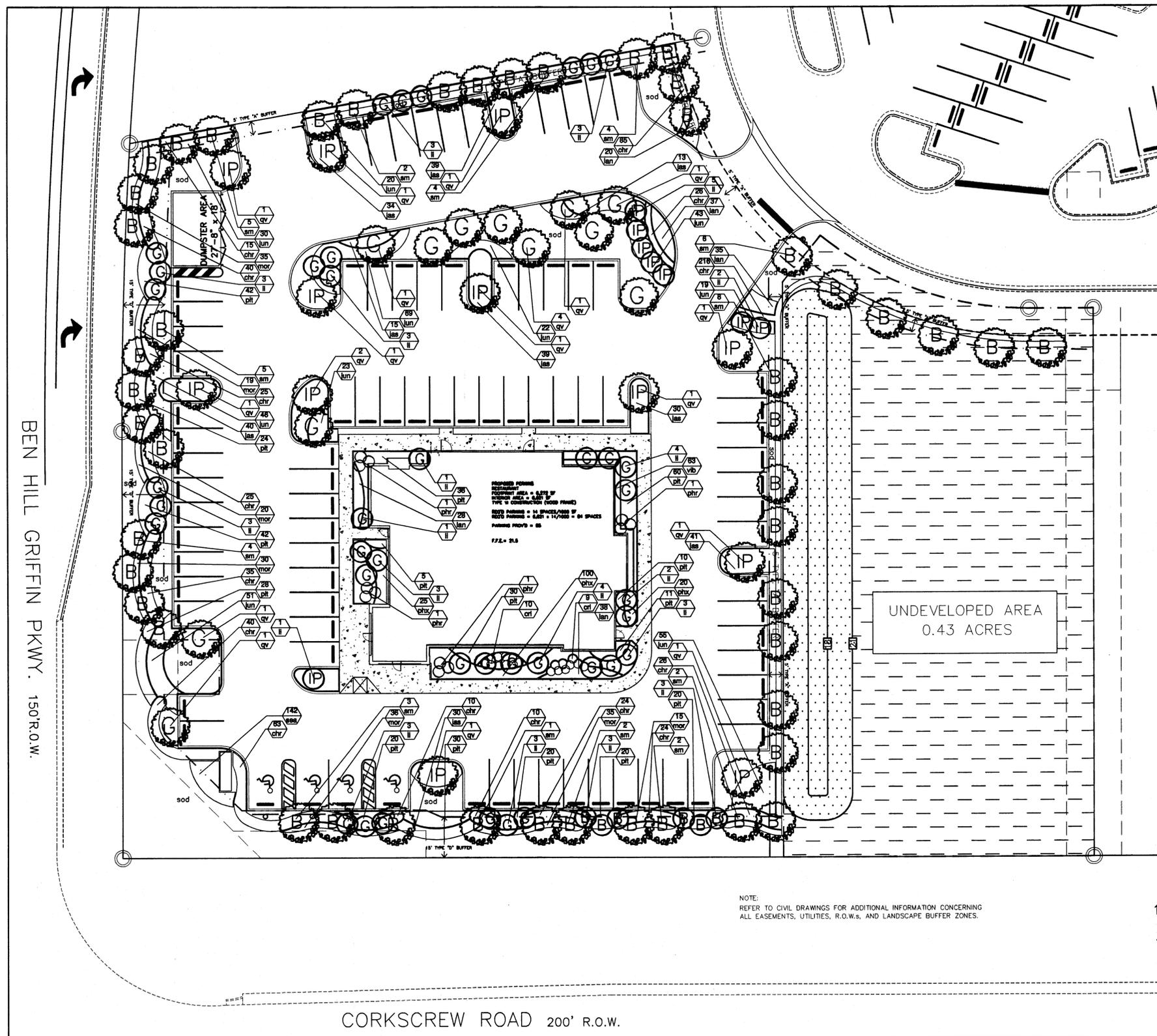


Enclosure

7013 7090 0000 4960 3043

Certified Mail

239 5322111 Lee County



BEN HILL GRIFFIN PKWY. 150' R.O.W.

CORKSCREW ROAD 200' R.O.W.

NOTE:
REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION CONCERNING
ALL EASEMENTS, UTILITIES, R.O.W.s, AND LANDSCAPE BUFFER ZONES.

TREE SYMBOL KEY

IP	INTERNAL LANDSCAPING TREE
I	INTERNAL LANDSCAPING TREE
G	GENERAL TREE
C	GENERAL TREE
B	BUFFER TREE



- LANDSCAPE NOTES: APPLICABLE TO SHEETS L1 and L2**
(RESPONSIBILITY OF GENERAL CONTRACTOR)
- ALL REQUIRED TREES SHALL BE MINIMUM 10' HEIGHT, HAVE A 2" CALIPER AT 12" ABOVE THE GROUND AND A FOUR (4) FOOT SPREAD AT THE TIME OF INSTALLATION. PALMS SHALL HAVE A MINIMUM OF 10 FEET OF CLEAR TRUNK AT PLANTING. TREES HAVING A MATURE SPREAD OR CROWN OF LESS THAN 20' MAY BE SUBSTITUTED BY GROUPING THE SAME SO AS TO CREATE THE EQUIVALENT OF A 20' CROWN SPREAD. TREES ADJACENT TO WALKWAYS, BIKE PATHS AND RIGHTS-OF-WAY SHALL BE MAINTAINED WITH 8' OF CLEAR TRUNK. A MINIMUM OF 75% OF REQUIRED TREES SHALL BE NATIVE FLORIDA SPECIES.
 - LARGER TREES MAY BE SUBSTITUTED TO REDUCE THE GENERAL TREE REQUIREMENT BY 50%. THESE TREES SHALL BE MINIMUM 16' HEIGHT AND HAVE A 4" CALIPER (12" ABOVE GRADE) AT TIME OF INSTALLATION.
 - WHERE TREES ARE LARGER THAN EIGHT (8) FEET, GUYS AND STAYS ARE TO BE PROVIDED AND INSTALLED.
 - SEED & MULCH IS REQUIRED IN ALL UNPAVED AREAS WITHIN THE SITE BOUNDARIES UNLESS OTHER PLANTINGS ARE SPECIFIED.
 - ALL PLANTING AREAS ARE TO BE MULCHED. A MINIMUM 2" LAYER OF MULCH (AFTER WATERING IN) SHALL BE PLACED AND MAINTAINED AROUND ALL REQUIRED TREES. THE MULCH SHALL BE PLACED WITHIN A 24" RING AROUND THE TRUNK. CYPRESS MULCH SHALL NOT BE USED.
 - ANY EXISTING TREE(S) THAT WILL CLAIMED FOR CREDIT MUST BE BARRICADED PRIOR TO CONSTRUCTION. BARRICADES SHALL BE PLACED AT 2/3 CROWN RADIUS AS MEASURED FROM TRUNK CENTER AND SHALL NOT BE LESS THAN 2.5' FOR INDIGENOUS NATIVE PINE TREES. THE BARRICADED AREA SHALL BE NO LESS THAN FULL CROWN SPREAD, UNLESS MEASURES ARE CONSTRUCTED FOR PROTECTION. BARRICADES SHALL BE CONSTRUCTED AROUND PERIMETER PRIOR TO CLEARING AND SHALL BE MADE OF MINIMUM 1" X 1" LUMBER.
 - PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS" PART I AND "GRADES AND STANDARDS FOR NURSERY PLANTS" PART II, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, TALLAHASSEE.
 - THE FOLLOWING SPECIES OF PLANTS SHALL NOT BE USED, AND SHALL BE REMOVED ENTIRELY FROM THE SITE AND MAINTAINED IN PERPETUITY IF FOUND TO BE PRESENT:

Australian pine	Casuarina species
Melaleuca paper tree	Melaleuca quinquenervia
Brazilian pepper	Schinus terebinthifolius
Downy rosemyrtle	Rhodomyrtus tomentosus
Earleaf acacia	Acacia auriculiformis
Tropical soda apple	Solanum viarum
 - SHRUBS SHALL BE A MINIMUM 24" TALL (48" FOR TYPE "F" BUFFERS) AS MEASURED FROM THE ON-SITE ADJACENT PAVED SURFACE TO BE BUFFERED. SHRUBS SHALL BE MINIMUM 3-GALLON SIZE AND SHALL BE PLANTED IN DOUBLE STAGGERED ROWS, 3 FEET ON CENTER. SHRUBS SHALL BE A MINIMUM OF 36" TALL (60" TYPE "F" BUFFERS) WITHIN ONE YEAR OF PLANTING AND SHALL BE MAINTAINED IN PERPETUITY AT A MINIMUM OF 36" TALL (60" TYPE "F" BUFFERS). AT LEAST 50% OF REQUIRED SHRUBS SHALL BE NATIVE FLORIDA SPECIES.
 - AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED WITH CONTROLLER AND MOISTURE DETECTION DEVICES. THE SYSTEM SHALL BE DESIGNED TO ELIMINATE APPLICATION OF WATER TO IMPERVIOUS AREAS AND TO AVOID IMPACTS ON EXISTING NATIVE VEGETATION.

EXISTING LAND USAGE:
PERKINS RESTAURANT SITE IS PART OF THE SHOPPES AT GRANDE OAK DEVELOPMENT, WHICH IS ZONED MPD AND IS CURRENTLY VACANT.

OPEN SPACE CALCULATIONS:
Open Space Req'd:
PER PD AMENDMENT CASE # ADD2000-00109 REQUIRED OPEN SPACE TO BE 10% FOR DEVELOPMENT AREA #3, THE SHOPPES AT GRANDE OAK. (2.12 ACRES REQUIRED FOR ENTIRE AREA #3)
PER DEVELOPMENT ORDER # DOS2000-00231 OPEN SPACE PROVIDED = 2.91 ACRES FOR THE SHOPPES AT GRANDE OAK. THEREFORE THE OPEN SPACE REQUIREMENT HAS BEEN MET.

Additional Open Space Provided

Parcel #5* (open space/landscape/indigenous areas)	
open space:	20,589 SF
Internal Landscape/Buffer Area:	4,748 SF
Detention Area:	
Total Provided	25,337SF

- LANDSCAPING / BUFFERING REQUIREMENTS: PARCEL #5**
GENERAL LANDSCAPING REQUIREMENTS [LCLDC 10-416(a)(4)]:
- 1 TREE/ 3,500 SF OF TOTAL DEVELOPMENT AREA
 - 89,920 SF @ 1 TREE/3,500 SF = 25.69 OR 26 TREES REQ'D. - 26 TREES PROVIDED
- INTERNAL LANDSCAPING REQUIREMENTS [LCLDC 10-415(c)(2)]:**
- PARKING LOT LANDSCAPE AREA = 0.10 * TOTAL PARKING PAVED SURFACE.
 - 1 TREE/250 SF OF REQUIRED LANDSCAPE AREA
 - 36,000 SF x 0.10 (10%) = 3,600 SF REQ'D.
 - 3600 SF @ 1 TREE/250 SF = 14.4 TREES REQ'D. - 15 TREES PROVIDED
- BUFFERING REQUIREMENTS [LCLDC 10-416(d)(3)(4)]:**
- TYPE "A" BUFFER REQUIRED BETWEEN PROPOSED PERKINS RESTAURANT ALONG NORTH, NORTHEAST, AND EAST BOUNDARIES.
- MINIMUM WIDTH = 5 FT
 - TREES/100 LF REQ'D
 - LENGTH = 582 TOTAL FT
 - REQ'D TREES = 582*4/100 = 23.28 TREES REQ. - 27 TREES PROVIDED
- TYPE "C" BUFFER REQUIRED ALONG SOUTH BOUNDARY BETWEEN PROPOSED PERKINS RESTAURANT AND CORKSCREW ROAD AND ALONG WEST BOUNDARY BETWEEN PROPOSED PERKINS RESTAURANT AND BEN HILL GRIFFIN PARKWAY
- MINIMUM WIDTH = 15 FT
 - TREES/100 LF REQ'D
 - HEDGE/DOUBLE STAGGERED ROW (REFER TO GENERAL NOTES)
 - LENGTH = 451 TOTAL FT
 - REQ'D TREES = 451*5/100 = 23 TREES REQ. - 24 TREES PROVIDED
 - REQ'D HEDGE = 451' LINEAR FEET REQ. - 451' LINEAR FEET PROVIDED

- BUILDING PERIMETER PLANTINGS [LCLDC 10-415(b)]:**
- PERIMETER PLANTING AREA SHALL BE 10% OF BUILDING GROUND LEVEL FLOOR AREA
 - PLANT COVERAGE SHALL BE 50% OF PLANTING AREA
 - TURFGRASS SHALL MAKE UP A MAXIMUM OF 10% OF PLANTING AREA
 - PLANTING AREAS SHALL BE MIN. 5' WIDTH, ADJACENT TO BUILDING.
 - ENLARGED PERIMETER LANDSCAPE AREA SHALL BE 5% OF VEHICULAR USE AREA
 - TURFGRASS SHALL MAKE UP A MAXIMUM OF 10% OF PLANTING AREA
 - PLANTING AREAS SHALL BE MIN. 5' WIDTH, ADJACENT TO BUILDING.
- TOTALS**
- 86 TREES REQUIRED, 113 TOTAL TREES PROVIDED
 - 86 TREES REQUIRED/67 TREES ARE NATIVE (EXCEEDS 75% REQ. FOR NATIVE TREES)
 - 902 SHRUBS REQUIRED/715 ARE NATIVE (EXCEEDS 75% REQ. FOR NATIVE SHRUBS)

EGS2corp.
landscape architecture

5998 S.W. 70th Street
South Miami Florida
305 • 274 • 2702
William A. Eager, A.S.L.A.
Lic. # LA0001187

DATE	04.04.02
REVISIONS	REVISED PER LEE COUNTY CHECKLIST
NUMBER	

6202-F Presidential Court
Fort Myers, FL 33919
Phone : (941) 985-1200
Professional Registration No. 1772
Naples - Fort Myers - Venice - Englewood



PERKINS RESTAURANT
The Shoppes at Grande Oak
OUT PARCEL # 5
MASTER DEVELOPMENT PLAN

THESE DRAWINGS ARE NOT TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND ARCHITECT.

DATE: MAY 19 2002

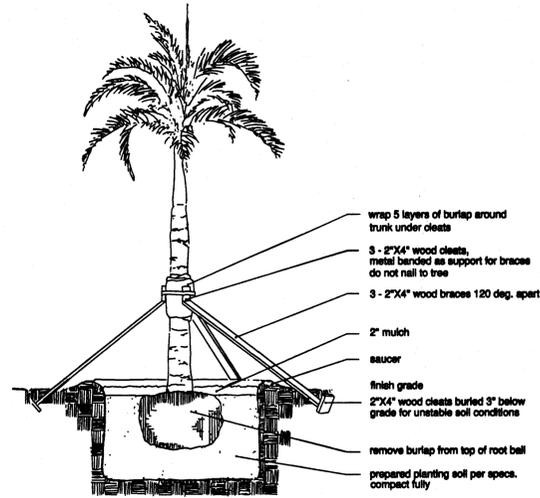
PROJECT NO. 899-10

DESIGNED:	EGS2	DATE:	01.29.02
DRAWN:	CC	DATE:	01.29.02
CHECKED:	BE	DATE:	01.29.02
VERT. SCALE:	N/A	HORIZ. SCALE:	1" = 20'
DRAWING NO.	899-10		
REFERENCE NO.	01143DCS		
PROJECT NO.	01.143D	SHEET NO.	10 of 11

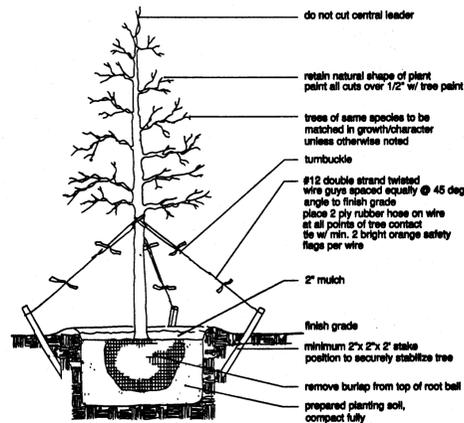
plant specifications

- Landscape Contractor shall be familiar w/ all work required by these drawings.
- All plant material furnished by the Landscape Contractor unless otherwise specified in Grades and Standards for Nursery Plants, second edition: February 1998, by the Florida Department of Agriculture and Consumer Services Division of the Plant Industry, shall be Florida Grade #1 or better.
- All shrubs and groundcovers shall be guaranteed for 1 year from date of final acceptance. All trees and palms shall be guaranteed for 1 year from date of final acceptance. Sod shall be guaranteed for 90 days from final acceptance.
- Planting soil shall be weed free and consist of 60% clean silica sand, 30% everglades muck and 10% Canadian peat. All plants shall be installed with planting soil as indicated on details.
- Landscape Contractor shall take all steps required to make all planting beds weed and grass free prior to planting.
- Landscape Contractor shall locate and verify all underground utilities prior to digging.
- All trees shall be staked and/or guyed in a good workmanlike manner as per attached details. No nail staking permitted.
- Any wire guys and/or fabric straps shall be flagged w/ fluorescent colored tape as shown in details.
- All trees shall be fertilized at installation w/ "Agriform Pills", 21 gram size, w/ a 20-10-5 formulation., (or approved equal) according to manufacturers recommendations.
- All other plants shall be fertilized at installation w/ "Osmacote" time release pellets (or approved equal) according to manufacturers recommendations.
- All trees in sod areas to have a 30" ring covered w/ a 2" layer of shredded mulch. Cover all shrub beds w/ a 2" layer of shredded mulch (other than cypress).
- Sod shall be St. Augustine 'Flor-Tam' (unless otherwise noted) laid w/ alternating abutting joints. Sod shall be laid to edge of curb or right of way. Sod in all areas not covered w/ plant material, paving, gravel or mulch. Sod to be laid level and w/ tight joints. Edges to be clean and smoothly cut to follow outline shown. Landscape Contractor responsible for take-off and 100% coverage of areas.
- Where quantities and/or species differ between the planting plans and plant lists, the plans shall take precedence.
- Landscape Contractor is responsible for doing a take-off of the attached plans. Plant list provided is for guidance only. Landscape Contractor, in submitting a proposal based on these plans, is responsible for all materials as noted on plans.
- Discrepancies shall be brought to the attention of the Landscape Architect.
- No changes shall be made without the prior consent of the Landscape Architect.
- All planting beds shall be treated w/ a pre-emergent herbicide as approved by the Landscape Architect.
- Landscape Contractor is responsible for coordinating with the General Contractor or Owner any and all conditions which may affect the scope of work.
- Landscape contractor shall include in bid all materials and labor as required to complete the job as indicated on the plans and as directed by the General Contractor. Bid shall include, but not be limited to, plant materials, planting soil and placement, filter fabric, drainage mat, protection board, mulch, crane and other equip., etc..
- All plant material shall meet or exceed specifications listed.
- All planted beds shall receive 100% coverage by a fully automatic irrigation system as per plans.
- Landscape Contractor shall be responsible for providing temporary watering provisions until such time as the irrigation system is operational.
- All areas labelled mulch/gravel to receive a 2" layer of material over a weed barrier material.

plant details



palm/large tree planting detail



small tree planting detail

PLANT LIST

quantity	key	species	specifications
40	li	Lagerstroemia indica Crape Myrtle	10' ht. x 5-6' spr., 2" cal., 4' c.t., matched
21	qv	Quercus virginiana (n) Live Oak	10' ht. x 5-6' spr., 2 1/2" cal., full head, matched
48	sm	Swetenia mahogany (n) West Indies Mahogany	10' ht. x 5-6' spr., 2 1/2" cal., full head, matched
Shrubs & Ground-covers			
662	chr	Chrysobalanus ic. 'Red-Tip' (n) Red Tip Cocoplum	3 gal. 24" ht. x 24" spr., 24" o.c.
6	cri	Crinum amabile Queen Emma Crinum	3 gal. 24" ht. full, space as shown
281	jos	Jasminium volubile Wax Jasmine	3 gal., 14-16" ht. x spr., 24" o.c.
360	jun	Juniperus conferta Shore Juniper	3 gal. 14-16" spr., 24" o.c.
158	lan	Lantana montevidensis Purple Lantana	1 gal. 16"-18" spr., 18" o.c.
190	mor	Moraea iridioides White African Iris	1 gal. full 18" o.c.
7	phr	Phoenix roebellini Pygmy Date Palm	f.g., 5' o.a. ht., triple full head
16	phx	Philodendron 'Xanadu' Philodendron 'Xanadu'	3 gal. 18-20" ht. x spr., 24" o.c.
246	pit	Pittosporum tobira 'variegata' Variegated Pittosporum	3 gal. 24" ht. x 24" spr., 24" o.c.
32	sch	Schefflera arboricola Dwarf Schefflera	3 gal., 24" ht. x 24" spr., space 24" o.c.
142	sea	Seasonal Flowers Seasonal Flowers	6" pots, 12" o.c., to be selected
20	vib	Viburnum suspensum Sweet Viburnum	3 gal., 24" ht. x 24" spr., 24" o.c.
sod	sod	St. Augustine 'Flor-tam'	solid sod

NOTE: (n) denotes native species

DATE	REVISIONS	NUMBER
09.27.02	LANDSCAPE REVISIONS	
04.04.02	REVISED PER LEE COUNTY CHECKLIST	

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PERKINS RESTAURANT
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OUT PARCEL # 5
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THESE DRAWINGS ARE NOT APPROVED UNLESS SIGNED AND SEALED BELOW:
WILLIAM A. EGER, A.S.L.A.
LIC. # 14687
SEP 27 2002
DATE

DESIGNED:	EGS2	DATE:	01.29.02
DRAWN:	CC	DATE:	01.29.02
CHECKED:	BE	DATE:	01.29.02
VERT. SCALE:	N/A	HORIZ. SCALE:	N/A

DRAWING NO. 899-11

REFERENCE NO. 01143DCS

PROJECT NO. SHEET NO. 01.143D 11 OF 11

LDC
OCT 24 2002
APPROVED

EGS2corp.
landscape architecture

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